



Agenda

**REGULAR MEETING
GOVERNING BODY
CITY OF LENEXA, KANSAS
17101 W. 87th STREET PARKWAY**

**APRIL 21, 2026
7:00 PM
COMMUNITY FORUM**

CALL TO ORDER Pledge of Allegiance

ROLL CALL

APPROVE MINUTES April 7, 2026 City Council meeting draft minutes (located in the Appendix)

**MODIFICATION OF
AGENDA**

PROCLAMATIONS

Arbor Day April 24
Take Action for Autism Weekend April 24-26
Building Safety Month (May)
Compost Awareness Week May 3-9

CONSENT AGENDA

Item Numbers 1 through 7

The matters listed on the Consent Agenda are routine and approved collectively with no separate discussion on each individual item. Any item on the Consent Agenda may be removed from the Consent Agenda for separate consideration by a member of the Governing Body, the City Manager, or by a member of the public in attendance at the meeting. In the event the item is removed from the Consent Agenda, it will be placed on the regular agenda.

1. Acceptance for maintenance
 - a. Acceptance of the Stoneridge North, First Plat public improvements for maintenance

This project constructed public street, stormwater, and streetlight improvements in the Stoneridge North, First Plat subdivision. Construction also included widening the pavement, installing new guardrails, and grading roadside ditches along 83rd Street to

accommodate new turn lanes into the subdivision. The work was privately funded.

- b. Acceptance of the Woodsonia Drive Special Benefit District Phase I Project for maintenance

This project constructed Woodsonia Drive from approximately 100 feet north of 87th Street to 2,008 feet south of 83rd Street. Improvements included 575 feet of two-lane collector street construction, sidewalks, trail, and streetlights. The Woodsonia Drive Special Benefit District funded these improvements.

2. Bid award to Total Electric for the City Center Decorative Streetlight & Sign Post Improvements Project

This project replaces existing decorative post-top streetlights in the City Center area. Total Electric bid \$83,114 to construct the project.

3. Acceptance of utility, drainage, landscape, and sidewalk easements and rights-of-way as shown on Stoneridge North, Fifth Plat

This 34-lot duplex residential neighborhood is on 11.43 acres, located near the northeast corner of 83rd Street & Landon Street. Easements and right-of-way are being dedicated to the City as part of the final plat.

4. Acceptance of utility, drainage, landscape, and sidewalk easements and rights-of-way as shown on Enclave at Twin Creeks Final Plat

The 50-lot single-family residential neighborhood is on 33.9 acres, located near the northwest corner of 83rd Street & Clare Road. Easements and rights-of-way are being dedicated to the City as part of the final plat.

5. Approval of an agreement with Kimley-Horn for preliminary engineering services for the Little Mill Creek Park Improvements Project

The project will reconstruct Cottonwood Street, the primary roadway serving the Municipal Services Center and Little Mill Creek Park, with concrete pavement designed to support frequent heavy-duty vehicle traffic and add a new parking lot. Staff selected Kimley-Horn to complete preliminary engineering services for a total cost of \$94,500.

6. Resolution providing notice and calling for a public hearing to appear and show cause why the structure at 12601 W. 95th Street (commonly known as the Radisson Hotel) should not be condemned and ordered repaired or demolished as an unsafe or dangerous structure in accordance with K.S.A. 12-1750 et seq.

The Radisson Hotel is currently condemned due to several building code and property maintenance violations. The proposed resolution sets a public hearing for June 16, 2026, should the property remain unsafe and unfit for human occupancy.

7. Resolution terminating the lease agreement with Stantine-113th KS Properties, LLC and conveying certain real and personal property associated with the City's industrial revenue bonds (Building 3, Lenexa Logistics Centre South)

In 2015, the City issued \$7 million in industrial revenue bonds (IRBs) and approved a tax abatement for a commercial/warehouse facility located at 16900 W. 113th Street in the Lenexa Logistics Centre South business park. The abatement ended in 2025 and the proposed resolution authorizes the Mayor and City staff to execute all documents necessary to terminate the IRBs.

END OF CONSENT AGENDA

BOARD RECOMMENDATIONS

8. Ordinance approving a 10-year special use permit for a daycare, general use known as Bean Babies Daycare located at 9248 Noland Road in the RP-1, Planned Residential Single-Family (Low-Density) District

The applicant proposes to continue to operate a daycare caring for up to 12 children, which would fall under the daycare, general use and require a special use permit in the RP-1, Planned Residential Single-Family (Low-Density) District.

9. Consideration of a preliminary plan/plat and special use permit for a daycare, commercial use known as Primrose School located at 16990 W. 86th Street in the CC, Planned City Center District

- a. Ordinance approving a permanent special use permit for a daycare, commercial use known as Primrose School
- b. Approval of a preliminary plan/plat for Primrose School

The applicant proposes to construct and operate a 14,896 square foot daycare caring for up to 186 children, which would fall under the

daycare, commercial use and require a special use permit in the CC, City Center District.

10. Approval of a final plan for a mixed-use development known as The Rise located in City Center Lenexa East Village at the southeast corner of 87th Street Parkway & Renner Boulevard in the CC, Planned City Center District - **ITEM CONTINUED TO THE MAY 19, 2026 CITY COUNCIL MEETING AT THE APPLICANT'S REQUEST**

11. Consideration of a revised preliminary plan and final plat for a mixed-use development known as Vista Village North/Vista Village, 4th Plat located at the southeast corner of Prairie Star Parkway & Ridgeview Road in the PUD, Planned Unit Development District
 - a. Acceptance of a drainage easement as shown on Vista Village, 4th Plat

 - b. Approval of a revised preliminary plan for Vista Village North

The applicant proposes a revised preliminary plan for the commercial area with 34,950 square feet across seven buildings at the northwest corner of the Vista Village development and requests acceptance of a drainage easement.

NEW BUSINESS None

COUNCILMEMBER REPORTS

STAFF REPORTS

END OF RECORDED SESSION

BUSINESS FROM FLOOR

The Chair, at their discretion, may limit the amount of time each person has to address the Governing Body during Public Hearings or public comment regarding items listed on the agenda, or Business from the Floor, and may grant additional time at their sole discretion.

ADJOURN

APPENDIX

12. April 7, 2026 City Council meeting draft minutes

13. Arbor Day Proclamation
14. Take Action for Autism Weekend Proclamation
15. Building Safety Month Proclamation
16. Compost Awareness Week Proclamation
17. Item 6 -- Notices of Violation and Condemnation

Dist. Governing Body; Management Team; Agenda & Minutes Distribution List

IF YOU NEED ANY ACCOMMODATIONS FOR THE MEETING, PLEASE CONTACT THE CITY ADA COORDINATOR, 913/477-7550. KANSAS RELAY SERVICE 800/766-3777. PLEASE GIVE 48 HOURS NOTICE

ASSISTIVE LISTENING DEVICES ARE AVAILABLE FOR USE IN THE COMMUNITY FORUM BY REQUEST.



ITEM 1a

SUBJECT: Acceptance of the Stoneridge North, First Plat public improvements for maintenance
CONTACT: Tim Green, Deputy Community Development Director
DATE: April 21, 2026

ACTION NEEDED:

Accept the Stoneridge North, First Plat public improvements for maintenance.

PROJECT BACKGROUND/DESCRIPTION:

This project constructed public street, stormwater, and streetlight improvements in the Stoneridge North, First Plat subdivision. Construction also included widening the pavement, installing new guardrails, and grading roadside ditches along 83rd Street to accommodate new turn lanes into the neighborhood.

Staff performed a final inspection on March 13, 2026, and advised that all work had been completed in accordance with the plans and specifications. The maintenance bonds for this project shall go into force upon acceptance by the Governing Body on April 21, 2026, and will expire on April 21, 2028.

The Contractor was Emery Sapp & Sons.

Total lane miles:	1.04 miles
Total statute miles:	0.52 miles
Pipe length:	1,714 linear feet

FINANCIAL IMPLICATIONS/FUNDING SOURCES:

The work was privately funded.

STAFF RECOMMENDATION:

Accept for maintenance.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040

Integrated Infrastructure & Transportation

Guiding Principles

Strategic Community Investment

ATTACHMENTS

1. Map



Data Source: City of Lenexa and Johnson County Kansas
 For further information, please call 913-477-7500

Stoneridge North, First Plat Public Improvements





ITEM 1b

SUBJECT: Acceptance of the Woodsonia Drive Special Benefit District Phase I Project for maintenance
CONTACT: Tim Green, Deputy Community Development Director
DATE: April 21, 2026

ACTION NEEDED:

Accept the Woodsonia Drive Special Benefit District Phase I Project ("Project") for maintenance.

PROJECT BACKGROUND/DESCRIPTION:

This Project constructed Woodsonia Drive from approximately 100 feet north of 87th Street to 2,008 feet south of 83rd Street. Improvements included approximately 575 feet of two-lane collector street construction, sidewalks, trail, and streetlights.

Staff performed a final inspection on March 23, 2026, and advised that all work had been completed in accordance with the plans and specifications. The maintenance bonds for this Project shall go into force upon acceptance by the Governing Body on April 21, 2026, and will expire on April 21, 2028.

The contractor was Cohorst Enterprises, Inc.

Total lane miles:	0.22 miles
Total statute miles:	0.11 miles

FINANCIAL IMPLICATIONS/FUNDING SOURCES:

The Project was funded through the 2026-2030 Capital Improvement Program (Project No. 60021). This is a special benefit district and the district is paying 100% of the Project cost.

STAFF RECOMMENDATION:

Accept for maintenance.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040

Integrated Infrastructure & Transportation

Guiding Principles

Responsible Economic Development

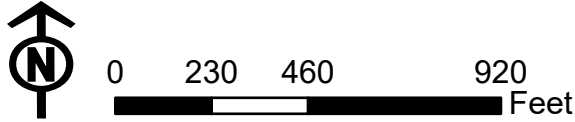
ATTACHMENTS

1. Map



Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Woodsonia Drive Special Benefit District





ITEM 2

SUBJECT: Bid award to Total Electric for the City Center Decorative Streetlight & Sign Post Improvements Project

CONTACT: Tim Green, Deputy Community Development Director

DATE: April 21, 2026

ACTION NEEDED:

Award a bid to Total Electric for the City Center Decorative Streetlight & Sign Post Improvements Project ("Project").

PROJECT BACKGROUND/DESCRIPTION:

This Project will install new decorative post-top lights mounted to existing streetlight poles as well as new street lighting cable inside existing light poles in various locations around City Center. A total of 123 streetlights will be updated. The intent is to replace the streetlights prior to FIFA World Cup activities beginning.

Sealed bids were opened on April 6, 2026, with the following results:

<i>Engineer's Estimate</i>	<i>\$81,900</i>
*Total Electric	\$83,114
Sosaya and Sons	\$97,715
J. Warren Company	\$135,000

*low bidder

The City has had positive experience with Total Electric on previous projects.

While all bids were over the engineer's estimate, staff believes the bids were competitive and does not see an advantage to re-bidding the Project. In addition, sufficient budget exists to complete the Project with the low bidder. Therefore, staff is recommending an award to the low bidder, Total Electric.

FINANCIAL IMPLICATIONS/FUNDING SOURCES:

This Project is budgeted in the 2026-2030 Capital Improvement Program (Project No. 60060) and will be funded by the City Center Tax Increment Financing (TIF) District.

STAFF RECOMMENDATION:

Award the bid.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040

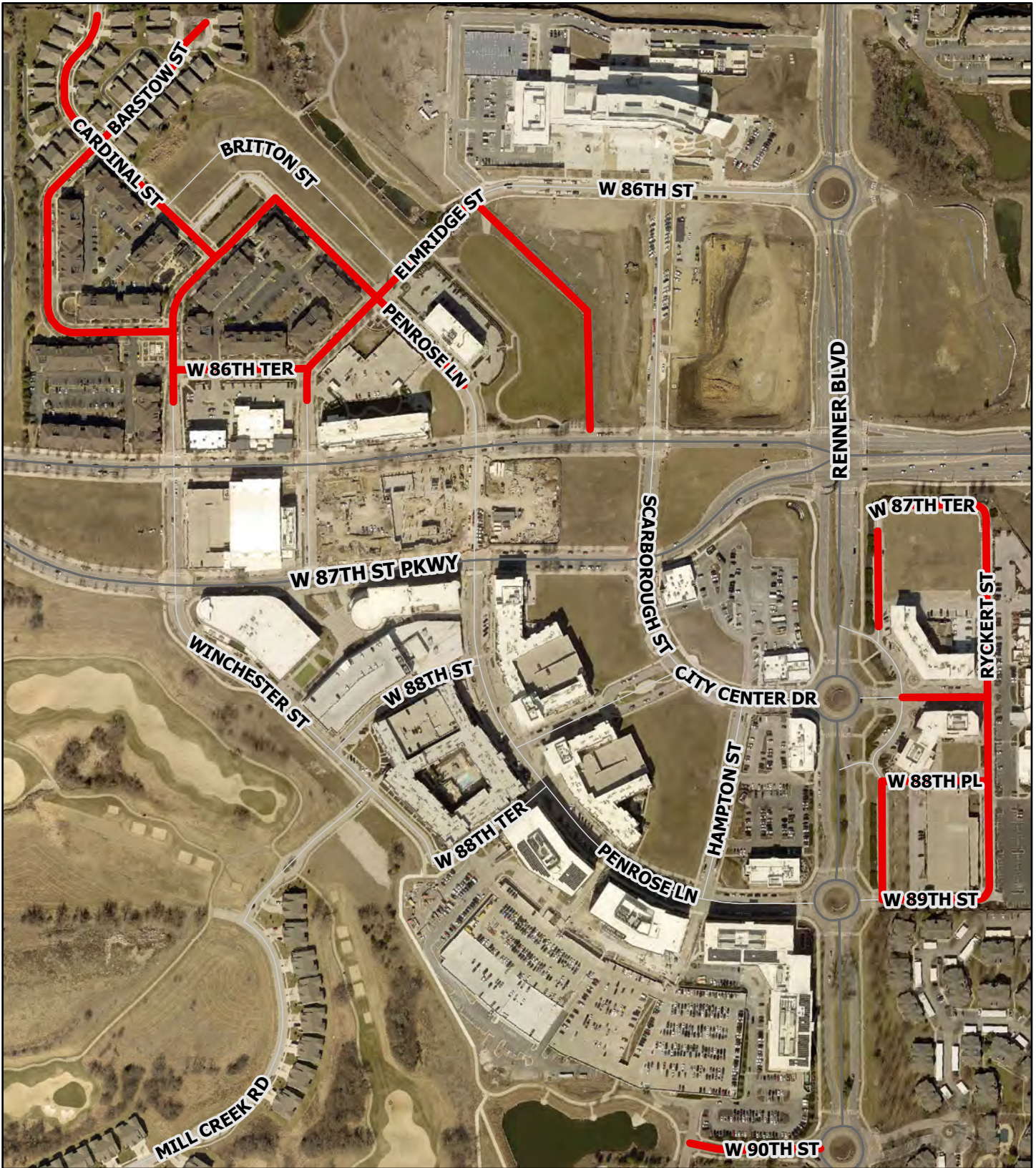
Vibrant Neighborhoods
Inviting Places

Guiding Principles

Strategic Community Investment
Sustainable Policies and Practices

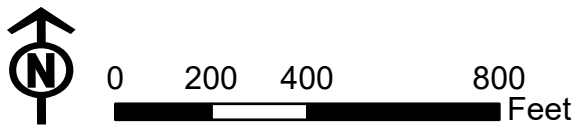
ATTACHMENTS

1. Map
2. Exhibit



Data Source: City of Lenexa and Johnson County Kansas
 For further information, please call 913-477-7500

City Center Decorative Streetlight & Sign Post Improvements





New decorative post-top that will be installed as part of the City Center street lighting project.



Outdated existing decorative post-top fixture that is to be replaced.



ITEM 3

SUBJECT: Acceptance of utility, drainage, landscape, and sidewalk easements and rights-of-way as shown on Stoneridge North, Fifth Plat

CONTACT: Stephanie Sullivan, Planning Manager

DATE: April 21, 2026

ACTION NEEDED:

Accept the utility, drainage, landscape, and sidewalk easements and rights-of-way as shown on Stoneridge North, Fifth Plat.

APPLICANT:

Michael Johnson, Arise Homes

OWNER:

Complete LLC

PROPERTY LOCATION:

Near the northeast corner of 83rd Street & Landon Street

PROJECT BACKGROUND/DESCRIPTION:

The applicant requests approval of a final plat for Stoneridge North, Fifth Plat, a mixed single-family and duplex residential neighborhood. This plat includes 34 two-family (duplex) lots, one tract, easements, and rights-of-way.

The proposed final plat is consistent with the approved preliminary plat/plan, which was approved on February 7, 2023. The Governing Body is accepting rights-of-way for the extension of 82nd Terrace, 82nd Place, and Deer Ridge Drive, as well as utility, drainage, landscape, and sidewalk easements.

STAFF RECOMMENDATION:

Accept the easements and rights-of-way.

PLANNING COMMISSION ACTION:

This item was considered as Consent Agenda Item 3 at the April 6, 2026 Planning Commission Meeting.

Chairman Poss entertained a motion to recommend **APPROVAL** of the Consent Agenda. Moved by Commissioner Woolf, seconded by Commissioner Burson, and carried by a unanimous voice vote.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040

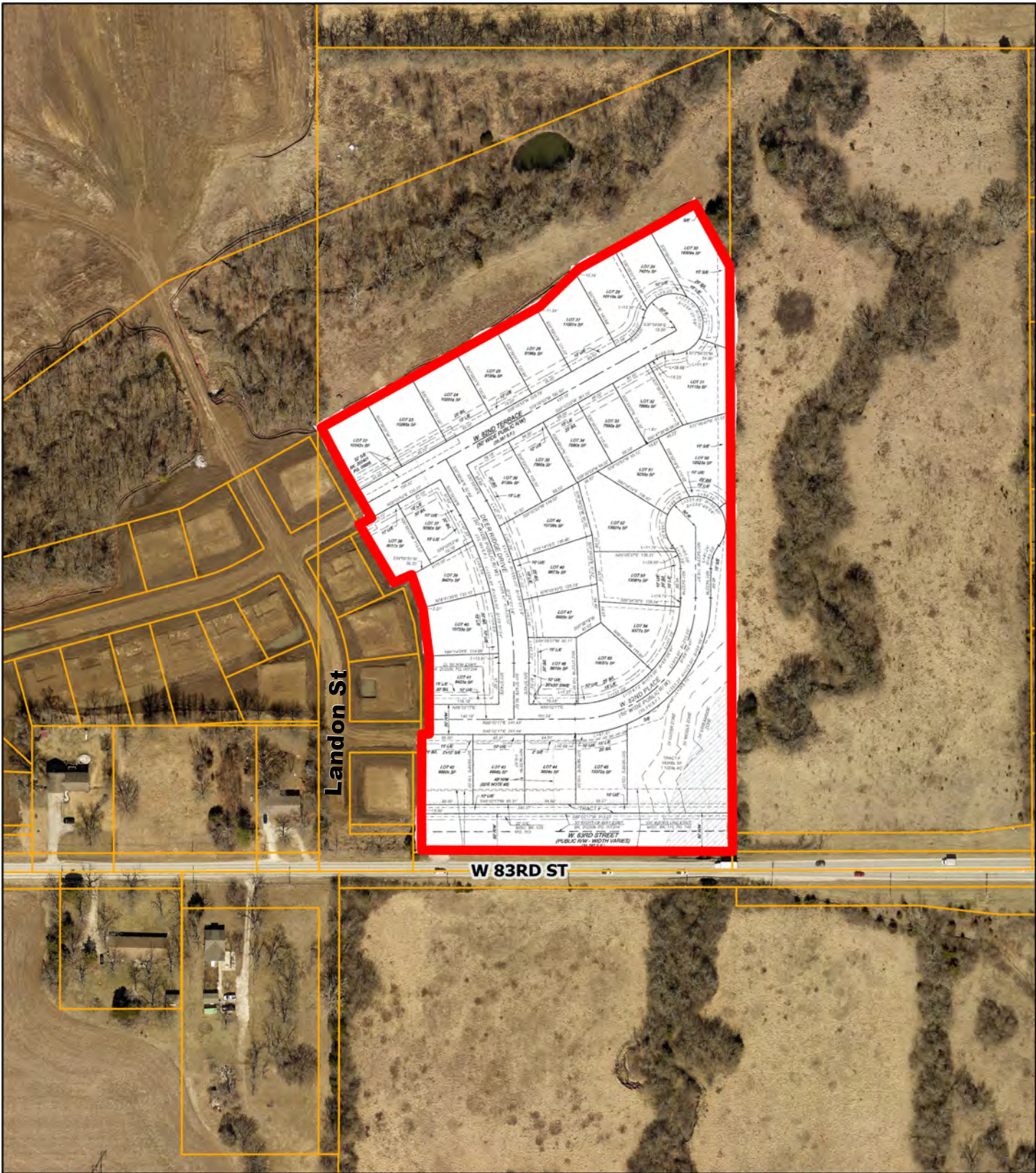
Vibrant Neighborhoods

Guiding Principles

Responsible Economic Development

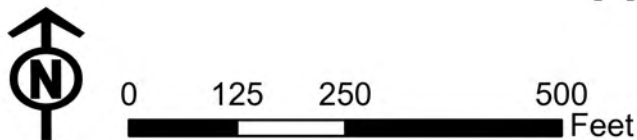
ATTACHMENTS

1. Map
2. Plat
3. PC Staff Report
4. PC Draft Minutes Excerpt

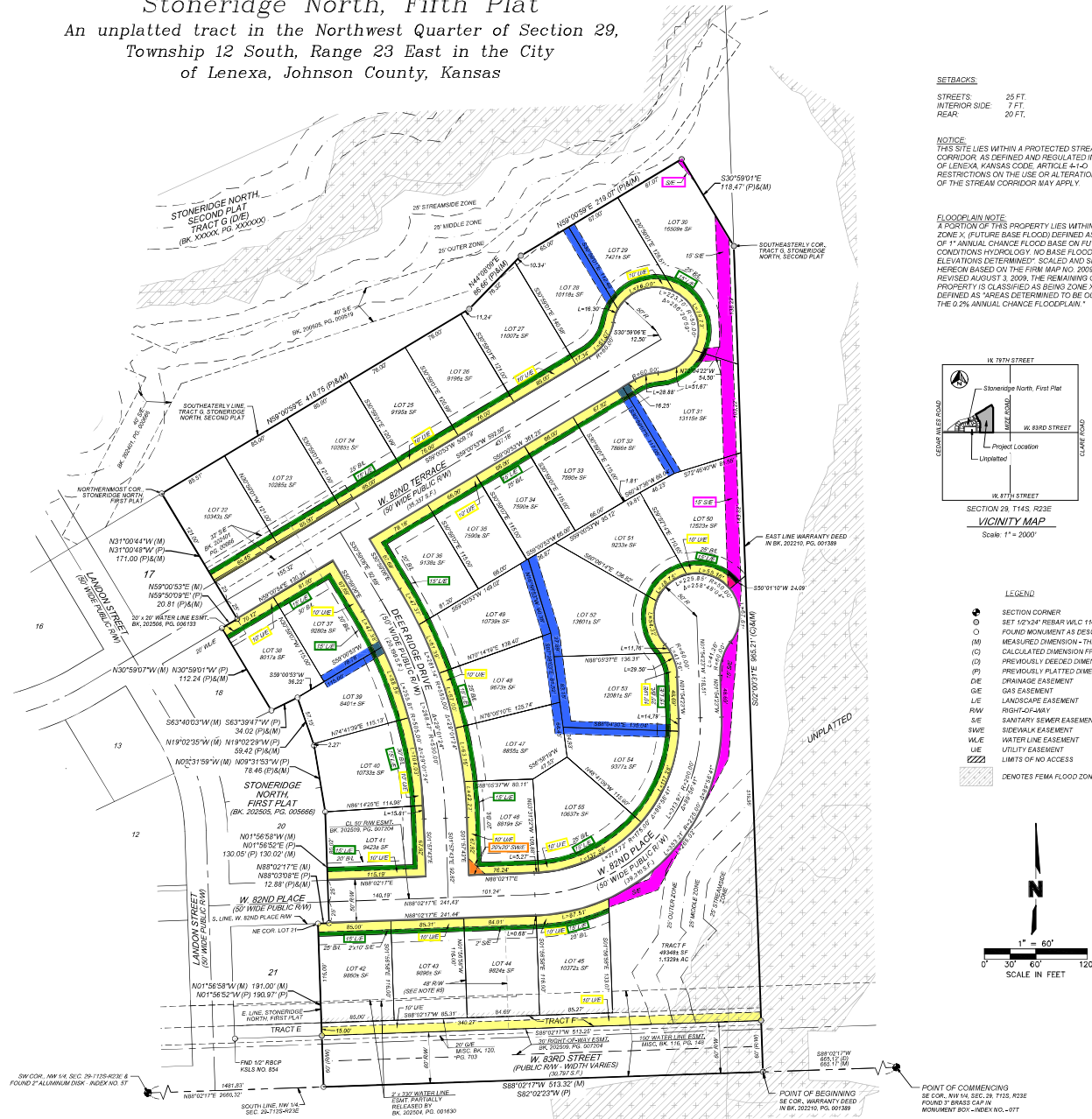


Data Source: City of Lenexa and Johnson County Kansas
 For further information, please call 913-477-7500

Stoneridge North, Fifth Plat Final Plat



Final Plat
Stoneridge North, Fifth Plat
 An unplatted tract in the Northwest Quarter of Section 29,
 Township 12 South, Range 23 East in the City
 of Lenexa, Johnson County, Kansas

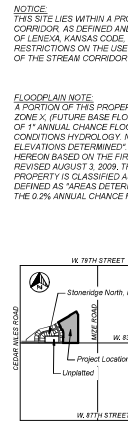


PROPERTY DESCRIPTION
 ALL THAT PART OF AN UNPLATTED TRACT OF LAND, LOCATED IN THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 12 SOUTH, RANGE 23 EAST, IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS, MORE PARTICULARLY DESCRIBED BY MICHAEL J. BOGINA, KANSAS PS-1655, OF OLSSON, INC., KANSAS LS-114, ON FEBRUARY 27, 2026, AS FOLLOWS:

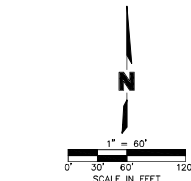
SETBACKS:
 STREETS: 25 FT
 INTERIOR SIDE: 7 FT
 REAR: 20 FT.

NOTICE:
 THIS SITE LIES WITHIN A PROTECTED STREAM CORRIDOR AS DEFINED AND REGULATED BY CITY OF LENEXA, KANSAS CODE, ARTICLE 4-1-0. RESTRICTIONS ON THE USE OR ALTERATION OF THE STREAM CORRIDOR MAY APPLY.

FLOODPLAIN NOTE:
 A PORTION OF THIS PROPERTY LIES WITHIN FLOOD ZONE X (FUTURE BASE FLOOD) DEFINED AS 'AREAS OF 1" ANNUAL CHANCE FLOOD BASE ON FUTURE CONDITIONS HYDROLOGY. NO BASE FLOOD ELEVATIONS DETERMINED.' SCALED AND SHOWN HEREIN BASED ON THE FIRM MAP NO. 2009-03030, REVISED AUGUST 3, 2009. THE REMAINING OF PROPERTY IS CLASSIFIED AS BEING ZONE X DEFINED AS 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.'



- LEGEND**
- SECTION CORNER
 - SET 1/4" 24" REBAR W/CL T14 CAP
 - FOUND MONUMENT AS DESCRIBED
 - MEASURED DIMENSION - THIS PLAT
 - CALCULATED DIMENSION FROM RECORD
 - PREVIOUSLY PLATTED DIMENSION
 - PREVIOUSLY PLATTED DIMENSION
 - DRAINAGE EASEMENT
 - GAS EASEMENT
 - LANDSCAPE EASEMENT
 - RIGHT-OF-WAY
 - SANITARY SEWER EASEMENT
 - SIDEWALK EASEMENT
 - WATER LINE EASEMENT
 - UTILITY EASEMENT
 - LIMITS OF NO ACCESS
 - DENOTES FEMA FLOOD ZONES



PROPERTY DESCRIPTION
 ALL THAT PART OF AN UNPLATTED TRACT OF LAND, LOCATED IN THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 12 SOUTH, RANGE 23 EAST, IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS, MORE PARTICULARLY DESCRIBED BY MICHAEL J. BOGINA, KANSAS PS-1655, OF OLSSON, INC., KANSAS LS-114, ON FEBRUARY 27, 2026, AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 29, THENCE SOUTH 88 DEGREES 02 MINUTES 11 SECONDS WEST, ON THE SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 665.17 FEET, TO A POINT BEING THE SOUTHWEST CORNER OF A CERTAIN TRACT OF LAND CONVEYED BY WARRANTY DEED RECORDED IN BOOK 202210 AT PAGE 01389, SAID POINT ALSO BEING THE POINT OF BEGINNING, THENCE CONTINUING SOUTH 88 DEGREES 02 MINUTES 11 SECONDS WEST ON SAID SOUTH LINE, A DISTANCE OF 513.32 FEET, TO A POINT BEING THE SOUTHERLY PROLONGATION OF THE EAST LINE OF THE PLAT OF STONERIDGE NORTH, FIRST PLAT, A SUBDIVISION OF LAND IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS, ACCORDING TO THE RECORDED PLAT THEREOF, THENCE NORTH 01 DEGREE 56 MINUTES 58 SECONDS WEST, ON SAID SOUTHERLY PROLONGATION AND THE EAST LINE OF LOT 21 OF SAID STONERIDGE NORTH, FIRST PLAT, A DISTANCE OF 191.00 FEET, TO A POINT BEING THE NORTHEAST CORNER OF SAID LOT 21, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF W. 82ND PLACE, AS NOW ESTABLISHED, THENCE NORTH 88 DEGREES 02 MINUTES 11 SECONDS EAST, DEPARTING SAID EAST LINE AND ON SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 12.88 FEET, TO A POINT, THENCE NORTH 01 DEGREE 56 MINUTES 58 SECONDS WEST, DEPARTING SAID SOUTH RIGHT-OF-WAY LINE AND ON THE EAST LINE OF LOT 20 OF SAID STONERIDGE NORTH, FIRST PLAT, A DISTANCE OF 193.02 FEET, TO A POINT, THENCE NORTH 01 DEGREE 56 MINUTES 58 SECONDS WEST, ON SAID EAST LINE AND ON THE EAST LINE OF LOT 19 OF SAID STONERIDGE NORTH, FIRST PLAT, A DISTANCE OF 78.46 FEET, TO A POINT, THENCE NORTH 19 DEGREE 02 MINUTES 38 SECONDS WEST, ON SAID EAST LINE, A DISTANCE OF 84.76 FEET, TO A POINT BEING THE NORTHEAST CORNER OF SAID LOT 19, THENCE SOUTH 83 DEGREE 39 MINUTES 41 SECONDS WEST, ON THE NORTHEAST LINE OF SAID LOT 19, A DISTANCE OF 340.22 FEET, TO A POINT BEING THE SOUTHWESTERLY CORNER OF LOT 18 OF SAID STONERIDGE NORTH, FIRST PLAT, THENCE NORTH 30 DEGREE 59 MINUTES 07 SECONDS WEST, DEPARTING SAID SOUTHWESTERLY LINE AND ON THE NORTHEAST LINE OF SAID LOT 18, A DISTANCE OF 112.24 FEET, TO A POINT BEING THE NORTHEAST CORNER OF SAID LOT 18, SAID POINT ALSO BEING ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF W. 82ND TERRACE, AS NOW ESTABLISHED, THENCE NORTH 89 DEGREES 00 MINUTES 58 SECONDS EAST, DEPARTING SAID NORTHEASTERLY LINE AND ON SAID SOUTHWESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 20.81 FEET, TO A POINT, THENCE NORTH 31 DEGREE 00 MINUTES 44 SECONDS WEST, DEPARTING SAID SOUTHWESTERLY RIGHT-OF-WAY LINE AND ON THE NORTHEAST LINE OF SAID STONERIDGE NORTH, FIRST PLAT, A DISTANCE OF 171.90 FEET, TO A POINT BEING THE NORTHEAST CORNER OF SAID LOT 17, SAID POINT ALSO BEING ON THE SOUTHWESTERLY LINE OF TRACT G, STONERIDGE NORTH, SECOND PLAT, A SUBDIVISION OF LAND IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS, ACCORDING TO THE RECORDED PLAT THEREOF, THENCE NORTH 59 DEGREE 00 MINUTES 59 SECONDS EAST, DEPARTING SAID NORTHEASTERLY LINE AND ON SAID SOUTHWESTERLY LINE, A DISTANCE OF 418.75 FEET, TO A POINT, THENCE NORTH 44 DEGREE 08 MINUTES 59 SECONDS EAST, ON SAID SOUTHWESTERLY LINE, A DISTANCE OF 86.66 FEET, TO A POINT, THENCE NORTH 59 DEGREE 00 MINUTES 59 SECONDS EAST, ON SAID SOUTHWESTERLY LINE, A DISTANCE OF 219.07, TO A POINT, THENCE SOUTH 91 DEGREE 59 MINUTES 01 SECONDS WEST, ON SAID SOUTHWESTERLY LINE, A DISTANCE OF 118.47 FEET, TO A POINT BEING THE SOUTHWESTERLY CORNER OF SAID TRACT G, STONERIDGE NORTH, SECOND PLAT, SAID POINT ALSO BEING ON THE EAST LINE OF SAID CERTAIN TRACT OF LAND CONVEYED BY WARRANTY DEED RECORDED IN BOOK 202210 AT PAGE 01389, THENCE SOUTH 02 DEGREE 00 MINUTES 31 SECONDS EAST, ON SAID EAST LINE, A DISTANCE OF 865.21 FEET, TO THE POINT OF BEGINNING, CONTAINING 513,603 SQUARE OR 11,780.7 ACRES, MORE OR LESS.

Dedication
 The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereinafter be known as "Stoneridge North, Fifth Plat."

The undersigned proprietors of said property shown on this plat do hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land included on this plat as streets, terraces, lanes, parking drives, parkways, avenues and alleys not heretofore dedicated. Where prior easement rights have been granted to any person, utility or corporation on said parts of the land so dedicated, and any poles, lines, poles and conduits, ducts or cables heretofore installed thereupon and thereon are required to be relocated, in accordance with proposed improvements as now set forth, the undersigned proprietors hereby absolve and agree to indemnify the City of Lenexa, Johnson County, Kansas, from any expense incident to the relocation of any such existing utility installations within said premises.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer, pipes, cables, irrigation systems, ducts and cables, and similar utilities, upon and under these areas outlined and designated on this plat as "Utility Easement" or "UE" is hereby granted to the City of Lenexa, Kansas with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes. Utility easements shall be clear of obstructions that impair the strength or interfere with the use and/or maintenance of public utilities located within the easement.

A perpetual easement over, under and through the areas outlined and designated on this plat as "Drainage Easement" or "DE" for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby granted to the City of Lenexa, Kansas. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities.

An easement or license to enter upon, locate, construct, use and maintain or operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress and egress, over and through those areas designated as "Sanitary Sewer Easement" or "SSE" on this plat, together with the right of ingress and egress over and through adjoining land as may be reasonably necessary to access said easement and is hereby dedicated to the Consolidated Main Sewer District of Johnson County, Kansas or its assigns. Attention to land contours will be permitted only with the express written approval of JCWC. Any placing of improvements or planting of trees on said permanent right-of-way will be done at the risk of subsequent damage thereto without compensation therefor.

The undersigned proprietor of the above described land does hereby grant an easement to the City of Lenexa, Johnson County, Kansas, to enter upon, locate or plant such trees, bushes, shrubs or fences within the boundaries of "SSE" or "SWE" is hereby granted to the City of Lenexa, Johnson County, Kansas. No above-ground facilities associated with the uses herein permitted shall be constructed, located or maintained in any area of the "UE" that crosses or intersects with a "SWE".

An easement or license to enter upon, locate, construct and maintain, or authorize the location, construction or maintenance and use of sidewalks, upon and over those areas outlined and designated on this plat as "Sidewalk Easement" or "SWE" is hereby granted to the City of Lenexa, Johnson County, Kansas. No above-ground facilities associated with the uses herein permitted shall be constructed, located or maintained in any area of the "UE" that crosses or intersects with a "SWE".

Consent to Levy
 The undersigned proprietor of the above tract of land hereby agrees and consents that the Board of County Commissioners of Johnson County, Kansas, and the City of Lenexa, Johnson County, Kansas, shall have the power to release said plat and proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the lien and effect of any special assessment, and that the amount of unpaid special assessments on such land so dedicated shall become and remain a lien on the remainder of this land lying or sitting on such dedicated public way or thoroughfare.

Certification
 This is to certify that on February 27, 2026, this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Exact" Standards for Boundary Surveys pursuant to K.A.R. 86-15-121.

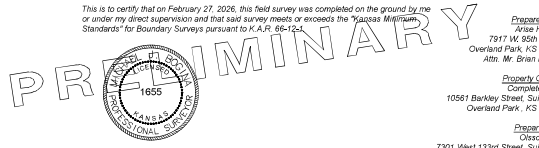
Prepared For:
 Michael J. Bogina, PS-1655
 Olsson, Inc. LS-114
 mbogina@olsson.com

Property Owner:
 Complete, LLC
 10561 Barkley Street, Suite 510
 Overland Park, KS 66212

Drawn by: TMV
Checked by: MJB
Approved by: MJB
QA/QC by: FEW
Project no.: 03-24643
Drawing no.: V_LFP_2506043
Date: 09/28/2027

Prepared By:
 Arlan Harms
 7917 W. 80th Street
 Overland Park, KS 66212
 Attn: Mr. Brian Hamm

Property Owner:
 Olsson, Inc.
 7301 West 132nd Street, Suite 200
 Overland Park, KS 66213
 Phone: (913) 381-1170
 Fax: (913) 381-1174



1701 West 130th Street, Suite 200
Overland Park, KS 66212-7472
TEL: 913.381.1170 www.olsson.com

BY	DATE	REVISION DESCRIPTION

REVISIONS

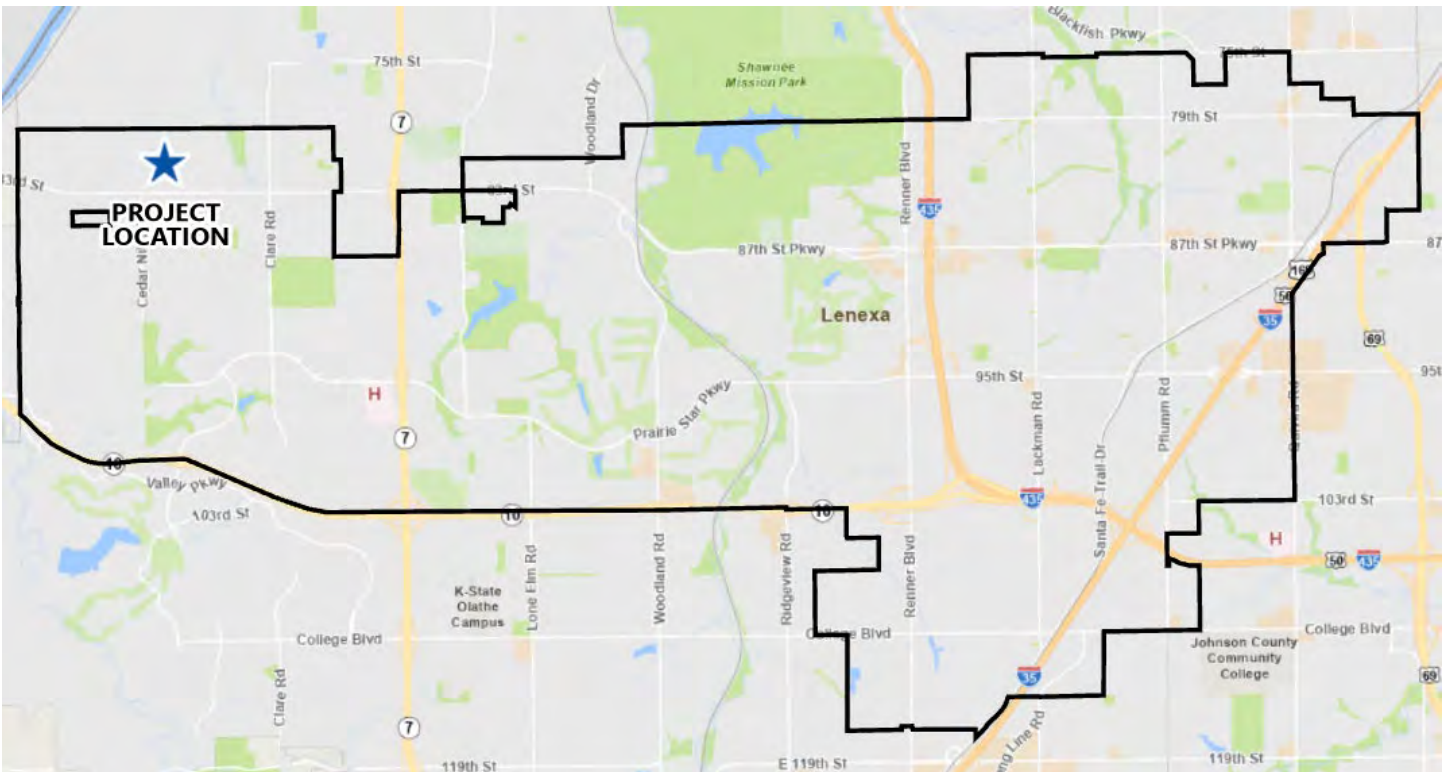
2026

Final Plat
Stoneridge North, Fifth Plat
An unplatted tract in the Northwest Quarter of
Section 29, Township 12 South, Range 23 East
City of Lenexa, Johnson County, Kansas

SHEET
1 OF 2

STONERIDGE NORTH, FIFTH PLAT

Project #:	PT26-13F	Location:	Northeast corner of W. 83rd Street & Landon Street
Applicant:	Michael Johnson, Arise Homes	Project Type:	Final Plat
Staff Planner:	James Molloy	Proposed Use:	Single-Family Subdivision



PROJECT SUMMARY

The applicant seeks approval of a final plat for Stoneridge North, Fifth Plat, the fifth phase of Stoneridge North, a mixed single-family and two-family residential subdivision. This fifth phase of the project will encompass 34 two-family lots and one tract. The site is located near the northeast corner of W. 83rd Street and Landon Street. The approved preliminary plat (PT22-01P) was approved for deviations for lot width and lot size. The proposed final plat is consistent with the approved preliminary plat (PT22-01P), approved on February 7, 2023, including the deviation requests. This project does not require a public hearing. This plat requires City acceptance of dedications for street right-of-way, as well as landscaping, sidewalks, and utility easements.

STAFF RECOMMENDATION: APPROVAL

SITE INFORMATION

This site was annexed into the City of Lenexa in November of 1986, at which time it was zoned and used as agricultural. It was subsequently rezoned to NP-O, RP-1, and AG in 2009 as part of the larger Cedar Niles Estates rezoning and concept plan (RZ09-02 and PL09-01CP), which included a total of 278.63 acres north of W. 83rd Street and west of Mize Boulevard. The 2009 plan did not progress beyond plan approvals.

Arise Homes rezoned 168 acres from AG, RP-1, NP-O, and CP-1 to RP-1 and RP-2 in 2022 as part of a new residential subdivision, Stoneridge North. The subject site is part of the portion that was rezoned to RP-2. A preliminary plat (PT22-01P) was also approved at the same time as the rezoning (RZ22-05). The preliminary plat included approved deviations in the RP-2 Zoning District for minimum lot size and minimum lot width.

TABLE 1: PREVIOUS APPLICATIONS

Project No.	Type	Project Name	Date Approved
RZ09-02	Rezoning	Cedar Niles Estates	June 16, 2009
PL09-01CP	Concept Plan	Cedar Niles Estates	June 16, 2009
RZ22-05	Rezoning	Stoneridge North	February 7, 2023
PT22-09F	Preliminary Plat	Stoneridge North	February 7, 2023
PT23-19F	Final Plat	Stoneridge North, First Plat	October 17, 2023
PT23-27F	Final Plat	Stoneridge North, Second Plat	November 21, 2023
PT24-04FR	Revised Final Plat	Stoneridge North, Second Plat (Revised)	June 3, 2024
PT24-07FR	Revised Final Plat	Stoneridge North, First Plat (Revised)	December 17, 2024
PT25-02F	Final Plat	Stoneridge North, Third Plat	March 18, 2025
PT25-18F	Final Plat	Stoneridge North, Fourth Plat	November 18, 2025
PT26-01FR	Revised Final Plat	Stoneridge North, Third Plat (Revised)	February 17, 2026

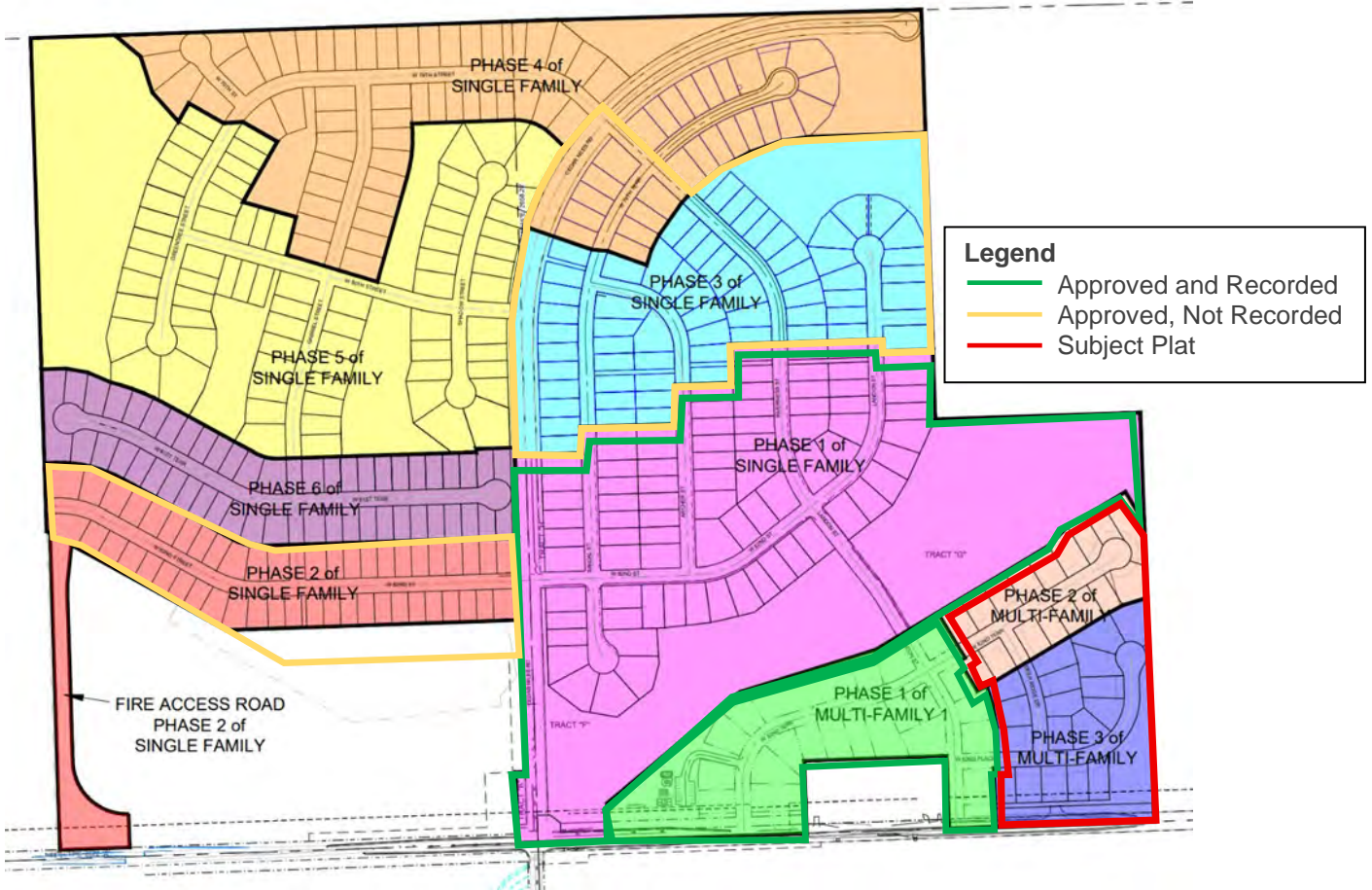


Exhibit 1: Updated Phasing plan of Stoneridge North, with Plat approvals shown

LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
11.43	N/A	RP-2	Medium-Density Residential

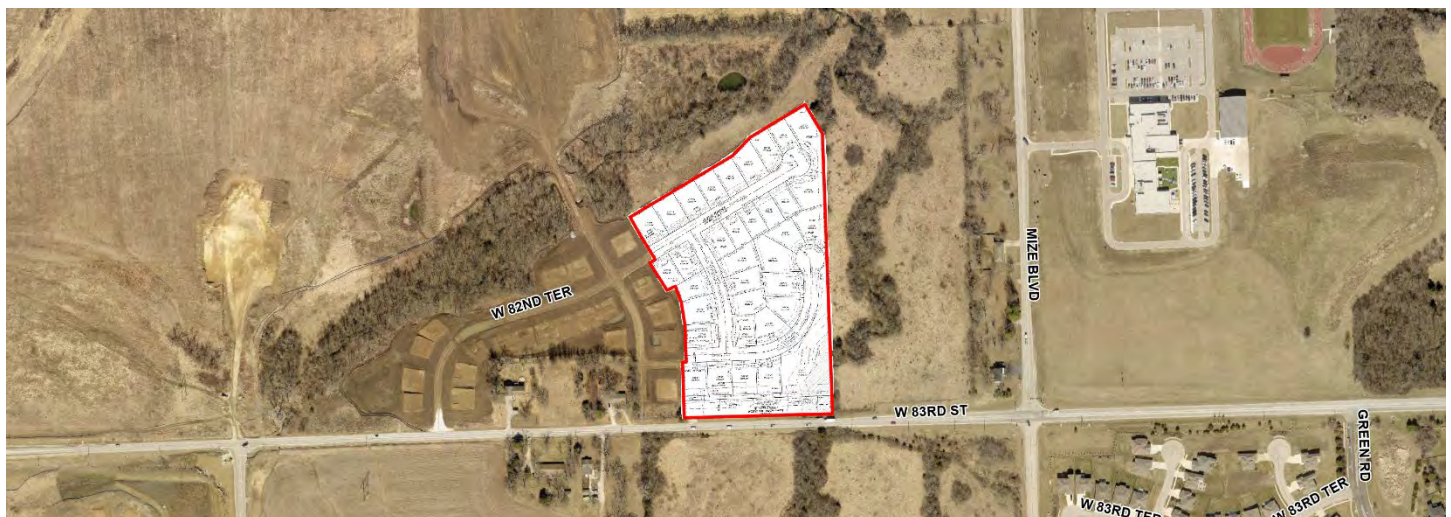


Exhibit 2: Aerial Image of Subject Site

LAND USE REVIEW

The proposed use is a duplex subdivision. Stoneridge North is planned to include both single-family and two-family lots. This final plat includes the second phase of the two-family lots reflected in Exhibit 1. Two-family or duplexes is a permitted use in the RP-2 Planned Residential (Intermediate-Density) District. The Future Land Use Map within the Comprehensive Plan classifies the site as Suburban-Density Residential. This designation will need to be updated to Medium-Density Residential in the 2026 Comprehensive Plan update, to ensure that the designation is aligned with the zoning and use.

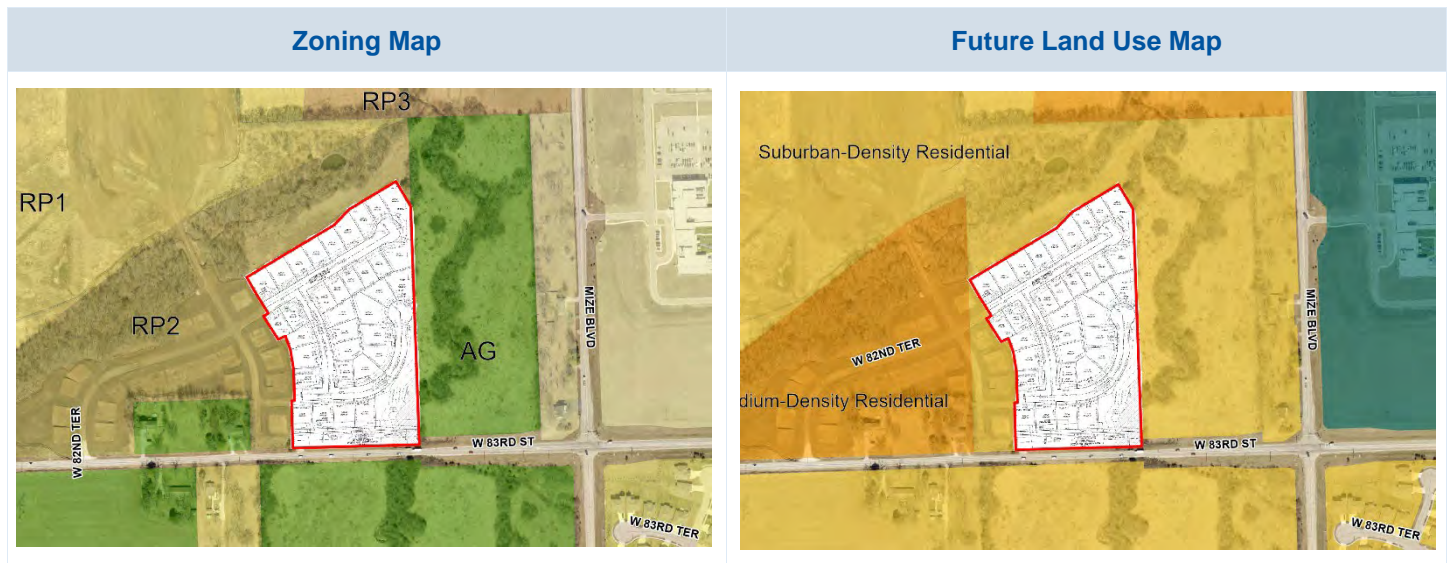


TABLE 2: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Classification	Zoning	Current Use
Subject Property	Suburban-Density Residential	RP-2 Planned Residential (Intermediate-Density) District	Undeveloped Land
North	Suburban-Density Residential	RP-2 Planned Residential (Intermediate-Density) District	Undeveloped Land
South	Suburban-Density Residential	A-G Agricultural District	Undeveloped Land
East	Suburban-Density Residential	A-G Agricultural District	Undeveloped Land
West	Medium-Density Residential	RP-2 Planned Residential (Intermediate-Density) District	Duplexes (Under Construction)

FINAL PLAT REVIEW

This is a final plat for 34 two-family lots and one tract on 11.43 acres and includes the intended second and third phases of the two-family portion of the overall Stoneridge North development, for which a preliminary plat/plan was approved in February 2023. Tract F is to be owned by the Stoneridge Homeowners' Association and will be used for landscape buffer, open space, and drainage. This plat will yield 68 new dwelling units.

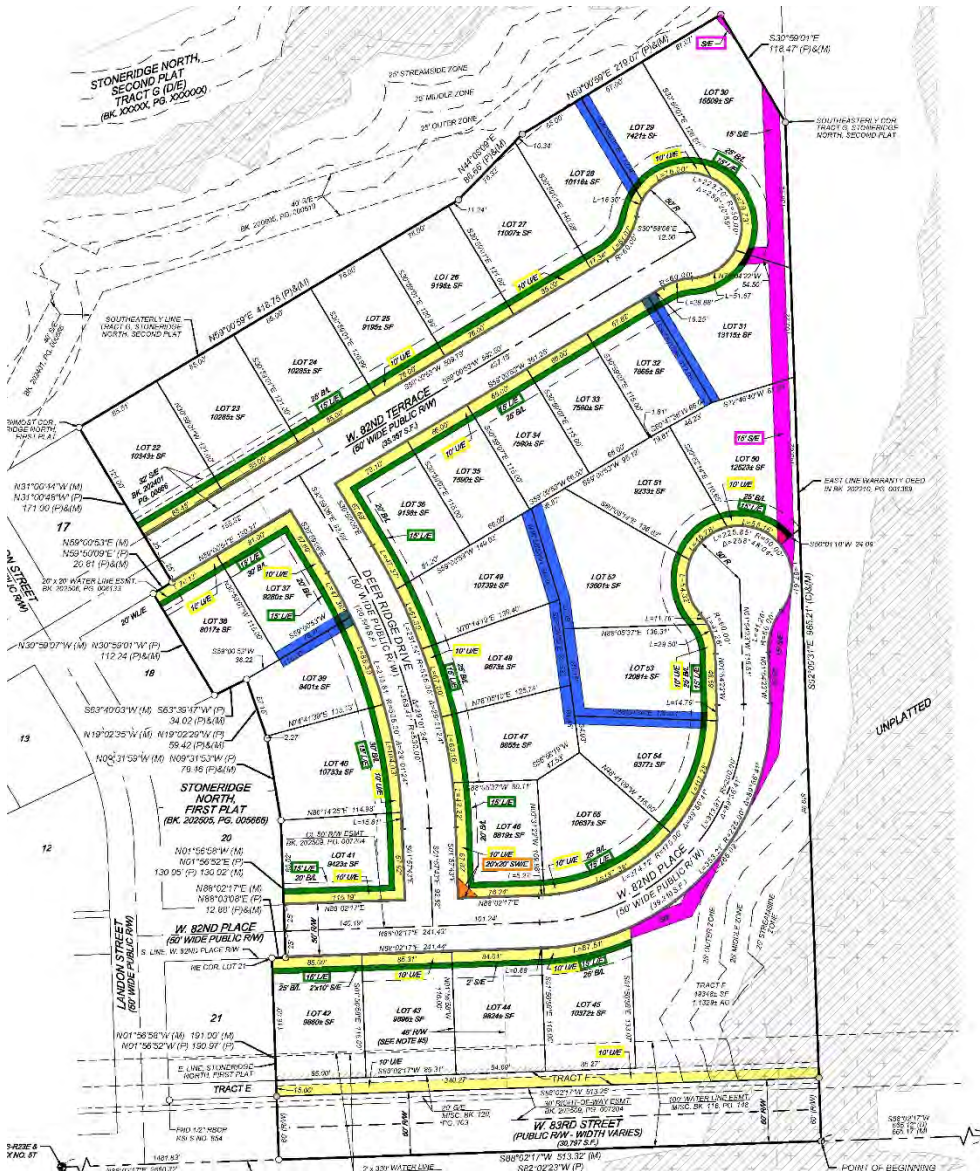


Exhibit 3: Final Plat Exhibit

TABLE 3: TRACT PURPOSES

Tract	Purpose
Tract F	Landscaping, Open Space, Stormwater Treatment

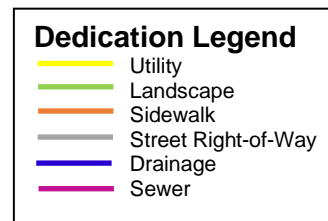
Street development includes the continuation of 82nd Terrace and 82nd Place, which will end in a cul-de-sac within this portion of the development. These streets will connect into Landon Street, which connects out to 83rd Street and north into further phases of the Stoneridge North development. Street development also includes the development of Deer Ridge Drive, which is contained entirely within this proposed phase.



As part of the plat, additional landscaping will be provided along 83rd Street to screen this project. The existing landscaping that is located around the creek on the southeastern portion of the overall site will be preserved as part of this project.

This plat is also dedicating utility, landscape, sidewalk, sewer, and drainage easements, as shown in Exhibit 4.

Residents of this plat will have access to amenities approved in previous phases of Stoneridge North, including two private parks and walking trails.



**At-Left Exhibit 4:
Dedication Map**

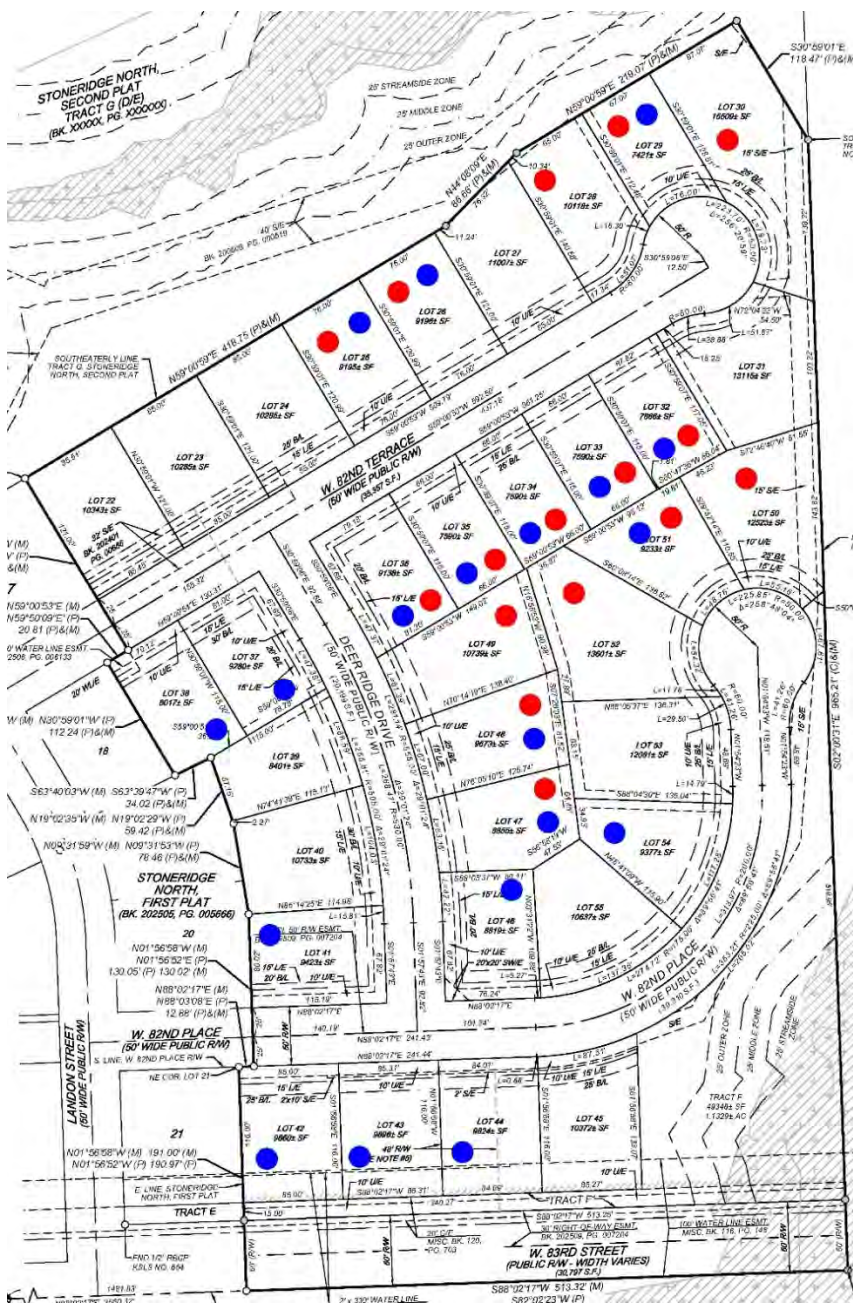
TABLE 4: PLAT DEDICATIONS

Type of Dedication	Dedicated to
Rights-of-Way	City of Lenexa
Utility Easement	City of Lenexa
Landscape Easement	City of Lenexa
Sidewalk Easement	City of Lenexa
Drainage Easement	Johnson County Wastewater
Sewer Easement	Consolidated Sewer District of Johnson County

DEVIATIONS

TABLE 5: APPROVED DEVIATIONS

Deviation Type	Lots	Code Requirement	Deviation Request	
Lot Width (Previously Approved)	25-26, 28-30, 32-36, 47-52	80' wide	66' wide	Maximum 14' reduction
Lot Area (Previously Approved)	25-26, 29, 32-39, 41-44, 46-48, 51, 54	10,000 SF	7,400 SF	Maximum 2,600 SF reduction



The preliminary plan/plat (PT22-01P) was approved with deviations from the RP-2 standards for minimum lot area, minimum lot width, and minimum corner lot width requirements. These deviations primarily allow for smaller lots within the subdivision as well as for smaller residences to be built on the lots. Table 5 reflects the deviation requests applicable to this final plat, and reflects the updated lot numbers, which have changed since the preliminary plat.

The applicant is not requesting any new deviations with this final plat application.

Legend

- Lot Width
- Lot Area

At Left: Exhibit 6: Deviation Map

NEXT STEPS

- The Planning Commission is the final authority for the approval of a final plat.
- The final plat requires acceptance of dedications by the City Council. Pending approval from the Planning Commission, the project is tentatively scheduled for consideration by the City Council on April 21, 2026.
- The final plat must be recorded with Johnson County prior to permit(s) being released.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant should inquire about additional City requirements and development fees.

RECOMMENDATION FROM PROFESSIONAL STAFF

★ **Staff recommends approval of the proposed Final Plat for Stoneridge North, Fifth Plat.**

- This is a final plat of 34 two-family residential lots and one tract in the RP-2 Zoning District, with previously approved deviations for lot area, lot width, and front yard setback. This is the intended second and third phase of the two-family portion of the Stoneridge North subdivision.
- Staff recommends updating the Comprehensive Plan from Suburban-Density Residential to Medium-Density Residential to align with the proposed use of duplexes and the RP-2 zoning.
- The project is consistent with Lenexa's goals through *Responsible Economic Development* and *Strategic Community Investment* to create *Vibrant Neighborhoods*.

FINAL PLAT

Staff recommends **APPROVAL** of the final plat for PT26-13F – **Stoneridge North, Fifth Plat** near the northeast corner of 83rd Street & Landon Street, for a two-family residential subdivision.

CONSENT AGENDA

1. **The RiSE — Consideration of a final plan for a mixed-use building on property located at 8700 Ryckert Street within the CC, Planned City Center District. PL26-02F**
2. **Enclave at Twin Creeks — Consideration of a final plat for a single-family residential subdivision on property located near the northwest corner of 83rd Street & Clare Road within the RP-1, Planned Residential (Low Density) District. PT26-12F**
3. **Stoneridge North, Fifth Plat — Consideration of a final plat for a duplex residential development on property located near the northeast corner of 83rd Street & Landon Street within the RP-2, Planned Residential (Intermediate Density) District. PT26-13F**
4. **Resolution finding City Center Redevelopment District (TIF) Project Plan 2D is consistent with the City of Lenexa's Comprehensive Plan for Development**

Chairman Poss entertained a motion to **APPROVE** the Consent Agenda Items. Moved by Commissioner Woolf, seconded by Commissioner Burson, and carried by a voice vote.

DRAFT



ITEM 4

SUBJECT: Acceptance of utility, drainage, landscape, and sidewalk easements and rights-of-way as shown on Enclave at Twin Creeks Final Plat

CONTACT: Stephanie Sullivan, Planning Manager

DATE: April 21, 2026

ACTION NEEDED:

Accept the utility, drainage, landscape, and sidewalk easements and rights-of-way as shown on Enclave at Twin Creeks Final Plat.

APPLICANT:

Jeff Skidmore, Schlagel Associates

OWNER:

James L. Mullin, II and Georgianna M. Mullin

PROPERTY LOCATION:

Near the northwest corner of 83rd Street & Clare Road

PROJECT BACKGROUND/DESCRIPTION:

The applicant requests approval of the final plat for the Enclave at Twin Creeks, a single-family residential neighborhood. The plat includes 50 lots, 10 tracts, easements, and rights-of-way. The site is located near the northwest corner of 83rd Street & Clare Road. The right-of-way dedication includes a portion of Clare Road, which will be improved along the length of the subdivision. Utility, drainage, landscape, and sidewalk easements and right-of-way are being dedicated to the City. Tract E is proposed to be dedicated to the City for recreation trail and park purposes via separate instrument at a future date.

The proposed final plat is consistent with the preliminary plat approved on December 16, 2025. The Governing Body is accepting rights-of-way for Clare Road, Houston Street, Greeley Street, 81st Street, 82nd Street, and 82nd Terrace, as well as utility, drainage, landscape, and sidewalk easements.

STAFF RECOMMENDATION:

Accept the easements and rights-of-way.

PLANNING COMMISSION ACTION:

This item was considered as Consent Agenda Item 2 at the April 6, 2026 Planning Commission Meeting.

Chairman Poss entertained a motion to recommend **APPROVAL** of the Consent Agenda. Moved by Commissioner Woolf, seconded by Commissioner Burson, and carried by a unanimous voice vote.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040

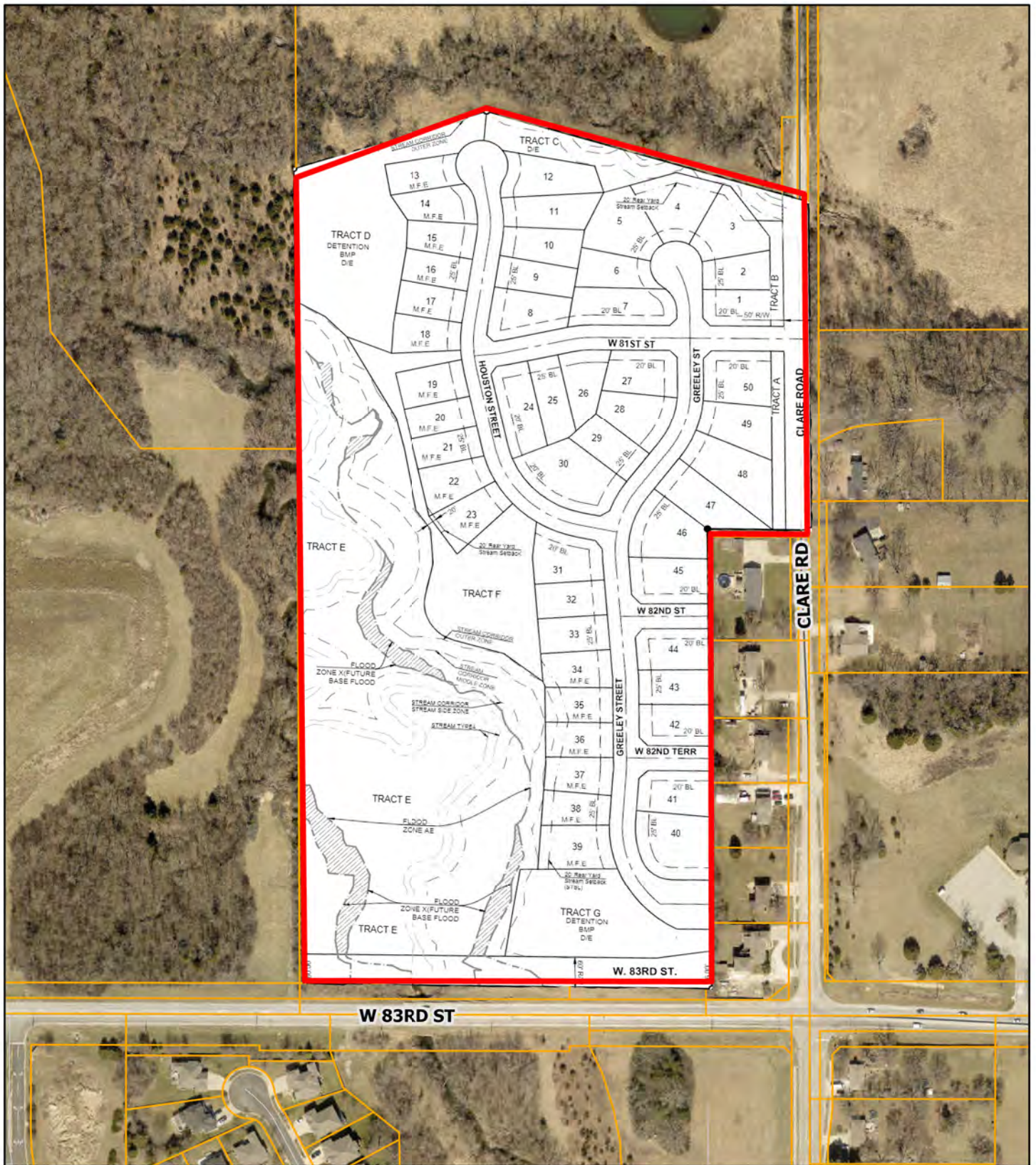
Vibrant Neighborhoods

Guiding Principles

Responsible Economic Development

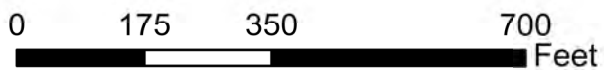
ATTACHMENTS

1. Map
2. Plat
3. PC Staff Report
4. PC Draft Minutes Excerpt



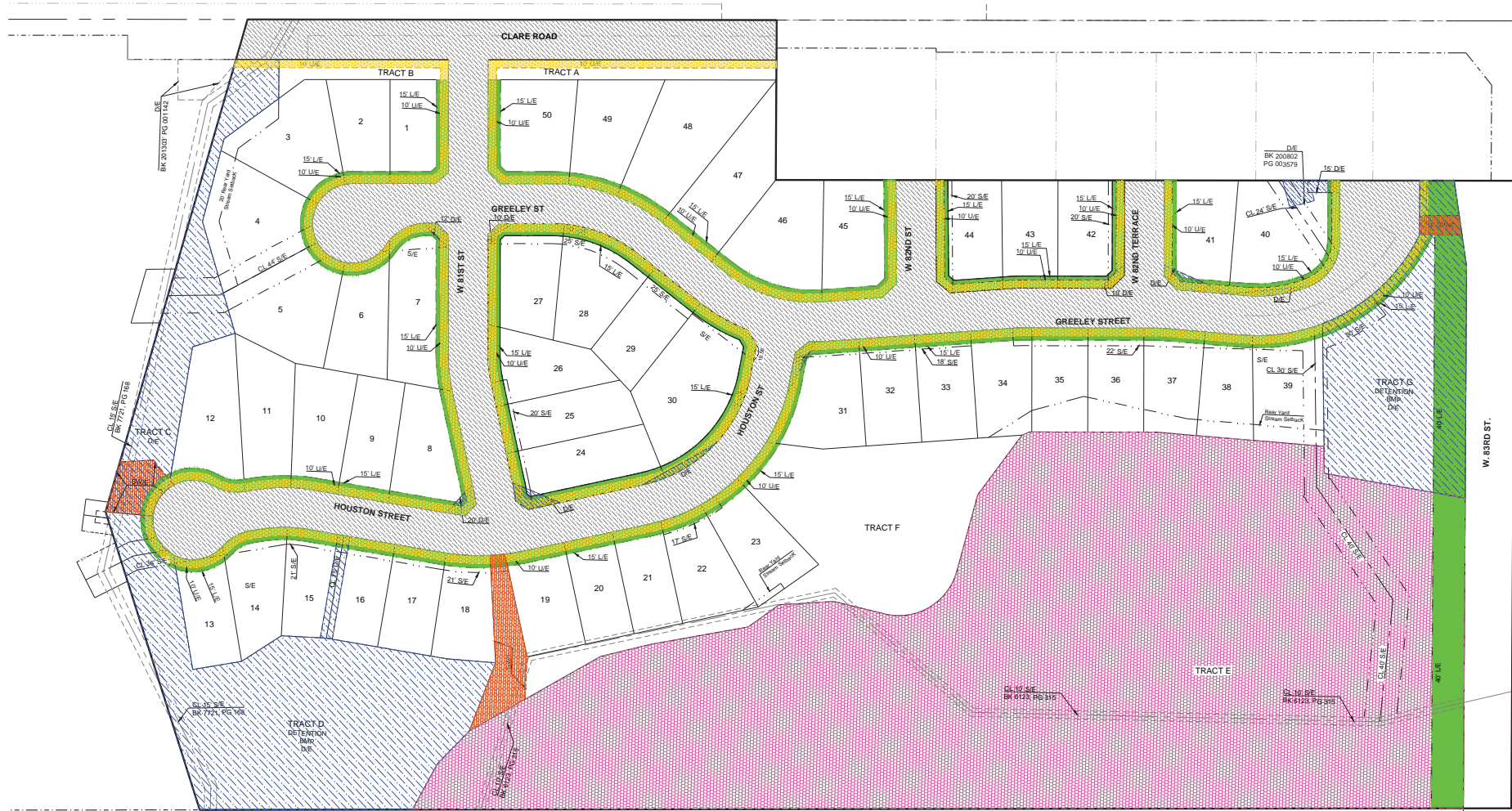
Data Source: City of Lenexa and Johnson County Kansas
 For further information, please call 913-477-7500

Enclave at Twin Creeks Final Plat



EASEMENT EXHIBIT ENCLAVE AT TWIN CREEKS

PART OF THE NE 1/4 OF SEC. 29-12-23 IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS



DEDICATIONS:

The streets and roads shown on this plat and not heretofore dedicated as thoroughfares are hereby dedicated to the City of Lenexa, Johnson County, Kansas.
 An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, pipes, manholes, surface drainage facilities and other similar facilities, upon, over, and under those areas outlined and designated on this plat as "Drainage Easements" or "D/E," is hereby granted to the City of Lenexa, Kansas. Drainage Easements shall remain free of fences, shrubs, trees and other obstacles that would restrict the flow of drainage. Tracts "C," "D" and "E" are hereby dedicated as a Drainage Easement.
 The City of Lenexa is under no duty or obligation to maintain or repair the stormwater drainage facilities placed within the limits of this easement, and in no event shall this easement be construed to impose any such obligation on the City of Lenexa.
 An easement or license to lay, construct, maintain, alter, repair, replace and operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress and egress, over and through those areas designated as "Sanitary Sewer Easement" or "S/E" on this plat, together with the right of ingress and egress over and through adjoining land as may be reasonably necessary to access said easement and is hereby dedicated to Johnson County Wastewater of Johnson County, Kansas or its assigns. Alteration of land contours will be permitted only with the express written approval of JCW. Any placing of improvements or planting of trees on said permanent right-of-way will be done at the risk of subsequent damage thereto without compensation thereof.
 An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, pipes, poles, wires, drainage facilities, sanitary sewers, ducts and cables, and similar facilities, upon, over and under those areas outlined and designated on this plat as "Utility Easement" or "U/E" is hereby granted to the City of Lenexa, Kansas. No above ground facilities associated with the uses herein permitted shall be constructed, located, or maintained in any area of the "U/E" that crosses or intersects with a "Drainage Easement" or "D/E".
 A 10-foot wide Utility Easement or "U/E" is hereby dedicated to the City of Lenexa, Johnson County, Kansas, or its designers, off of lots or tracts adjacent to and parallel with all proposed interior Street Right-of-Way lines, as shown hereon.
 A 15-foot-wide Landscape Easement or "L/E" on all lots and tracts adjacent to and parallel with interior Street Right-of-Way lines is hereby dedicated to the City of Lenexa, Kansas, and the Homeowners Association. Maintenance of this "L/E" shall be the responsibility of the lot owner.
 An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of sidewalks, upon and over those areas outlined and designated on this plat as "Sidewalk Easement" or "S/W/E" is hereby granted to the City of Lenexa, Kansas. No above ground facilities associated with the uses herein permitted shall be constructed, located, or maintained in any area of the "L/E" that crosses or intersects with a "S/W/E". The sidewalk across Tract "A" will be constructed by the developer with the site infrastructure.
 NOT AN EASEMENT: Tract E as shown hereon shall be dedicated in fee simple absolute, to the City of Lenexa at a time that is acceptable to and requested by the Director of Parks and Recreation. Said Tract E is intended to be used as public open space, natural preservation area, and for the extension of the Greenway Linkage System, and may include a bike-hike trail. The exact location of the bike-hike trail will be determined by the City at the time of construction.

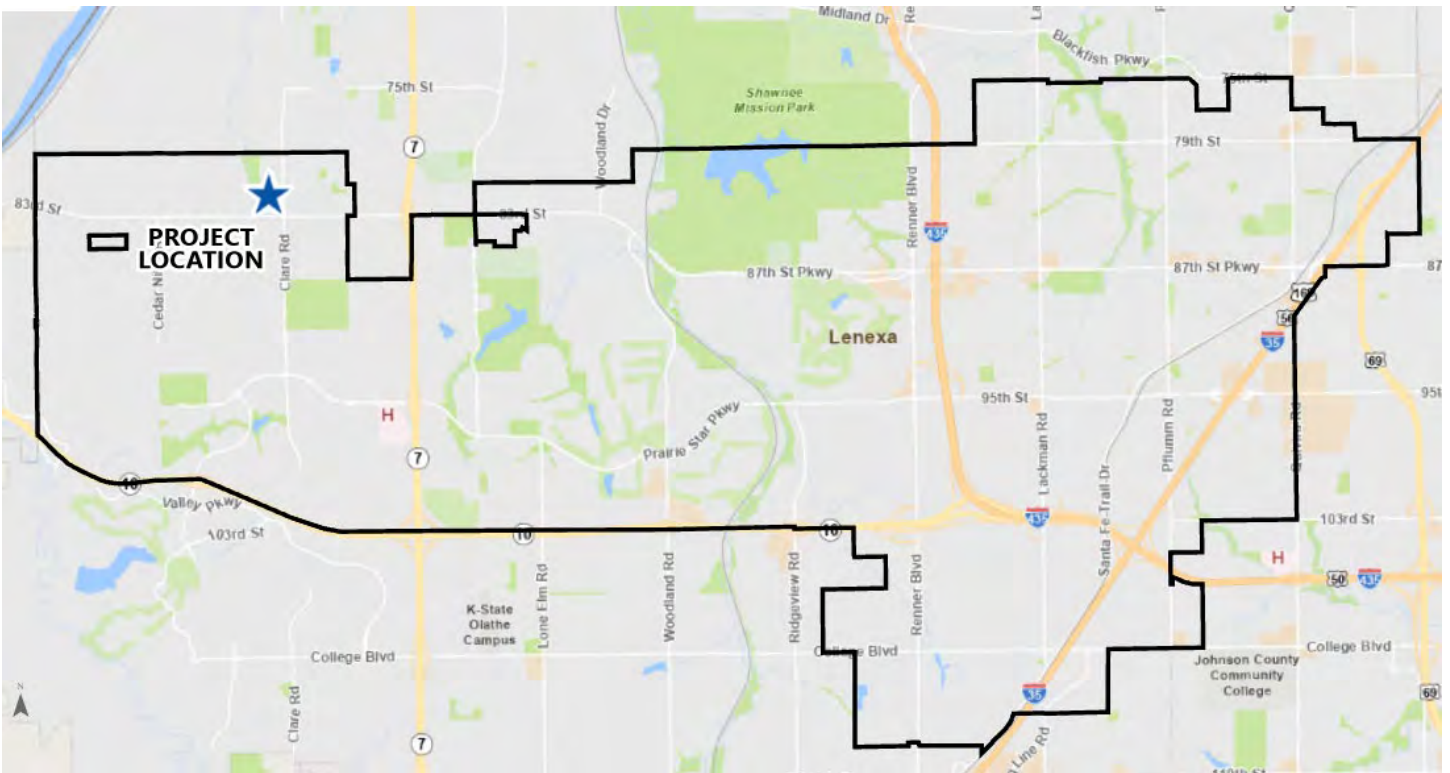
NOTE:
 The exact location of easements and right of way are subject to change prior to recording based on fieldwork and final design.

SCHLAGEL
 ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
 14029 West 107th Street • Lenexa, Kansas 66219
 Ph: (913) 492-5158 • Fax: (913) 492-8400 • WWW.SCHLAGELASSOCIATES.COM
 Kansas State Certification of Authority
 REC-2018-04-29-04554

DATE	03/19/2026	EASEMENT EXHIBIT ENCLAVE AT TWIN CREEKS
DRAWN BY	JWT	
CHECKED BY	SCH	
PROJ. NO.	25-136	
SHEET NO.		1

ENCLAVE AT TWIN CREEKS

Project #:	PT26-12F	Location:	Near the northwest corner of the intersection of W. 83 rd Street and Clare Road
Applicant:	Jeff Skidmore, Schlagel Associates	Project Type:	Final Plat
Staff Planner:	Jessica Lemanski	Proposed Use:	Single-Family Residential



PROJECT SUMMARY

The applicant requests approval for a final plat of 33.9 acres of a 53-acre parcel near the northwest corner of the intersection of W. 83rd Street and Clare Road for a single-family residential subdivision. The final plat contains 50 lots and 10 tracts bordered by sections of stream corridor where future City trails are planned. Proposed density for the development is 0.67 dwelling units per acre. Deviations from the Unified Development Code (UDC) for the lot widths for 26 lots and 4 corner lots, and a deviation from the front setback for all lots of the subdivision were approved with the preliminary plan/plat. A Public Hearing is not required for a Final Plat. This plat requires City acceptance of dedications for street rights-of-way and utility, landscape, sidewalk, and drainage easements.

STAFF RECOMMENDATION: APPROVAL

SITE INFORMATION

The subject property is currently an approximately 53-acre single-family residential property that spans from 79th Street to 83rd Street along the west side of Clare Road, with the exception of six single-family residential lots near the intersection of 83rd Street and Clare Road. The site was annexed into the City of Lenexa in 1986 and a 33.9-acre portion was rezoned to RP-1 in December 2025. The larger property is bisected by a stream running east to west, which serves as a natural barrier between the proposed subdivision and the northern portion of the property. The portion of the property to the north of the stream has been utilized as low-density single-family residential and will remain as such. On the western portion of the site, another stream runs north-south and separates the subject property from the Mill Creek Middle School site. The two streams begin to converge at the northwestern portion of the site, which is adjacent to City-owned land intended to be a future City park.

TABLE 1: PREVIOUS APPLICATIONS

Project No.	Type	Project Name	Date Approved
RZ25-09	Rezoning	Enclave at Twin Creeks	December 16, 2025
PT25-04P	Preliminary Plan/Plat	Enclave at Twin Creeks	December 16, 2025

LAND AREA (AC)	LOTS	CURRENT ZONING	COMP. PLAN
Entire Parcel: 53.33	Existing Parcel to Remain: 1	AG	Suburban-Density Residential
Proposed Development: 33.9	Proposed Development: 50	RP-1	



Exhibit 1: Aerial Image of Subject Site.

LAND USE REVIEW

The proposed development is for single-family use, which is allowed in the RP-1 Zoning District. This site is classified as Suburban-Density Residential on the Future Land Use Map of the Comprehensive Plan. The proposed use of single-family residential is appropriate for the area and the surrounding uses.

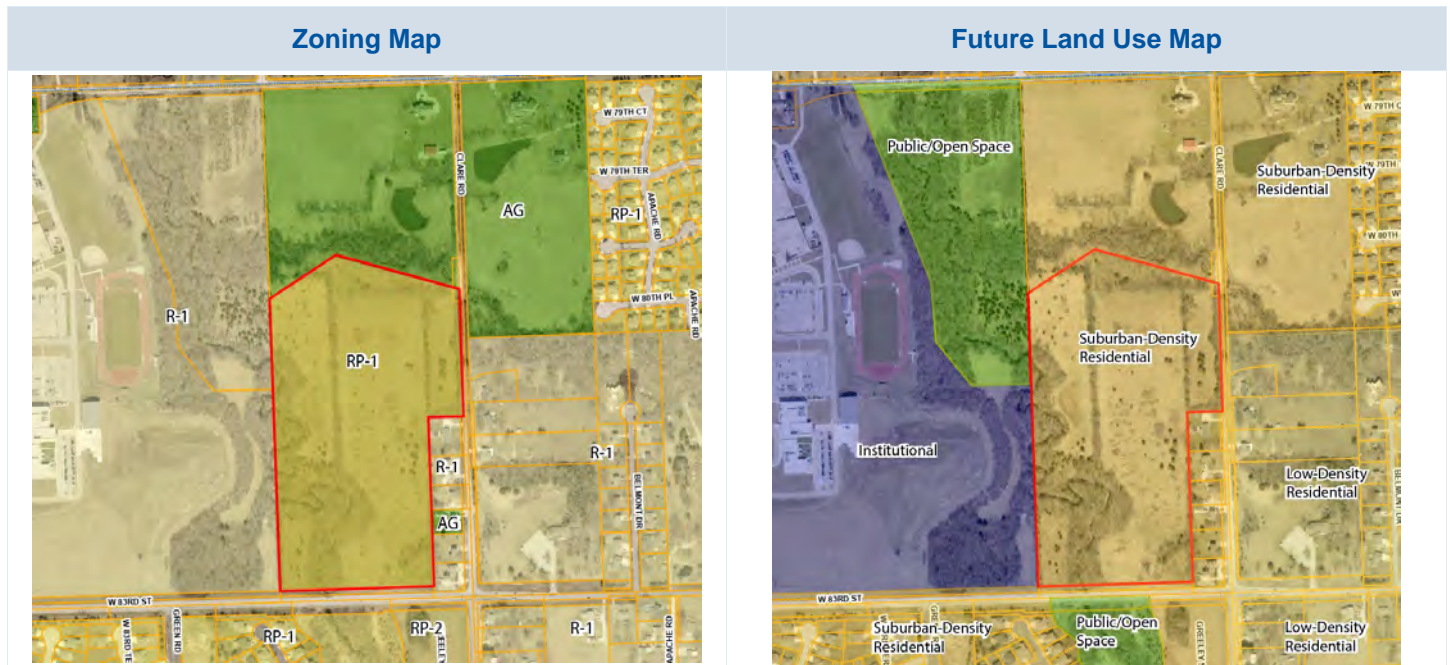
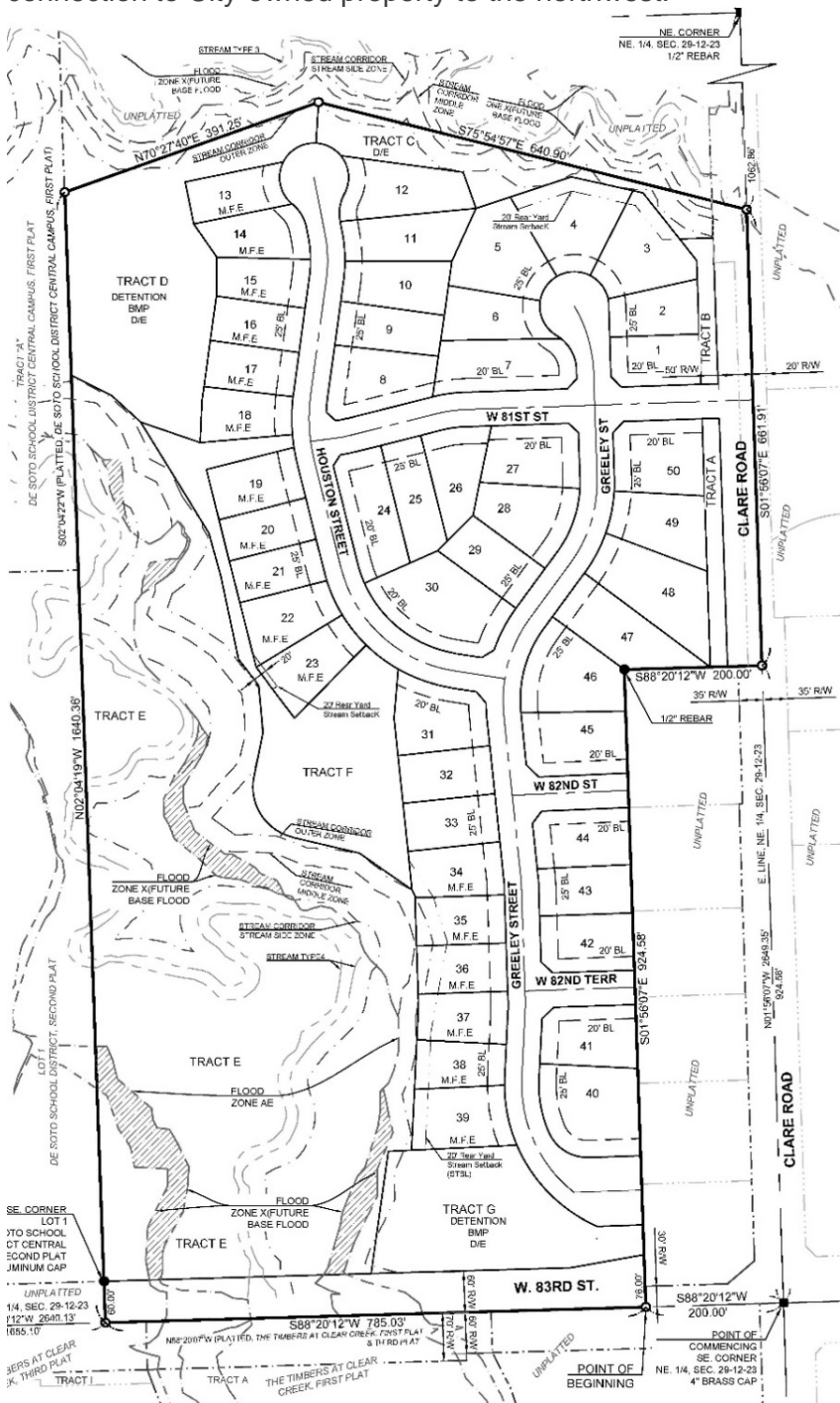


TABLE 2: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Classification	Zoning	Current Use
Subject Property	Suburban-Density Residential	RP-1, Planned Residential Single Family (Low-Density) District	Undeveloped
North	Suburban-Density Residential	AG, Agricultural District	Single-family residential
South	Medium-Density Residential, Parks & Open Space	RP-1, Planned Residential Single Family (Low-Density) District	City Park, Undeveloped
East	Low-Density Residential	R-1, Single-Family Residential District AG, Agricultural District	Single-family residential, undeveloped
West	Institutional, Parks & Open Space	R-1, Single-Family Residential District	Middle School, City Park

FINAL PLAT REVIEW

The subject site is located near the northwest corner of the intersection of W. 83rd Street and Clare Road. The subdivision contains 50 single-family lots and 10 tracts on 33.6 acres. Deviations were approved with the preliminary plan/plat to allow a 5' reduction from the required 30' front setback for all lots and to allow 26 lots to deviate from the required 70' lot width. Tracts are provided at the north, west, east and south sides of the subdivision to provide stormwater detention, stream corridor and stormwater quality, landscape buffers, trail connections, and common areas for residents. Tract E is proposed to be transferred to the City to allow a trail connection to City-owned property to the northwest.



At right: Exhibit 2: Final Plat

The subdivision takes access from Clare Road at one point (81st Street). The main “spine” street within the subdivision will end in cul-de-sacs due to the limitation of crossing the stream to the north of the subject property. Three street stubs are provided to the single-family homes to the east of the property along Clare Road to allow for future connections to be made should these lots ever be redeveloped. It is staff’s desire to limit the number of residential driveways on Clare Road, especially so close to the intersection of W. 83rd Street. By allowing for future alternative access from the subdivision, the existing driveways can be removed when the properties are redeveloped. It is anticipated that one of the street stubs may connect to Clare Road in the future to allow a second access point to the neighborhood and maintain compliance with UDC Section 4-2-C-2, which notes that 50 dwelling units is the maximum number of lots that may be served by a single cul-de-sac (i.e., a dead-end street system with one access point).

The subdivision is bordered on the west and north sides by stream corridors where future City trails, identified on the City’s Parks, Open Space and Recreation Map, are planned to be located. Trail easements are provided within Tract C on the north side to connect to the future trails. Tract E is proposed to be transferred to the City at a time to be determined by the Director of Parks and Recreation to allow the construction of a trail on the west side of the property. This trail will provide a connection from 83rd Street to a separate City-owned property on the northwest side of the subject property where a future City park is identified on the Parks, Open Space and Recreation Map within the Comprehensive Plan.

The subdivision includes several locations where sidewalks are provided from the local streets between lots, to W. 83rd Street, and to the future trails. The timing of the completion of the primary public trails by the City is not known. The expectation is for the internal sidewalks and connections to the future City trails to be constructed by the developer with public improvements for that phase of the subdivision. The sidewalk connections will be dedicated to the City as a public sidewalk easement to allow public access but are to be owned and maintained by the HOA. Various drainage, sanitary sewer, utility, and landscape easements are provided throughout the subdivision.

At Left: Exhibit 3: Proposed Tracts.

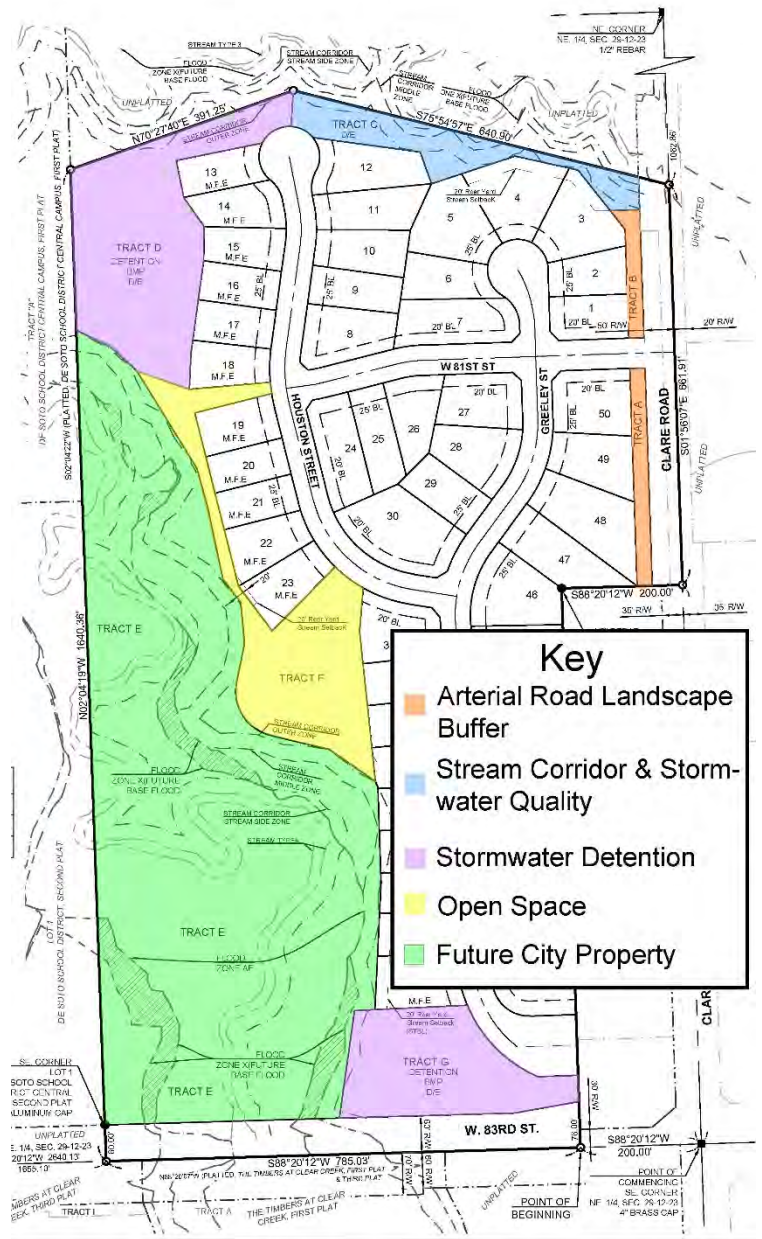


TABLE 3: ENCLAVE AT TWIN CREEKS FINAL PLAT		
Lots and Tracts	Purpose	Ownership
Lots 1-50	Single-Family Residential	Developer
Tracts A & B	Arterial Road Landscape Buffer	Homeowner’s Association
Tract C	Stream Corridor & Stormwater Quality	Homeowner’s Association
Tracts D & G	Stormwater Detention	Homeowner’s Association
Tract F	Open Space	Homeowner’s Association
Tract E	Future City Trail, Stream Corridor	City of Lenexa

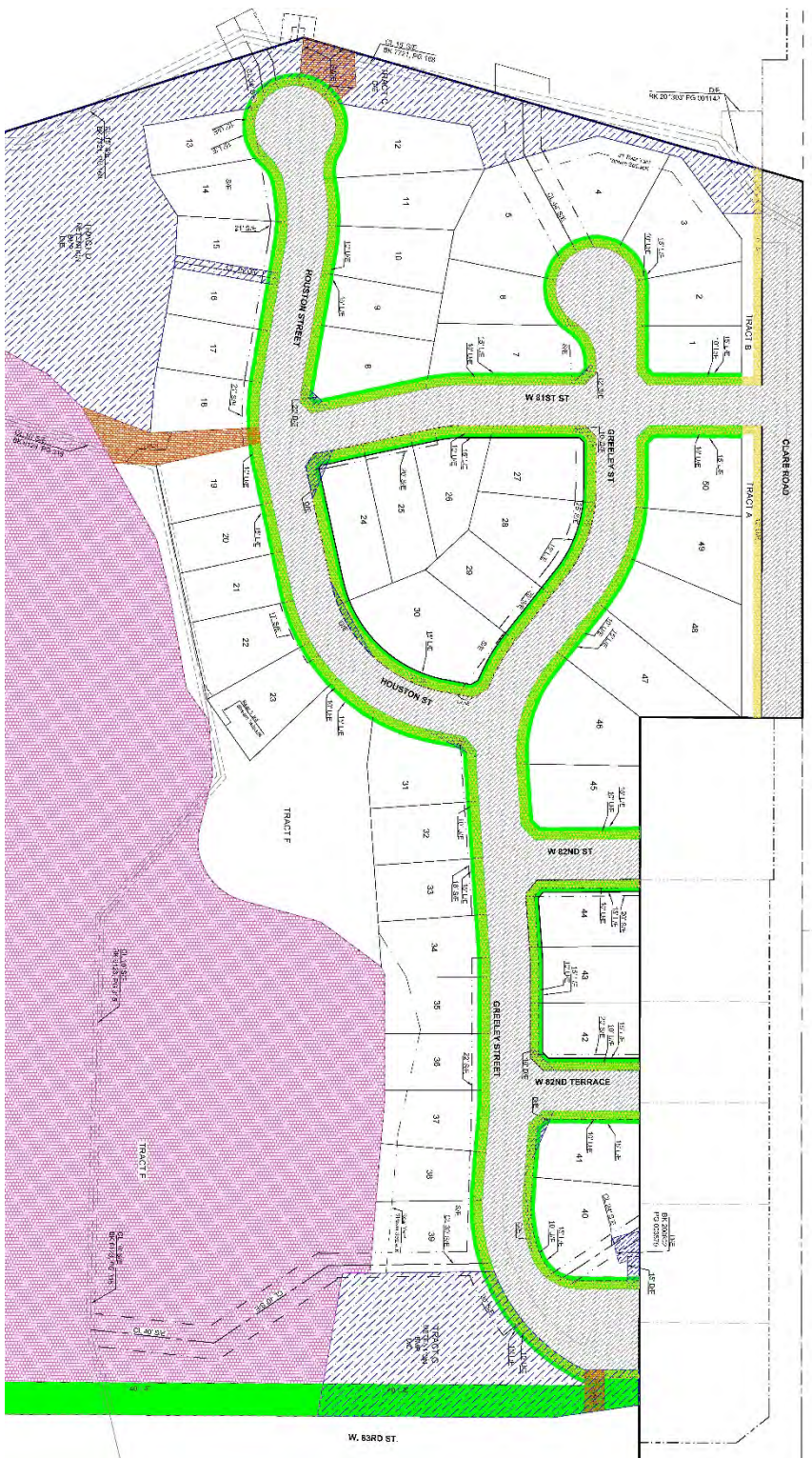


TABLE 4: DEDICATIONS OF EASEMENTS AND RIGHTS-OF-WAY (ROW)

Dedications	Color	Ownership
Street ROW	Grey	City of Lenexa
Drainage Easement	Blue	City of Lenexa
Utility Easements	Gold	City of Lenexa
Landscape Easements	Green	City of Lenexa, Homeowners Association
Sidewalk Easements	Orange	City of Lenexa
Future City Property (To be dedicated by separate instrument)	Pink	City of Lenexa
Sewer Easement	Black	Johnson County Wastewater

At Left: Exhibit 4: Easement and right-of-way dedications

DIMENSIONAL STANDARDS

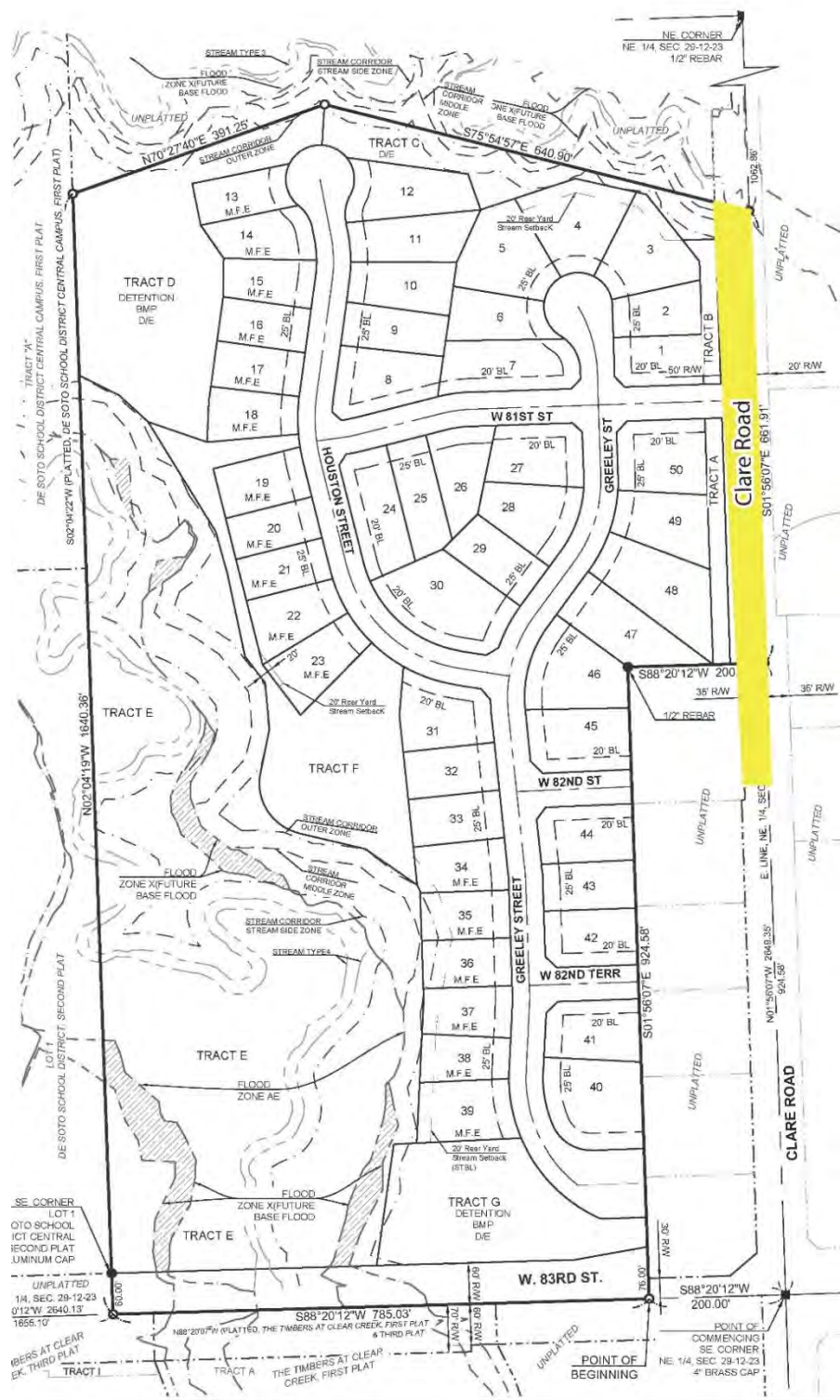
The subdivision is generally in compliance with the subdivision requirements of Section 4-2-C of the UDC. Deviations to reduce the lot width of 26 lots and reduce the front setback to 25' for all 50 lots were approved with the preliminary plat/plan. The applicant is requesting an additional deviation with the final plat to reduce 4 corner lot widths by 7'. All other dimensional standards of the RP-1 District will be met. Side setbacks are to remain at 7' and rear setbacks are 20', and all lots meet the minimum lot area of 8,000 SF.

PUBLIC IMPROVEMENTS

Clare Road, which is classified as a secondary arterial, will be required to be improved along the length of the subject site. Approximately 830 linear feet of Clare Road have already been improved north of W. 83rd Street. The developer is responsible for improvements to the remainder of Clare Road adjacent to the subject site to match that section just north of the intersection. Sidewalks are to be constructed with these improvements to Clare Road.

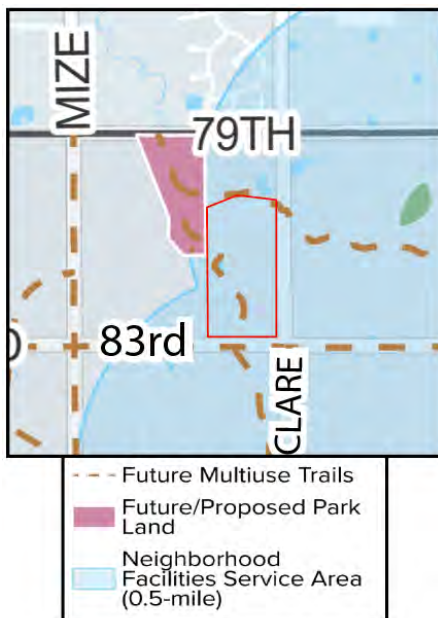
At Right: Exhibit 5: Approximate section of Clare Road to be improved by the developer in order to serve the project shown in yellow.

The final plat boundary includes the right-of-way for the adjacent section of Clare Road that is not yet improved. Improvements to the intersection of W. 83rd Street and Clare Road will be the responsibility of the City to construct. It is anticipated that the City will improve W. 83rd Street between Mize Road and Clare Road in the next year or year after as it is a project included in the current Capital Improvement Program.



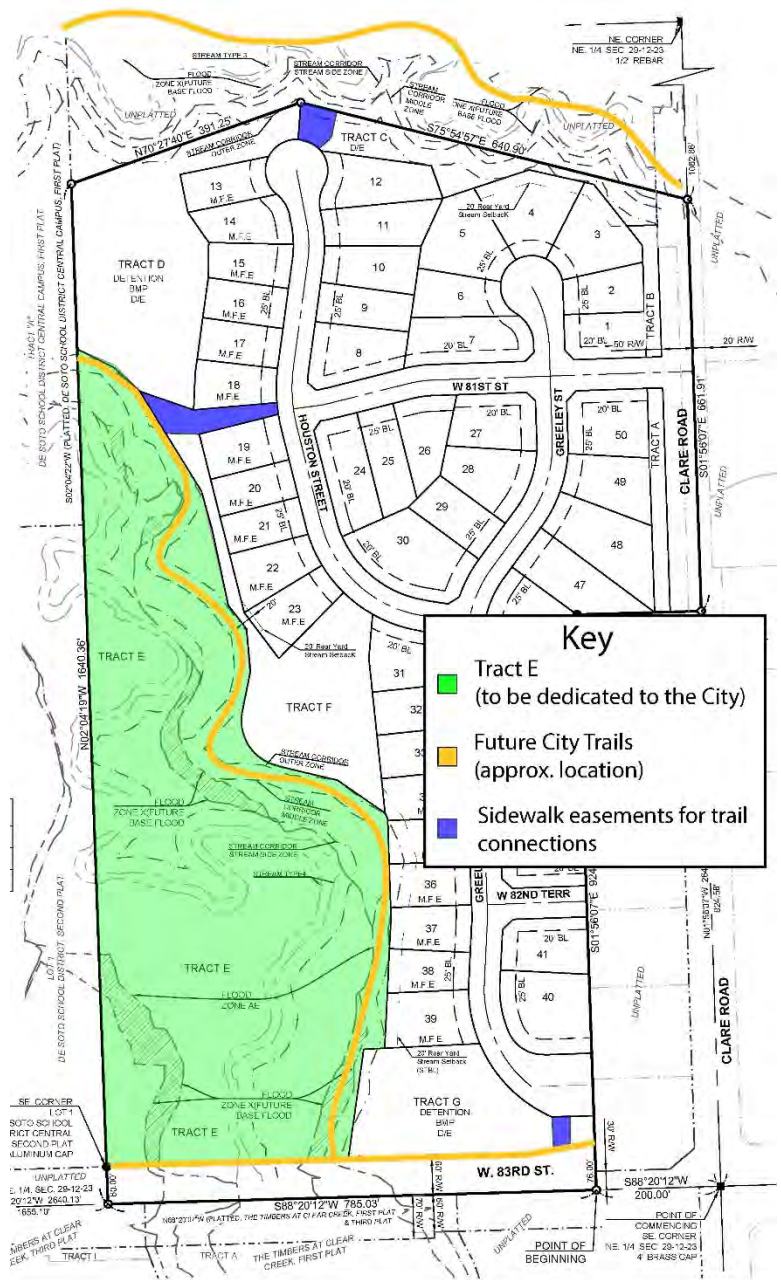
TRAILS

The City’s Parks, Open Space and Recreation Map reflect city trails to the north and west of the subject property along the stream corridor. The trail identified to the north of the subdivision is not included in this final plat. The property owner has proposed dedicating the entirety of Tract E to the City to allow the construction of the trail to the west. The trails will be constructed as part of a future improvement project funded and constructed by the City of Lenexa. There is not an anticipated timeline for construction of these trails. The final plat also provides sidewalk easements from the residential lots to the future trail locations along the stream corridors as identified on the City’s Parks, Open Space and Recreation Map.



Above: Exhibit 6: Master Trail Plan within the subject property’s general vicinity

At right: Exhibit 7: Tract E, approximate location of future City trails, and sidewalk easements within the final plat.



Key

- Tract E (to be dedicated to the City)
- Future City Trails (approx. location)
- Sidewalk easements for trail connections

STORMWATER

The applicant has submitted a final stormwater management study demonstrating the intent to meet the City’s stormwater management requirements. This will generally be accomplished by preserving the stream buffer adjacent to the project, as well as with the construction of two new wet retention basins. As noted, stream buffer exists on this site, and therefore in addition to the various appropriate buffer zone restrictions, a 20’ single-family residential rear yard setback is required.

FIRE PREVENTION

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal.

LIGHTING

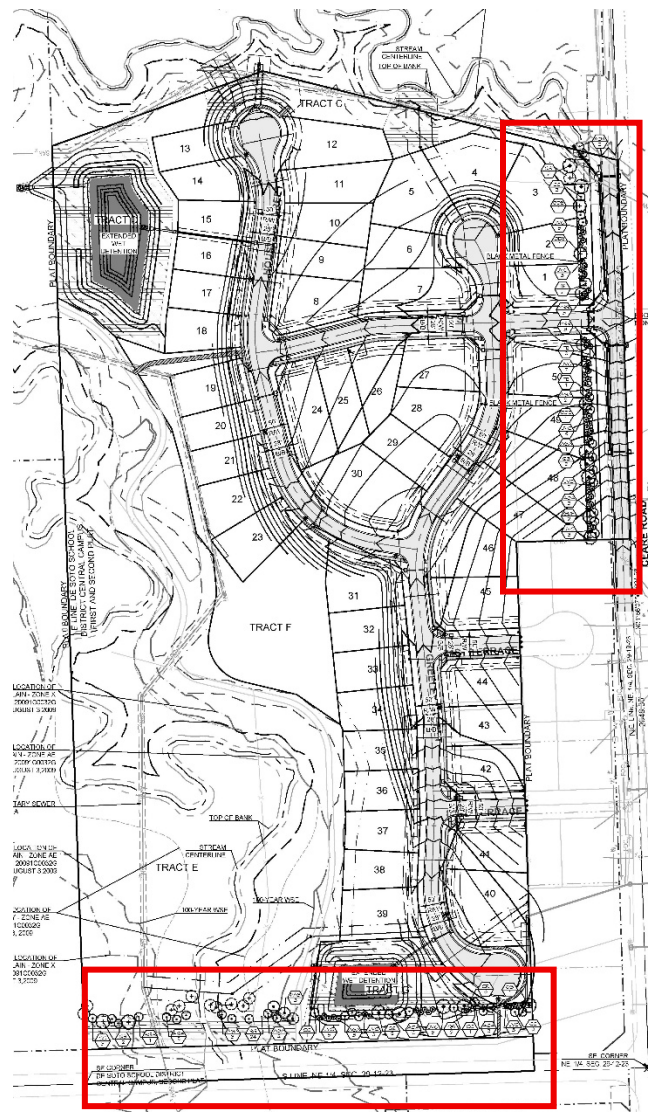
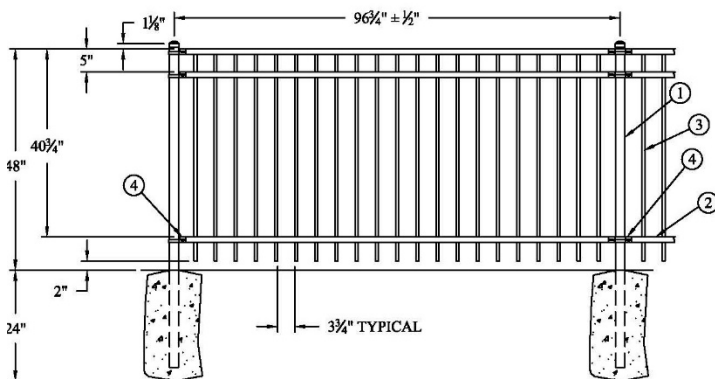
Streetlights will be installed along all public streets in accordance with the City Public Improvement requirements. Site and exterior lighting on private development is subject to Section 4-1-C-4-I of the UDC.

LANDSCAPING

Single-family subdivisions require a fence and landscape buffer along collector and arterial streets. The buffer is typically provided in a tract between lots and the street right-of-way as it is with this subdivision. The tract is identified on the plat as a tract to be maintained by the HOA. Existing groundcover will be replaced with turf and new trees and shrubs will be added. There are existing trees noted to remain, and all existing non-shade tree vegetation is to be removed. A 4’ tall steel open-style fence is proposed along Clare Road. Section 4-2-E-4 of the UDC states the minimum landscape requirements for the buffer.

At Right: Exhibit 8: Landscape Plan provided with the Preliminary Plat

Below: Example of the 4’ tall steel fencing proposed along Clare Road and 83rd Street.



ARCHITECTURE

Single-family residential development is subject to Section 4-1-C-5-C of the UDC. These regulations do not specify building design standards to the same extent as other types of development. The review of the design of a single-family residential dwelling occurs during the building permit review of the structure. The approved preliminary plat and the final plat specify a housing classification of E for this development.

DEVIATIONS

Two deviations from Section 4-1-B-6-F of the UDC were approved with the preliminary plat related to the minimum lot width for Lots 1-26 and front yard setback for all lots as noted in Table 5. These deviations were originally presented as lot width and front yard setback reductions. Staff and the applicant have further clarified these deviation requests for Lots 1, 7, 8, and 24 to specify that the minimum *corner lot width* was requested to be reduced. The minimum lot width for corner lots in the RP-1 Zoning District is 80 feet, while the non-corner minimum lot width is 70 feet. The applicant proposes only a 7-foot reduction to the minimum corner lot width standard, and up to a 10-foot reduction from the non-corner minimum lot width standard.

The deviations were requested to allow for a variety of housing products for this subdivision. Goal 2.1 of the Comprehensive Plan encourages the provision of attainable housing through diverse housing choices and creative housing types. The requested reduction in corner lot width by up to 7' supports this goal by enabling a broader range of lot and building configurations, which in turn accommodates multiple styles of single-family housing products at varying sizes and price points. Allowing flexibility in lot dimensions helps create opportunities for more attainable units while maintaining compatibility with surrounding development patterns.

The applicant also received a reduced front setback for all 50 lots with the preliminary plat. The subject property is narrow in shape and bordered by stream corridors on the north and west sides. In order to allow for proper grading, larger rear yards, and more distance between the houses and the public trails and Clare Road, reduced setbacks would allow homes to be pulled closer to the street and further from the rear of the lots that would face the public trail system and Clare Road. This would also improve the privacy for homeowners and provide flexibility for backyard amenities such as pools, play areas, and decks. Per Section 4-1-O-12 of the UDC the Planning Commission may approve a reduction in the yard and setback requirements.

TABLE 5: DEVIATIONS			
Deviation	UDC Requirement	Proposed	Difference
Lot width (Lots 1-26)	70 feet	60 feet	10 feet
Corner Lot width (1, 7, 8, 24)	80 feet	73 feet	7 feet
Front yard setback (all lots)	30 feet	25 feet	5 feet

Staff supports the deviations approved with the preliminary plat and seeks to clarify those deviations with Table 5 and Exhibit 7. The deviations for reduced lot dimensions allow for a reasonable clustering of smaller lots on a narrow site with significant undevelopable areas. The area of undevelopable land for this site due to the stream corridors limit the size and number of lots that can be developed under UDC standards. The applicant commits to providing 7-foot side yard setbacks for all lots, which will eliminate the challenges of constructing homes closer together than the minimum side yard setback allows.

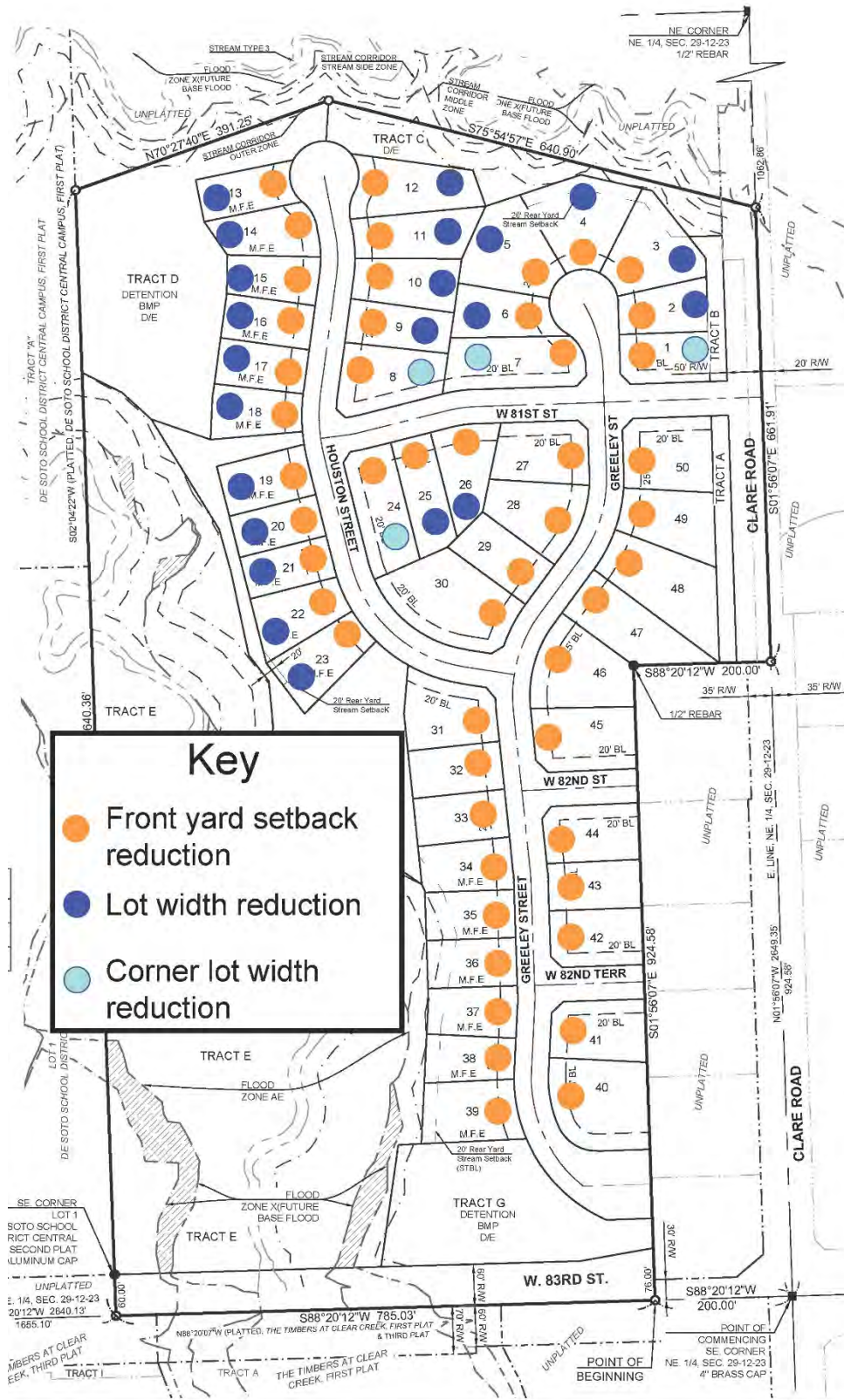


Exhibit 9: Deviation plan.

REVIEW PROCESS

- This project requires a recommendation from the Planning Commission and acceptance of dedications by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration by the City Council on April 21, 2026.
- The final plat must be recorded with Johnson County prior to permit(s) being released.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant should inquire about additional City requirements, such as permits and development fees.

RECOMMENDATION FROM PROFESSIONAL STAFF

★ **Staff recommends approval of the final plat for The Enclave at Twin Creeks.**

- The plat contains 50 single-family residential lots and 10 tracts on 33.9 acres.
- The plat includes trail easements in alignment with the City's Trails Master Plan.
- The plat accounts for potential future redevelopment of existing residential lots along Clare Road and provides access and connectivity for those lots to be reoriented and access to Clare Road to be removed from individual lots.
- The project is consistent with Lenexa's goals through *Responsible Economic Development* to create *Vibrant Neighborhoods* and a *Thriving Economy*.

FINAL PLAT

Staff recommends **APPROVAL** of the final plat for **The Enclave at Twin Creeks** located near the northwest corner of the intersection of W. 83rd Street and Clare Road for a single-family subdivision with deviations as noted in the Staff Report.

CONSENT AGENDA

1. **The RiSE — Consideration of a final plan for a mixed-use building on property located at 8700 Ryckert Street within the CC, Planned City Center District. PL26-02F**
2. **Enclave at Twin Creeks — Consideration of a final plat for a single-family residential subdivision on property located near the northwest corner of 83rd Street & Clare Road within the RP-1, Planned Residential (Low Density) District. PT26-12F**
3. **Stoneridge North, Fifth Plat — Consideration of a final plat for a duplex residential development on property located near the northeast corner of 83rd Street & Landon Street within the RP-2, Planned Residential (Intermediate Density) District. PT26-13F**
4. **Resolution finding City Center Redevelopment District (TIF) Project Plan 2D is consistent with the City of Lenexa's Comprehensive Plan for Development**

Chairman Poss entertained a motion to **APPROVE** the Consent Agenda Items. Moved by Commissioner Woolf, seconded by Commissioner Burson, and carried by a voice vote.

DRAFT



ITEM 5

SUBJECT: Approval of an agreement with Kimley-Horn for preliminary engineering services for the Little Mill Creek Park Improvements Project

CONTACT: Nick Arena, Municipal Services Director

DATE: April 21, 2026

ACTION NEEDED:

Approve an agreement with Kimley-Horn for preliminary engineering services for the Little Mill Creek Park Improvements Project ("Project").

PROJECT BACKGROUND/DESCRIPTION:

The Project is needed to enhance safety, improve long-term infrastructure performance, and address current operational and public use demands. Key reasons the Project is necessary include:

- Improves safety and durability by reconstructing Cottonwood Street with long-lasting concrete pavement, reducing future maintenance needs.
- Supports City operations by expanding the south parking lot at the Municipal Services Center, providing additional parking for employees and visitors.
- Addresses high park demand by constructing a new parking lot at the north end of Little Mill Creek Park, increasing capacity, improving traffic flow, and alleviating frequent parking shortages.
- Enhances public infrastructure with upgraded street lighting, stormwater management features, sidewalks, curbs, and other safety improvements.

The amount of additional parking spaces after these improvements are completed will be finalized after the preliminary design is completed.

Staff selected Kimley-Horn to provide engineering services for this Project based on their recent experience developing the site civil design for the Municipal Services Campus Master Plan in 2025. Through that work, they have developed a strong understanding of the site's existing conditions, constraints, and long-term planning objectives. Their familiarity with the Project area, including previously completed surveying and utility coordination, positions them to deliver a more efficient and well-coordinated design. Preliminary engineering services will confirm and refine the layout of each parking lot after coordination with Municipal Services and Parks and Recreation staff. This phase will develop initial design plans for Cottonwood Street, the Municipal Services parking lot expansion, and the new Little Mill Creek Park parking lot. It will also include preparation of preliminary cost estimates and project coordination meetings to ensure that the proposed improvements meet operational needs, address safety considerations, and support long-term functionality.

Completing a preliminary design will identify key design issues early, such as utilities, grading, stormwater requirements, traffic circulation, and construction phasing, before final design work begins. After the preliminary design is completed and approved, staff will return with a separate agreement for final design and preparation of detailed bid documents.

This agreement uses the City's standard form and is available for review in the City Clerk's office.

FINANCIAL IMPLICATIONS/FUNDING SOURCES:

This Project is budgeted in the 2026-2030 Capital Improvement Program (Project No. 60032), with construction scheduled to begin in 2027. The total fee is \$94,500.

STAFF RECOMMENDATION:

Approve the agreement.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040
Healthy People

Guiding Principles
Superior Quality Services

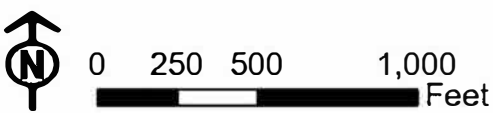
ATTACHMENTS

1. Map



Data Source: City of Lenexa and Johnson County Kansas
 For further information, please call 913-477-7500

Little Mill Creek Park Improvements





**CITY COUNCIL
MEMORANDUM**

ITEM 6

SUBJECT: Resolution providing notice and calling for a public hearing to appear and show cause why the structure at 12601 W. 95th Street (commonly known as the Radisson Hotel) should not be condemned and ordered repaired or demolished as an unsafe or dangerous structure in accordance with K.S.A. 12-1750 et seq.

CONTACT: Ashlee Tomasic, Assistant City Attorney
Scott McCullough, Community Development Director

DATE: April 21, 2026

ACTION NEEDED:

Adopt a resolution providing notice and calling for a public hearing to appear and show cause why the structure at 12601 W. 95th Street (commonly known as the Radisson Hotel) should not be condemned and ordered repaired or demolished as an unsafe or dangerous structure.

PROJECT BACKGROUND/DESCRIPTION:

The Radisson Hotel was built in 1970, with additional wings built in 1982, and has 282 labeled guest rooms as well as a bar, restaurant, workout room, pool, and many conference rooms. Kansas Hotels, LLC ("Owner") has been the owner of the Radisson Hotel since September 2018. Over the years, this property has been the subject of several code enforcement efforts – most notably the building was condemned for 10 days in 2021 and condemned again on March 26, 2026. The Radisson Hotel remains closed.

As part of the 2021 enforcement efforts, the Owner was cited in Lenexa Municipal Court with 28 counts related to property maintenance, building code, and fire code violations. After pleading no contest to 25 counts, \$25,000 in fines were imposed, and the property was ordered to be brought into compliance with City Code. Additional fines were suspended on several conditions related to compliance, but less than a year later, the City cited the Owner again related to violations at the property, and the judge imposed an additional \$27,500 in fines. Since this enforcement effort, there have been seven additional code enforcement actions, though they have not resulted in the filing of charges in municipal court.

The most recent enforcement began in September 2025 after community standards officers joined the Lenexa Fire Department for their annual inspection of the property. Following this inspection, the City provided a Notice of Violation and requested a full inspection of the property. Since September 2025, the City has conducted more than 10 separate inspections of the Radisson Hotel. Following the full property inspection, the City provided a new Notice of Violation in November 2025 detailing the extensive issues found during the full inspection and provided a spreadsheet detailing the issues room by room. At that time, the City requested mold testing in 54 guest rooms, as well as conference rooms and other common areas. After several months of no contact and missed deadlines, the City provided Notice on March 3, 2026, that the property was unsafe and unfit for human occupancy, but allowed the Radisson Hotel until March 25, 2026, to gain compliance and avoid condemnation. The City had minimal contact with Lenexa Vision (management company) during this time and no substantial progress was made.

The City reinspected on March 25, 2026, and determined that the conditions at the property remained such that the property must be condemned and occupancy of the building prohibited pursuant to Lenexa City Code Section 4-8-D-1, Section 108.1. A subsequent inspection was conducted on March 31, 2026, when all areas of the hotel were available for inspection. Following that inspection, the City provided a Post Condemnation Inspection Report and Notice of Outstanding Violations, which listed 21 violations of City Code. Those violations include, but are not limited to:

- Extensive mold throughout the building;
- Roof in substantial disrepair and leaking in multiple locations;
- One elevator out of service for an extended period and the operational one is leaking extensive amounts of hydraulic fluid;
- Boiler was installed without a building permit, lacks required state approval and the flue is significantly deficient;
- Several areas of the flooring are soft and not stable under a normal load;
- HVAC systems do not work in many guest rooms;
- Electrical panels were found with extensive rust and corrosion;
- Open electrical boxes in many guest rooms;
- Water damage is present on walls, floors, and inside required equipment;
- Many guest room doors have large gaps, allowing potential fire to spread;
- Marked, required fire exit doors do not open, other fire doors do not function as designed;
- Required ceiling tiles for fire system activation are missing;
- Additional violations have been identified at each inspection, including other areas of visible mold and mechanical deterioration.

Given the repeated violations and ongoing concerns that the property is unsafe and unfit for human occupancy pursuant to the Lenexa City Code 4-8-D-1 and 4-8-D-7, staff recommends initiating proceedings under K.S.A. 12-1750 et seq., which authorizes the City to order the repair, demolition, or abatement of unsafe or dangerous structures. This resolution begins the statutory process by setting a date for a public hearing to make that determination. If, at the public hearing, the structure is declared unsafe or dangerous, the City will set a time period in which the property owner must commence repair or removal. If the required work is not completed within that time period, the City may proceed with abatement, as authorized by state statute, which includes demolition or other necessary actions to remove the unsafe condition. At present, abatement appears to be the City's most viable enforcement option, given the substantial size of the property and scope of work needed.

Staff recommends setting the public hearing for June 16, 2026. Initiating this process does not obligate the City to proceed with abatement immediately, but it ensures all procedural requirements are met should the

City need to act. If the Owner makes substantial progress towards bringing the property into compliance or removes the structure, the City may adjust its approach accordingly.

STAFF RECOMMENDATION:

Adopt the resolution.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040
Healthy People

Guiding Principles
Superior Quality Services

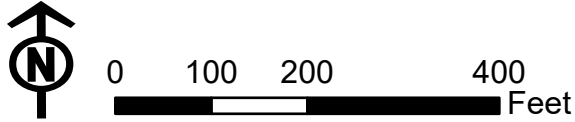
ATTACHMENTS

1. Map
2. Statement of Determination
3. Exhibits
4. Resolution
5. Notices of Violation and Condemnation located in the Appendix



Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

The Radisson Hotel





TO: Governing Body

FROM: Scott McCullough, Community Development Director

DATE: April 15, 2026

RE: 12601 West 95th Street - Unsafe and Dangerous Structure

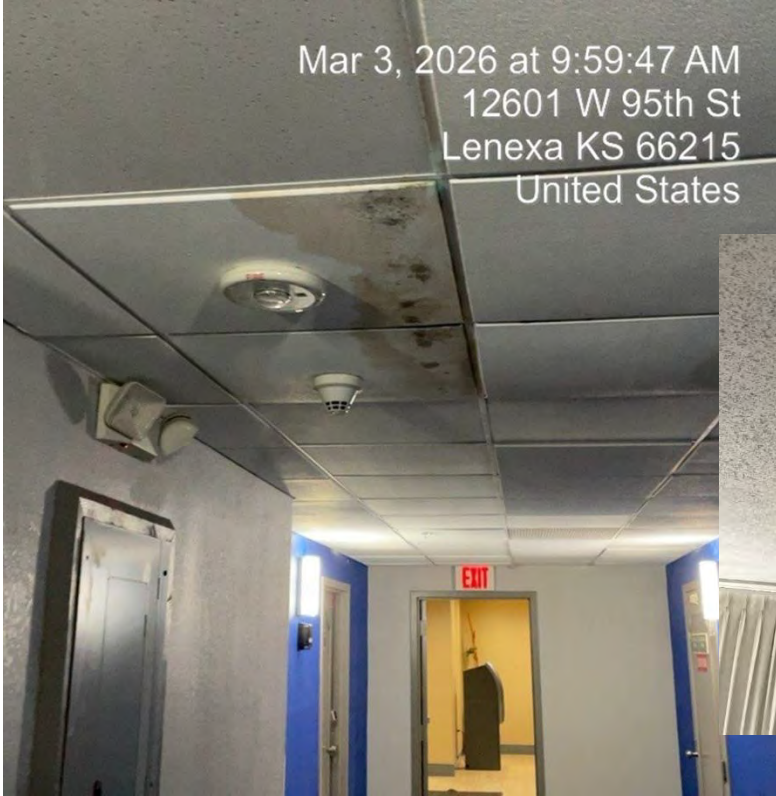
City Staff began enforcement of property maintenance and building code issues at the subject property in September 2025. These efforts included ten separate inspections and a detailed list of all outstanding violations room by room. After several months of no contact and missed deadlines, the City provided Notice on March 3, 2026, that the property was unsafe and unfit for human occupancy, but allowed the Radisson until March 25, 2026, to gain compliance and avoid condemnation. The City reinspected on March 25, 2026, and determined that the conditions at the property remained such that the property was unsafe, must be condemned, and occupancy of the building prohibited pursuant to Lenexa City Code Section 4-8-D-1, Section 108.1.

A subsequent inspection was conducted on March 31, 2026, when all areas of the hotel were available for inspection. Following that inspection, the City provided a Post Condemnation Inspection Report and Notice of Outstanding Violations listing twenty-one different outstanding violations, including, but not limited to, violations related to mold, faulty electrical and mechanical equipment, extensive decay from water intrusion, extensive roof components in disrepair, and blocked emergency access. These violations support the determination that the property is unsafe under City Code.

This property was also condemned in September 2021 while under the current ownership with several of the same issues present – significant areas of mold, fire system deficiencies, building systems in disrepair (electrical, plumbing, HVAC), and significant roof issues.

It is the City's determination that the structure located at 12601 West 95th Street is unsafe and unfit for human occupancy, especially an unsuspecting public seeking a safe stay in a hotel. Attached with this statement are photos of the structure as well as each Notice of Violation that has been issued since enforcement began in September 2025.

Mar 3, 2026 at 9:59:47 AM
12601 W 95th St
Lenexa KS 66215
United States



Mar 27, 2026 at 9:55:46 AM
12601 W 95th St
Lenexa KS 66215
United States

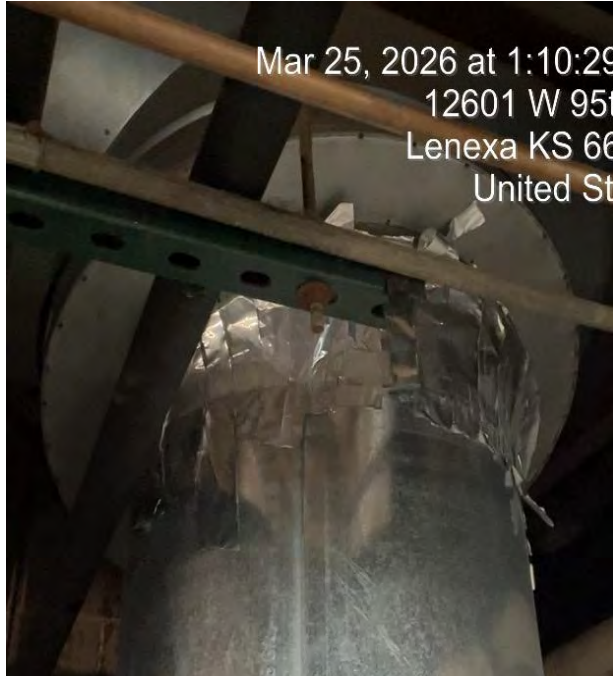


Mar 27, 2026 at 10:47:10 AM
12601 W 95th St
Lenexa KS 66215
United States



Mar 27, 2026 at 10:23:22 AM
12601 W 95th St
Lenexa KS 66215
United States





Mar 25, 2026 at 1:10:29
12601 W 95th
Lenexa KS 66150
United States



10/17/2025 14:54



03/31/2026 10:06

RESOLUTION NO. _____ - _____

RESOLUTION PROVIDING NOTICE AND CALLING FOR A PUBLIC HEARING TO APPEAR AND SHOW CAUSE WHY THE STRUCTURE AT 12601 WEST 95th STREET (COMMONLY KNOWN AS THE RADISSON) SHOULD NOT BE CONDEMNED AND ORDERED REPAIRED OR DEMOLISHED AS AN UNSAFE OR DANGEROUS STRUCTURE IN ACCORDANCE WITH K.S.A. 12-1750 ET. SEQ.

WHEREAS, the Radisson is a hotel located at 12601 West 95th Street that was most recently condemned on March 26, 2026 after repeated property maintenance and building code violations rendered the building unsafe and unfit for human occupancy; and

WHEREAS, pursuant to K.S.A. 12-1750 et seq., the Governing Body has the power to cause the repair or removal of, or to remove any structure located within the City which is determined to be unsafe or dangerous; and

WHEREAS, if necessary, the City may recover costs for the repair and removal of an unsafe or dangerous structure in accordance with K.S.A. 12-1755; and

WHEREAS, pursuant to K.S.A. 12-1752, the City of Lenexa Community Development Director as the enforcing officer has determined the structure located at 12601 West 95th Street to be unsafe and dangerous and filed a written statement of such determination with the Governing Body on April 21, 2026; and

WHEREAS, pursuant to K.S.A. 12-1752, the Governing Body shall provide notice and call for a public hearing for the owner, owner's agent and any lienholders of record to appear and show cause why the structure should not be condemned and ordered repaired or demolished as an unsafe or dangerous structure; and

WHEREAS, pursuant to this notice and in accordance with K.S.A. 12-1752 et seq., the City may ultimately repair or demolish such structure and the owner may lose any interest in the salvage proceeds of such structure and that any costs borne by the City in excess of the salvage value may be assessed against the real property.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF LENEXA, KANSAS:

SECTION ONE: This resolution shall become effective upon adoption by the Governing Body.

SECTION TWO: This Resolution shall be published once each week for two consecutive weeks on the same day of each week in the official City newspaper.

SECTION THREE: The public hearing shall be held by the Lenexa Governing Body on June 16, 2026, at 7:00 p.m. or as soon thereafter as it can be heard, at Lenexa City Hall, 17101 West 87th Street Parkway, Lenexa, Kansas, 66219.

SECTION FOUR: The Community Development Director is hereby directed to mail a copy of this resolution by mail to the owner, owner's agent, any lienholders and occupants of record within three days following the first publication hereof, all in accordance with K.S.A. 12-1752.

ADOPTED by the Lenexa City Council this 21st day of April, 2026.

SIGNED by the Mayor this 21st day of April, 2026.

CITY OF LENEXA, KANSAS

Julie Sayers, Mayor

[SEAL]

Attest:

Jennifer Martin, City Clerk

Approved As To Form:

Ashlee Tomasic, Assistant City Attorney



ITEM 7

SUBJECT: Resolution terminating the lease agreement with Stantine-113th KS Properties, LLC and conveying certain real and personal property associated with the City's industrial revenue bonds (Building 3, Lenexa Logistics Centre South)

CONTACT: Sean McLaughlin, City Attorney

DATE: April 21, 2026

ACTION NEEDED:

Adopt a resolution terminating the lease agreement with Stantine-113th KS Properties, LLC and conveying certain real and personal property associated with the City's industrial revenue bonds (Building 3, Lenexa Logistics Centre South).

PROJECT BACKGROUND/DESCRIPTION:

On December 15, 2015, the Governing Body passed Ordinance 5494 authorizing the issuance of its IRBs, Series 2015 in the aggregate principal amount of \$7 million to help finance the acquisition, construction, and equipping of a facility at 16900 W. 113th Street, which is also referred to as Lenexa Logistics Centre South Building 3 ("Project"). At the same time, the City also entered into a bond lease and a payment in lieu of taxes (PILOT) agreement with Stantine-113th KS Properties, LLC ("Tenant") under the bond lease and a trust indenture with BOKF, N.A. ("Trustee").

Pursuant to the IRB documents, the City holds title to the Project until the IRBs are paid off, and the Tenant exercises its purchase option under the bond lease. In April 2025, the Tenant notified the City, the Trustee, and the Bondholder that it intended to exercise its option to purchase the Project and redeem the IRBs. This resolution approves and authorizes the Mayor to execute all documents necessary to terminate the IRB documents.

FINANCIAL IMPLICATIONS/FUNDING SOURCES:

The PILOT has terminated and the property is back on the tax roll at full value for tax year 2026. Prior to development, the property paid approximately \$11 in annual property taxes and it is estimated the property will pay approximately \$250,000 in annual property taxes for 2026. During the 10-year tax abatement, the property paid a total of \$806,643 in PILOT payments.

STAFF RECOMMENDATION:

Adopt the resolution.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040
Thriving Economy

Guiding Principles
Responsible Economic Development

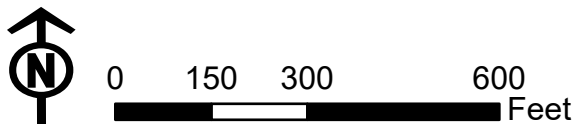
ATTACHMENTS

1. Map
2. Resolution



Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Lenexa Logistics Centre South Building 3



RESOLUTION NO. 2026 -

A RESOLUTION AUTHORIZING THE CITY OF LENEXA, KANSAS TO TERMINATE A LEASE AGREEMENT, TERMINATE A PILOT AGREEMENT, AND CONVEY CERTAIN REAL AND PERSONAL PROPERTY TO STANTINE-113TH KS PROPERTIES, LLC, PERTAINING TO INDUSTRIAL REVENUE BONDS (TAXABLE UNDER FEDERAL LAW) SERIES 2015 FOR PROPERTY LOCATED AT 16900 W. 113TH STREET, LENEXA, KANSAS (BUILDING 3, LENEXA LOGISTICS CENTRE SOUTH).

WHEREAS, the City of Lenexa, Kansas (the "City", also referred to as "Issuer") issued its Industrial Revenue Bonds, 2015 Series, on behalf of Stantine-113th KS Properties, LLC (the "Tenant") in the aggregate original principal amount of \$7,000,000 (the "Bonds") in connection with the acquisition and equipping of the real property at 16900 W. 113th Street, Lenexa, Kansas (the "Project"); and

WHEREAS, the Bonds were issued pursuant to Ordinance No. 5494 passed and approved by the Lenexa Governing Body on December 15, 2015 and pursuant to which BOKF, N.A.; was appointed the trustee (the "Trustee"); and

WHEREAS, in connection with the issuance of the Bonds, the City also entered into a Trust Indenture with the Trustee dated as of December 1, 2015 (collectively, the "Indenture"); and

WHEREAS, in connection with the issuance of the Bonds, the City as Issuer and Landlord, entered into a lease with Tenant dated as of December 1, 2015 (the "Lease") and a Memorandum of Lease is recorded with the Johnson County Register of Deeds at Book 201512, Page 007622; and

WHEREAS, the City entered into a Payment in Lieu of Tax Agreement dated April 21, 2015 (the "PILOT Agreement") with Tenant; and

WHEREAS, the Bonds expired on December 31, 2025 and the Company, pursuant to Section 17.1 of the Lease, has the right and option to purchase the Project by giving written notice to the City of the Company's election to exercise its option and specifying the date (the "Closing Date"), which date must neither be earlier than 30 days nor later than 180 days after the notice is given, if the Company is not in default either at the time said notice is given or on the Closing Date of the purchase of the Project; and

WHEREAS, pursuant to the Lease, the City is required to convey the Project to the Company upon adequate notice once the Bonds have been fully paid and all other obligations and duties of the Company under the Lease have been performed and satisfied; and

WHEREAS, the Company has requested that the City waive the notice period required in the Lease and be permitted to exercise its option to purchase the Project at a date agreed to by the parties; and

WHEREAS, the Trustee has represented that it is willing to waive the notice required in the Lease; and

WHEREAS, the City is willing to waive the notice specified in the Lease, and to set the Closing Date of the purchase of the Project when evidence is provided that the Bonds have been paid in full; and

WHEREAS, the Trustee provided the City a written certification that the Tenant has paid all sums due and owing under the Bonds and the Tenant paid to the City its fee to exercise Tenant's option to purchase; and

WHEREAS, the City desires to terminate the Lease and the PILOT Agreement and convey to Tenant title to the Project and personal property acquired with the Bond proceeds.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF LENEXA, KANSAS:

SECTION ONE: Notice. The City hereby acknowledges and approves the Company's request to exercise the option to purchase the Project pursuant to the Lease and agrees to waive the notice provisions of Section 17.1 of the Lease and to set the Closing Date at such date as agreed by the parties.

SECTION TWO: Approval of Transfer. The City authorizes the transfer by the City to Tenant of the real property legally described as:

Tract 1:

Lot 3, Lenexa Logistics Centre, Third Plat, a subdivision of land now in the City of Lenexa, Johnson County, Kansas

free and clear of all liens and encumbrances except:

- (a) Permitted Encumbrances as defined in the Lease;
- (b) those to which title was subject on the date of conveyance to the Issuer of the Project, or to which title became subject with the Tenant or its successors and assigns written consent, or which resulted from any failure of the Tenant or its successors and assigns to perform any of its covenants or obligations under the Lease;
- (c) taxes and assessments, general and special, if any, which have been assessed but not yet paid; and

(d) the rights of any party having condemned or who is attempting to condemn or use for a limited period, all or any part of the Project.

SECTION THREE: Authorization of Documents. The City approves the Kansas Special Warranty Deed, the Termination of Lease and PILOT Agreements, and General Bill of Sale, in substantially the same form presented to and reviewed by the Governing Body at this City Council meeting.

SECTION FOUR: Execution of Documents. The Mayor is authorized and directed to execute the Kansas Special Warranty Deed, the Termination of Lease and PILOT Agreements; and the General Bill of Sale and the City Clerk is hereby authorized and directed to attest to such documents, for and on behalf of the City. The City Clerk shall cause the Special Warranty Deed and the Termination of Lease and PILOT Agreements to be recorded with the Johnson County Register of Deeds, with such changes therein as shall be approved by the officer of the City executing such documents, such officer's signatures thereon being conclusive evidence of the City's approval thereof.

SECTION FIVE: Further Authority. The Mayor, City Manager, City Attorney and City Clerk are authorized to execute such other documents, certificates and UCC termination statements as may be necessary to transfer the Project, terminate all interest of the City in the Project and carry out the intent of this Resolution, provided such documents are first reviewed and approved by the City Attorney

SECTION SIX: Effective Date. This Resolution shall take effect and be in force from and after its adoption.

ADOPTED by the Lenexa City Council this 21st day April, 2026.

APPROVED by the Mayor this 21st day April, 2026.

[Rest of Page Intentionally Left Blank. Signature Pages Follow.]

CITY OF LENEXA, KANSAS

[SEAL]

Julie Sayers, Mayor

ATTEST:

Jennifer Martin, City Clerk

APPROVED AS TO FORM:

Sean McLaughlin, City Attorney



ITEM 8

SUBJECT: Ordinance approving a 10-year special use permit for a daycare, general use known as Bean Babies Daycare located at 9248 Noland Road in the RP-1, Planned Residential Single-Family (Low-Density) District

CONTACT: Stephanie Sullivan, Planning Manager

DATE: April 21, 2026

ACTION NEEDED:

Pass an ordinance approving a 10-year special use permit (SUP) for a daycare, general use known as Bean Babies Daycare located at 9248 Noland Road in the RP-1, Planned Residential Single-Family (Low-Density) District.

APPLICANT:
Andrea Jewett

OWNER:
Andrea Jewett

PROPERTY ADDRESS:
9248 Noland Road

PROJECT BACKGROUND/DESCRIPTION:

The applicant requests approval of an SUP for a daycare, general use in the RP-1, Planned Residential Single-Family (Low-Density) Zoning District. The daycare operates within an existing single-family residence located at 9248 Noland Road. Pursuant to the Unified Development Code, an SUP is required to allow a daycare, general use within this zoning district.

The daycare previously received SUP approval in 2015 for a 10-year term, which expired in 2025. Bean Babies Daycare proposes to continue operating as an in-home daycare between the hours of 7:30 AM and 5:30 PM, Monday through Friday, with staggered drop-off and pick-up times. The daycare will provide care for up to 12 children.

The use has operated at this location for over a decade with no known complaints. Staff and the Planning Commission recommend approval of a new SUP for a 10-year term.

STAFF RECOMMENDATION:
Pass the ordinance.

PLANNING COMMISSION ACTION:

This item was considered as Regular Agenda Item 7 at the April 6, 2026 Planning Commission Meeting. A public hearing was held and no one spoke.

There was no discussion from Commissioners on this item.

Chairman Poss entertained a motion to recommend **APPROVAL** of an SUP for a daycare, general use in the RP-1 Zoning District for Bean Babies Daycare at 9248 Noland Road for a 10-year period.

Moved by Commissioner Burson, seconded by Commissioner Horine, and carried by a unanimous voice vote.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040
Thriving Economy

Guiding Principles
Responsible Economic Development

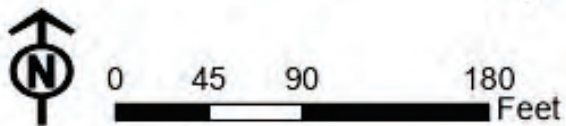
ATTACHMENTS

1. Map
2. PC Staff Report
3. PC Draft Minutes Excerpt
4. Ordinance



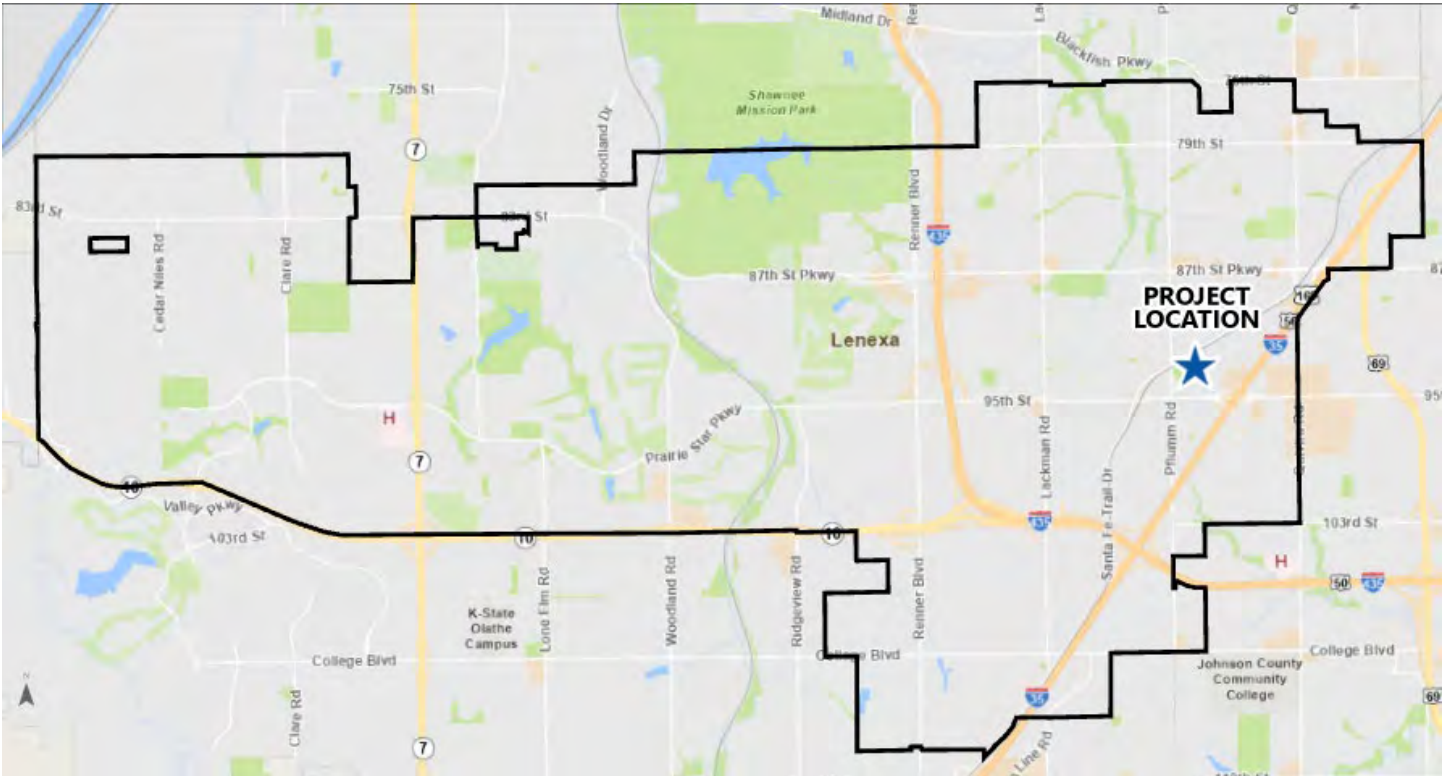
Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-3500

Bean Babies Day Care Special Use Permit



BEAN BABIES DAYCARE

Project #:	SU26-06	Location:	9248 Noland Road
Applicant:	Andrea Jewett	Project Type:	Special Use Permit
Staff Planner:	Jessica Lemanski	Proposed Use:	Daycare, General



PROJECT SUMMARY

The applicant requests approval of a special use permit (SUP) for a daycare, general use in the RP-1, Planned Residential Single Family (Low-Density) Zoning District. Per the Unified Development Code (UDC) Section 4-1-B-6, an SUP is required to operate a daycare, general use within the RP-1 Zoning District. A 10-year SUP was previously approved for this daycare but expired in 2025. According to the applicant, Bean Babies Daycare proposes to operate as an in-home daycare between the hours of 7:30 AM and 5:30 PM Monday through Friday, with staggered drop-off and pick-up times. The daycare will provide care for up to 12 children. This request requires a Public Hearing at the Planning Commission meeting and final consideration by the Governing Body.

STAFF RECOMMENDATION: APPROVAL FOR 10 YEARS

SITE INFORMATION

LAND AREA (AC) 0.21	BUILDING AREA (SF) 1,599	CURRENT ZONING RP-1	COMP. PLAN Suburban-Density Residential
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The subject property is a single-family home located on a 0.20-acre lot in the Proebstel and Dalrymple residential subdivision. The plat for the Proebstel and Dalrymple’s Addition to Lenexa was approved by the Governing Body on October 27, 1887. The home was constructed in 1940 and has been used for single-family residential purposes since. Bean Babies Daycare has operated at the property for 12 years following the approval of a special use permit in 2014 and 2015.

TABLE 1: PREVIOUS APPLICATIONS

Project Number	Application Type	Project Name	Date Approved
N/A	Final Plat	Proebstel and Dalrymple’s Addition to Lenexa	October 17, 1887
SU14-01	Special Use Permit	Bean Babies Daycare	January 21, 2014
SU15-06	Special Use Permit	Bean Babies Daycare	April 21, 2015

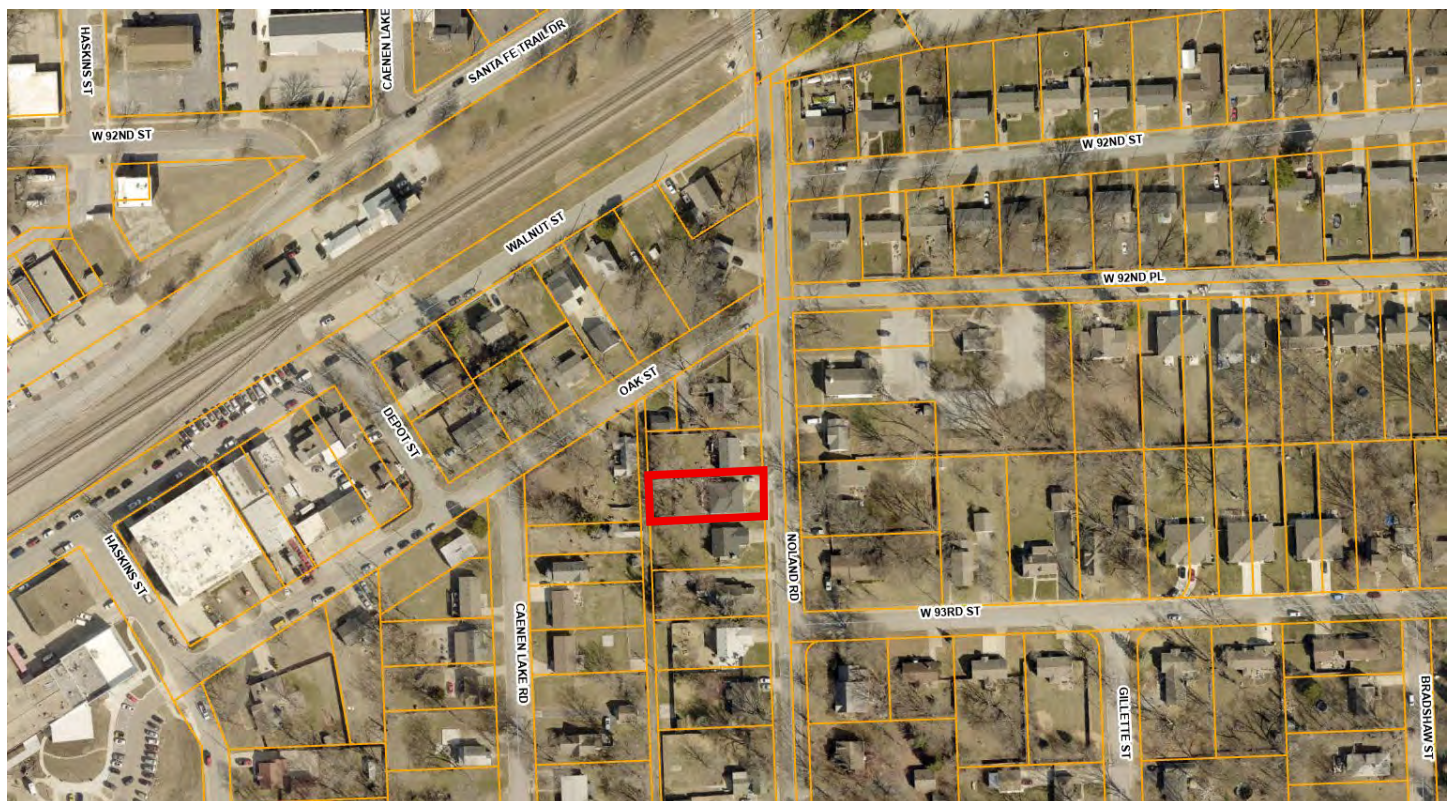


Exhibit 1: Aerial Image of Subject Site

LAND USE REVIEW

The subject property is zoned RP-1, Planned Residential Single-Family (Low-Density) District. Two classifications of daycares are permitted within the RP-1 Zoning District; *daycare, limited* is permitted by right, whereas *daycare, general* is permitted with a special use permit. The classification of the use is determined based on the occupancy of the daycare. *Daycare, limited* has a maximum occupancy of up to six children and *daycare, general* has an occupancy of 7 to 12 children.

The applicant proposes a *daycare, general* use to allow up to 12 children per day. The applicant states that they are currently caring for 10 children per day, one of which is the applicant’s child. The proposed hours of operation are Monday through Friday 7:30 am – 5:30 pm with staggered pick-up and drop-off times to ensure there is enough space in the driveway for parents to park and minimize traffic disturbance in the surrounding neighborhood.

Daycares are uses that are commonly operated from a person’s home as accessory uses. An in-home daycare is an appropriate use within a single-family residential area provided the supplementary use regulations for a daycare within UDC Section 4-1-B-26-E are met and the use does not negatively impact surrounding properties. Supplementary regulations include provisions for licensing, residency, employees, outdoor play areas, and traffic. Table 1 describes the land use and zoning designations for the surrounding properties, and it is Staff’s belief that no incompatible land use relationships or hazards will be created.

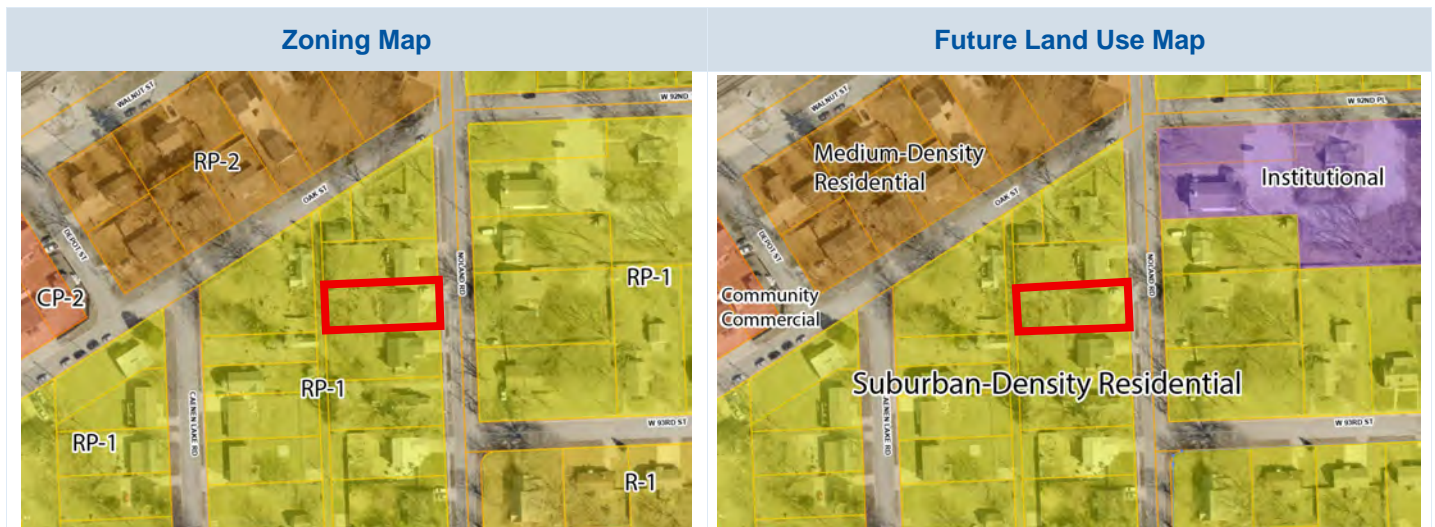


TABLE 2: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Classification	Zoning	Current Use
Subject Property	Suburban-Density Residential	R-1 Residential Single-Family District	Single-Family Residential, Daycare, General
North	Suburban-Density Residential	RP-1 Residential Planned (Low-Density) District	Single-Family Residential
South	Suburban-Density Residential	RP-1 Residential Planned (Low-Density) District	Single-Family Residential
East	Suburban-Density Residential	RP-1 Residential Planned (Low-Density) District	Single-Family Residential
West	Suburban-Density Residential	RP-1 Residential Planned (Low-Density) District	Single-Family Residential

SUPPLEMENTARY USE REGULATIONS

- 1. Licensing: The daycare shall be licensed with the State, obtain required permits from the Department of Community Development and obtain a City business license.**

The applicant has received licensing from the State and is pursuing the special use permit process to obtain Community Development approval for the daycare, general use.

- 2. Duration of Permits: The initial special use permit for general daycare in residential zoning districts is limited to a maximum of 10 years.**

Staff recommends approval for 10 years. This property has been utilized as an in-home daycare for at least 12 years with no known complaints from neighboring properties.

- 3. Number of Employees and On-Site Residency for In-Home Daycare: General daycare uses shall have no more than one employee other than the persons who reside on the premises. Limited daycare and general daycare providers shall reside on the premises.**

The applicant owns and resides on the premises and has one employee that does not reside on the premises.

- 4. Outdoor Play Area: Outdoor play areas shall not be located within the required front yard setback.**

The applicant will have all outdoor activities within the fenced-in rear yard.

- 5. Revocation of Permits: The special use permit may be revoked at any time by the Governing Body upon a determination that it is in violation of standards of the Unified Development Code.**

The applicant should take note of this provision. Staff has noted that the property's driveway apron is in disrepair, and the concrete has begun chipping away. The City's Community Standards Division has contacted the property owner and will be working with them to correct this violation.

- 6. Accessory Uses: Daycare, preschools and Mother's Day Out programs shall be considered as accessory uses to the primary use of the property when located in religious, educational and community buildings.**

This is not applicable to the current application as it is not accessory to the aforementioned primary uses.

- 7. Landlord Consent: Owner Consent is required for daycare applications located at rental properties.**

This is not applicable to the current application, as the applicant is the property owner.

- 8. Traffic: Commercial Daycares and daycares that are considered accessory uses to religious, educational and community buildings may be required to submit a traffic impact study to the Transportation Manager for review and approval.**

This section is not applicable to the current application as it is not a commercial daycare or accessory to the aforementioned uses.

SPECIAL USE PERMIT REVIEW

Staff provides the following analysis to the review criteria within [Section 4-1-G-5](#) of the UDC.

1. The character of the neighborhood.

The surrounding area is mostly comprised of low-density, single-family residential uses. There is a Lao American Baptist Church northeast of the property at the intersection of Noland Road and 92nd Place and a collection of denser single-family residential homes along Oak Street that are zoned RP-2. Staff believes that the daycare, general use fits within this neighborhood's character.

2. The zoning and use of properties nearby.

The zoning and uses of surrounding properties are listed in Table 2. The daycare use is compatible with surrounding zoning and uses of nearby properties.

3. The suitability of the subject property for the uses to which it has been restricted.

Lower-enrollment in-home daycares are permitted uses in Lenexa, provided the applicant meets the applicable regulations for in-home daycares. A "daycare, general" use requires that the operator of the daycare obtain an SUP. It is Staff's opinion that this residence is adequately suited for an in-home daycare with a fenced-in rear yard and driveway that can accommodate parking for multiple vehicles during drop-off and pick-up of children.

4. The extent to which the proposed use will detrimentally affect nearby property.

It is Staff's opinion that the proposed use will not adversely affect surrounding properties. If any concerns emerge regarding excessive noise, parking, traffic flow, or other impacts on nearby property owners while the SUP is active, Staff may undertake a review of these concerns and consider initiating the process to revoke the SUP if concerns are not adequately addressed by the applicant. Staff has not received any complaints from nearby properties since this daycare began operations 12 years ago.

5. The length of time the subject property has remained vacant as zoned.

This property has been occupied by various families since its construction in 1940. The current owner purchased the property in 2013 and has operated the daycare since 2014 when the first SUP was approved.

6. The relative gain to public health, safety, and welfare due to the denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

There would be no substantial gain to the public health, safety, and welfare if the SUP were to be denied. The applicant would be limited to a maximum of six (6) children within the daycare if the SUP were denied, thus reducing the capacity of a daycare that has operated with no known neighborhood impacts. The overall impact to the public primarily stems from additional traffic, which is minimal considering the context of the area and operational history of the operator.

7. Recommendation of City's permanent professional staff.

See the Staff recommendation at the end of this report.

8. Conformance of the requested change to the adopted or recognized Master Plan being utilized by the City.

The proposed in-home daycare will not change the primary land use as a single-family residential home. The land use is in conformance with the Future Land Use Map classification of Suburban-Density Residential.

9. The availability and adequacy of required utilities and services to serve the proposed use. These utilities and services include, but are not limited to, sanitary and storm sewers, water and electrical service, police and fire protection, schools, parks and recreation facilities, etc.

Adequate utilities exist on the site. There is no anticipated impact on police, fire, schools, or park facilities.

10. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the street network influenced by the use, or present parking problems in the vicinity of the property.

This section of Noland Road contains a no parking zone. The applicant has indicated that pick-up and drop-off times are staggered so that parents are able to use the driveway of the property to park and escort children into the daycare. The owner instructs parents to circle the block if the driveway is occupied in order to avoid parking on Noland Road and causing traffic issues and backup. Staff has not received any complaints from neighbors regarding this practice, so no adverse effect on the surrounding street network is anticipated as this use continues to exist.

11. The environmental impacts the proposed use will generate including, but not limited to, excessive stormwater runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting, or other environmental harm.

Staff does not anticipate the proposed daycare generating excessive stormwater runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting, or other environmental harm.

12. The extent to which the proposed development would adversely affect the capacity or water quality of the stormwater system, including without limitation, natural stream assets in the vicinity of the subject property.

There are no plans for site work or construction that would increase the impervious area of the site or adversely affect the capacity or water quality of the stormwater system or natural assets.

13. The ability of the applicant to satisfy any requirements (e.g. site plan, etc.) applicable to the specific use imposed pursuant to the zoning regulations in this Chapter and other applicable ordinances.

The operation of a residential daycare is regulated in Section 4-1-B-23 of the UDC. The applicant is required to comply with regulations such as licensing and number of employees and children. The applicant has complied with applicable processes to date, and it is the opinion of Staff that the applicant is able to satisfy the requirements of the zoning regulations.

NEXT STEPS

- This project requires a recommendation from the Planning Commission and final approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration by the City Council on April 21, 2026.
- The applicant must obtain a Business License prior to opening for business.
- The applicant should inquire about additional City requirements and development fees.

RECOMMENDATION FROM PROFESSIONAL STAFF

★ **Conduct a Public Hearing.**

★ **Staff recommends approval of the proposed Special Use Permit for Bean Babies Daycare**

- The applicant requests approval of a special use permit (SUP) for a daycare, general use in the RP-1, Planned Residential Single Family (Low-Density) Zoning District to allow for the care of up to 12 children
- The project conforms with the Comprehensive Plan and complies with zoning and subdivision regulations.
- The project is consistent with Lenexa's goals through *Responsible Economic Development* to create a *Thriving Economy*.

SPECIAL USE PERMIT

Staff recommends **APPROVAL** of SU26-06 - a special use permit for a daycare, general use in the RP-1 Zoning District for **Bean Babies Daycare** at 9248 Noland Road for a 10-year period.

7. **Bean Babies Daycare — Consideration of a special use permit for a daycare, general use on property located at 9248 Noland Road within the RP-1, Planned Residential (Low Density) District. SU26-06. (Public Hearing)**

APPLICANT PRESENTATION

Andrea Jewett, owner of Bean Babies Daycare and property owner of 9248 Noland Road, introduced herself and described her background in childcare, noting 25 years of experience in the field and 17 years operating a licensed daycare, originally in Overland Park and later Lenexa. She explained that she co-runs the daycare with her sister and occasionally receives help from her mother as a substitute. She outlined the daycare's daily operations, including hours (7:30 a.m. to 5:30 p.m.), typical drop-off and pick-up times, and parking arrangements that accommodate parents while discouraging street parking on Noland Road, with an alternative on Oak Street if needed. Ms. Jewett emphasized the daycare's very low turnover rate, describing long-term relationships with families as children often stay from infancy through school age. She said most enrollment comes through word of mouth and highlighted the strong bonds formed with families over multiple years. She also described the program's educational focus, including early sensory learning for infants and a pre-kindergarten curriculum emphasizing fine motor skills, early math, pre-writing, and hands-on learning to prepare children for kindergarten. She closed by saying that the daycare operates year-round on-site, with occasional walks to a nearby park and outdoor activities such as nature walks and sensory play, including activities like a "mud kitchen."

STAFF PRESENTATION

Jessica Lemanski presented the special use permit request for Bean Babies Daycare at 9248 Noland Road, located north of 95th Street and near Santa Fe Trail Drive and Pflumm Road. She described the surrounding area as primarily single-family residential zoning (RP-1), with some higher-density RP-2 residential nearby and a church designated as institutional land use. She explained that the request is for a daycare, general use, defined in the code as providing care for 7 to 12 individuals. She noted that Staff reviewed the 13 required criteria for a special use permit and had no concerns with them. Ms. Lemanski highlighted traffic considerations, stating that Noland Road is a no-parking zone and that parents are instructed to either use the driveway for drop-off and pick-up or park on Oak Street if necessary. She also noted the daycare's operating hours of 7:30 a.m. to 5:30 p.m., with staggered arrival and departure times. She concluded by stating that staff recommends approval of the special use permit, which is tentatively scheduled for consideration by the Governing Body on April 21, 2026.

PUBLIC HEARING

Chairman Poss **OPENED** the Public Hearing and asked if anyone wished to speak on this item. No one from the public spoke.

Chairman Poss entertained a motion to **CLOSE** the Public Hearing. Moved by Commissioner Burson, seconded by Commissioner Wagner, and carried by a unanimous voice vote.

COMMISSIONER DISCUSSION

Chairman Poss stated that the item appeared to be straightforward and indicated he had no concerns with the property or the proposal. He stated that everything seemed to be in order.

MOTION

Chairman Poss entertained a motion to recommend **APPROVAL** of SU26-06 - a special use permit for a daycare, general use in the RP-1 Zoning District for **Bean Babies Daycare** at 9248 Noland Road for a 10-year period.

Moved by Commissioner Burson, seconded by Commissioner Horine, and carried by a unanimous voice vote.

DRAFT

SU 26-06

ORDINANCE NO. _____

AN ORDINANCE GRANTING A TEN-YEAR SPECIAL USE PERMIT ON PROPERTY LOCATED AT 9248 NOLAND ROAD, LENEXA, KANSAS.

WHEREAS, on March 2, 2026, Andrea Jewett, owner of record of Bean Babies Daycare, filed a request for a special use permit to allow the use of a “Daycare, General” use on property located at 9248 Noland Road in the RP-1, Planned Residential Single-Family (Low-Density) District; and

WHEREAS, on April 6, 2026, the Lenexa Planning Commission held a public hearing to hear the request for said special use permit. Notice for the public hearing was provided in accordance with K.S.A. 12-757; and

WHEREAS, the Lenexa Planning Commission recommended approval of a ten-year special use permit to allow the use of a “Daycare, General” use, on property located at 9248 Noland Road in the RP-1, Planned Residential Single-Family (Low-Density) District, as reflected in the minute record for said meeting; and

WHEREAS, on April 21, 2026, the Governing Body considered the request and Planning Commission recommendation, as reflected in the minute record for said meeting; and

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF LENEXA, KANSAS:

SECTION ONE: That the Governing Body hereby approves the issuance of a ten-year special use permit to expire on April 21, 2036, to allow the use of a “basic industry” use, on property located at 9248 Noland Road in the RP-1, Planned Residential Single-Family (Low-Density) District as reflected in the minute record of the April 21, 2026, Governing Body meeting for the property known as 9248 Noland Road, described as:

All of the south half of Lot 4, and all of Lot 5, Block 1, Proebstel & Dalrymple’s Addition to Lenexa, a subdivision in the City of Lenexa, Johnson County, KS.

Commonly referred to as 9248 Noland Road, Lenexa, Kansas.

SECTION TWO: The Clerk of the City of Lenexa, Kansas, is hereby authorized and directed to record the issuance of this ten-year special use permit in accordance with the above.

SECTION THREE: This Ordinance shall be construed as follows:

- A. Liberal Construction. This Ordinance shall be liberally construed to effectively carry out its purposes that are hereby found and declared to be in furtherance of the public health, safety, welfare, and convenience.
- B. Savings Clause. The repeal of any ordinance or code section, as provided herein, shall not affect any rights acquired, fines, penalties, forfeitures or liabilities incurred thereunder, or any action or proceeding commenced under or by virtue of the ordinance or code section repealed. Any ordinance or code section repealed continues in force and effect after the passage, approval, and publications of this Ordinance for the purposes of such rights, fines, penalties, forfeitures, liabilities and proceedings.
- C. Invalidity. If for any reason any chapter, article, section, subsection, sentence, portion, or part of this Ordinance, or the application thereof to any person or circumstance is declared to be unconstitutional or invalid, such decision shall not affect the validity of the remaining portions of this Ordinance, the Lenexa City Code, or other ordinances.

SECTION FOUR: This Ordinance shall take effect and be in force from and after publication of an ordinance summary in the City’s official newspaper as provided by State law.

PASSED by the Governing Body April 21, 2026.

SIGNED by the Mayor April 21, 2026.

CITY OF LENEXA, KANSAS

Julie Sayers, Mayor

ATTEST:

Jennifer Martin, City Clerk

APPROVED AS TO FORM:

Steven ShROUT, Assistant City Attorney



ITEM 9

SUBJECT: Consideration of a preliminary plan/plat and special use permit for a daycare, commercial use known as Primrose School located at 16990 W. 86th Street in the CC, Planned City Center District

CONTACT: Stephanie Sullivan, Planning Manager

DATE: April 21, 2026

ACTION NEEDED:

- a. Pass an ordinance approving a permanent special use permit (SUP) for a daycare, commercial use known as Primrose School located at 16990 W. 86th Street in the CC, Planned City Center District.
- b. Approve a companion preliminary plan/plat for Primrose School.

APPLICANT:
Alexia Diaz, The CD Companies

OWNER:
Shawnee Mission Medical Center Inc.

PROPERTY ADDRESS:
16990 W. 86th Street

PROJECT BACKGROUND/DESCRIPTION:

The applicant requests approval of an SUP for a daycare, commercial use in the CC, Planned City Center Zoning District, and approval of a preliminary plan/plat to construct a 14,896 square foot daycare facility with associated site improvements at a location west of the AdventHealth hospital and medical office building. Pursuant to the Unified Development Code (UDC), an SUP is required to operate a daycare, commercial use within the CC Zoning District.

Primrose School proposes to operate the daycare between the hours of 6:30 AM and 6:30 PM, Monday through Friday, with occasional special events on weeknights and weekends. The facility is designed to accommodate up to 186 students ranging from ages 0 to 5 and will employ approximately 30 staff members across 11 classrooms.

The proposed development includes construction of a two-story daycare facility, outdoor playgrounds, a surface parking lot, and site improvements designed to meet the City Center Design Guidelines. Improvements include a two-tiered retaining wall along the Central Green recreation trail, a trail connection, and a public plaza area at the corner of 86th Street & Elmridge Street.

Staff and the Planning Commission recommend a permanent special use permit.

STAFF RECOMMENDATION:

Pass the ordinance and approve the companion preliminary plan/plat.

PLANNING COMMISSION ACTION:

This item was considered as Regular Agenda Item 6 at the April 6, 2026 Planning Commission Meeting. A public hearing was held and no one spoke.

Commissioners discussed retaining wall design and screening, playground safety and fencing, and the public amenity plaza. Minor traffic considerations were also noted. Overall, Commissioners expressed support for the project and its fit within City Center.

Chairman Poss entertained a motion to recommend **APPROVAL** of an indefinite SUP for a daycare, commercial for Primrose School of Lenexa City Center at the northwest corner 86th Street & Elmridge Street.

Moved by Commissioner Katterhenry, seconded by Commissioner Jamison, and carried by a unanimous voice vote.

Chairman Poss entertained a motion to recommend **APPROVAL** of the preliminary plan for Primrose School of Lenexa City Center at the northwest corner of 86th Street & Elmridge Street, for a daycare, commercial use.

Moved by Commissioner Harber, seconded by Commissioner Dharod, and carried by a unanimous voice vote.

VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040

Thriving Economy
Vibrant Neighborhoods

Guiding Principles

Responsible Economic Development

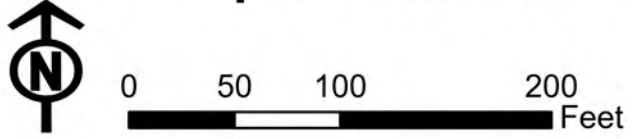
ATTACHMENTS

1. Map
2. PC Staff Report & Exhibits
3. PC Draft Minutes Excerpt
4. Ordinance



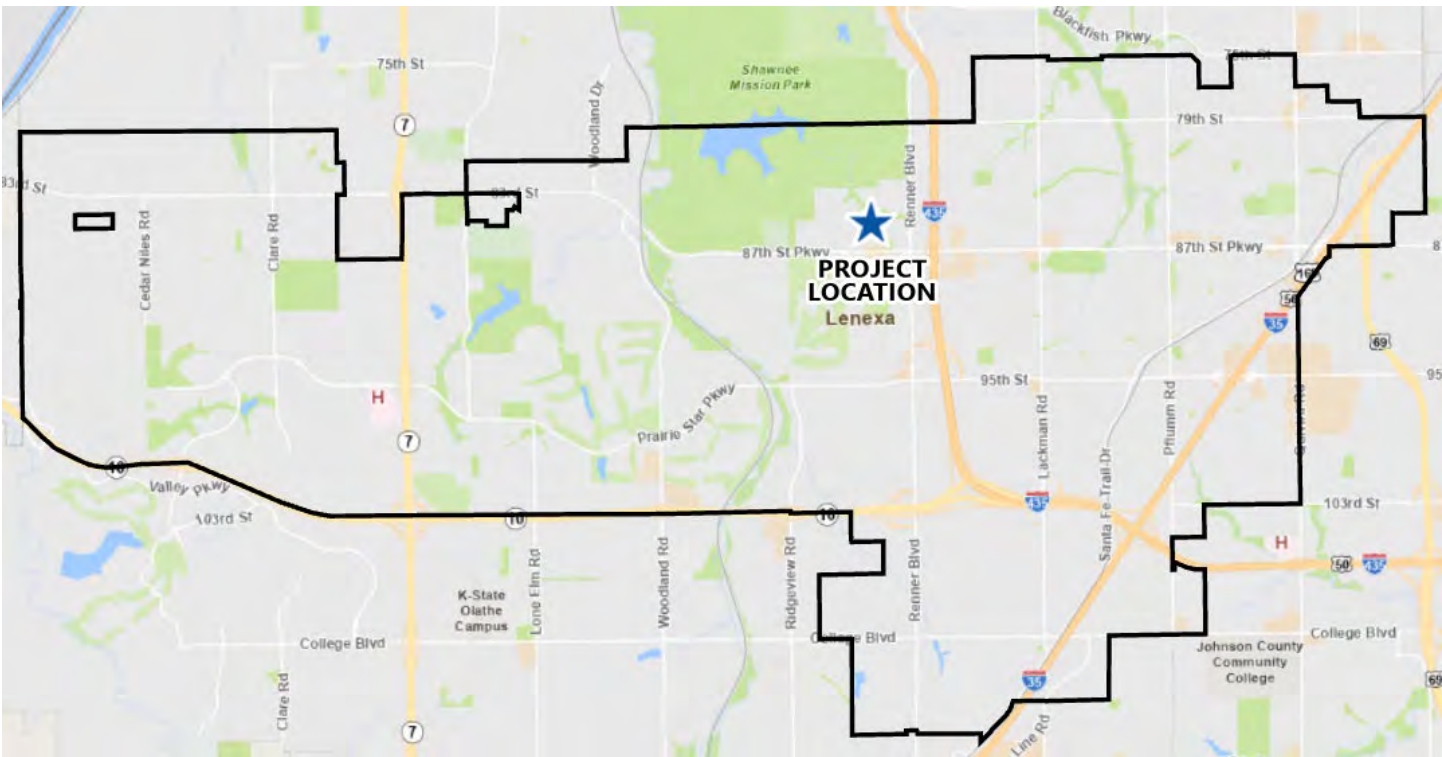
Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Primrose School of Lenexa Special Use Permit and Preliminary Plan



PRIMROSE SCHOOL OF LENEXA CITY CENTER

Project #:	SU26-05, PL26-02P	Location:	NWC of 86 th Street and Elmridge Street
Applicant:	Alexia Diaz, CD Companies	Project Type:	SUP and Preliminary Plan/Plat
Staff Planner:	James Molloy	Proposed Use:	Daycare, Commercial



PROJECT SUMMARY

The applicant requests approval of a special use permit (SUP) for a daycare, commercial use in the CC, Planned City Center Zoning District, as well as approval for a preliminary plan/plat to construct a 14,896 SF daycare facility and associated site improvements, designed to meet the City Center Design Guidelines. Per the Unified Development Code (UDC) [Section 4-1-B-11](#), an SUP is required to operate a *daycare, commercial* use within the CC Zoning District. Primrose School proposes to operate the daycare between the hours of 6:30 AM and 6:30 PM Monday through Friday, with occasional special events held on site on weeknights and weekends. The applicant estimates that it will provide care for up to 186 students ranging from ages 0-5, with plans to employ 30 staff members across 11 classrooms of the daycare. In addition to the construction of a daycare, there will be various site improvements, including a retaining wall running parallel to the existing Central Green recreation trail, a trail connection, and a plaza area at the corner of 86th Street and Elmridge Street. This request requires a Public Hearing at the Planning Commission meeting and consideration by the Governing Body.

STAFF RECOMMENDATION: APPROVAL FOR AN INDEFINITE TIME PERIOD

SITE INFORMATION

The subject site is currently an undeveloped lot in the AdventHealth Life Campus. This site was originally intended to be part of the former City Center North Village, approved in 2008. In 2019, however, the site was preliminarily platted as part of the Advent Health Lenexa Campus development. The applicant is proposing to develop a commercial daycare on 1.85 acres of this site, with a 14,896 SF building, 64-space parking lot, pedestrian plaza, and other site improvements, designed to the standards set by the City Center Design Guidelines.

LAND AREA (AC) 1.85	BUILDING AREA (SF) 14,896	CURRENT ZONING CC	COMP. PLAN City Center
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TABLE 1: PREVIOUS APPLICATIONS

Project Number	Application Type	Project Name	Date Approved
PL08-01CPR PL08-17 SU08-13	Concept Plan, Preliminary Plan, and Special Use Permit	City Center North Village	August 19, 2008
PL19-06P SU19-11	Preliminary Plan and Special Use Permit	AdventHealth Life Campus	June 18, 2019

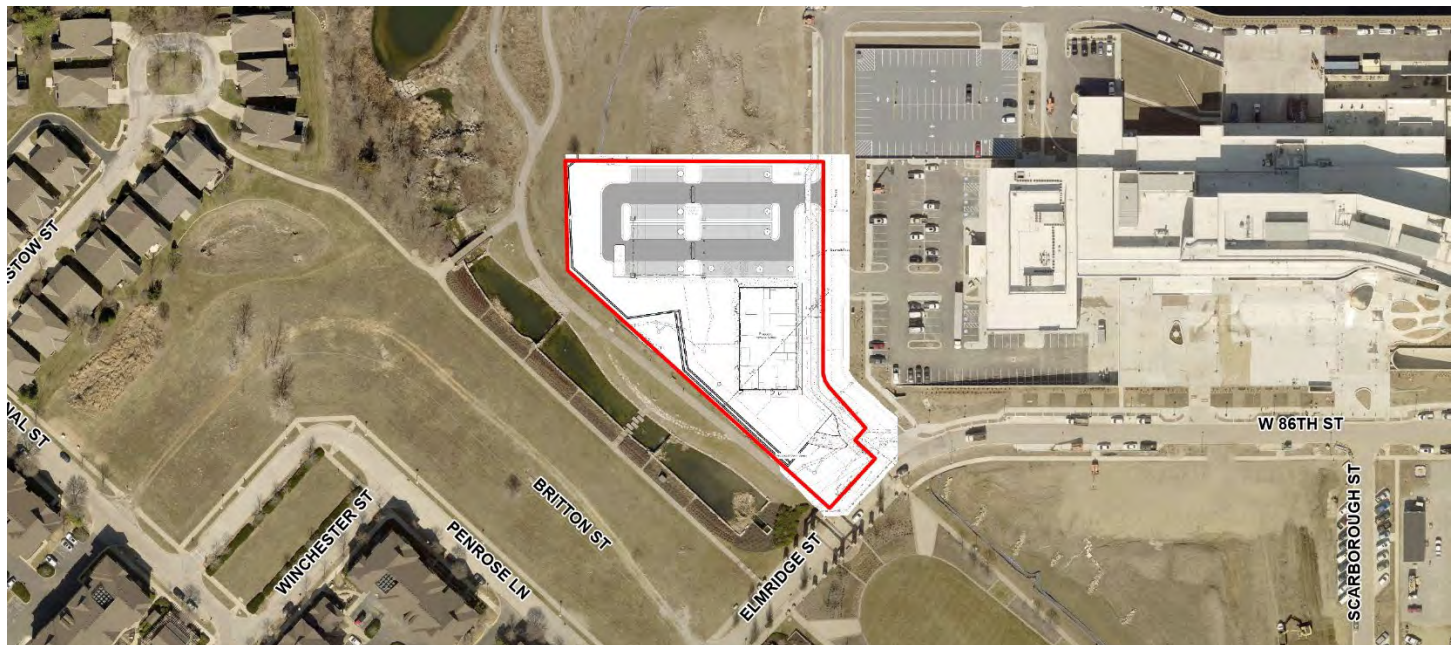


Exhibit 1: Aerial Image of Subject Site

LAND USE REVIEW

The subject property is zoned CC, Planned City Center District. All three classifications of daycares are permitted within the CC, Planned City Center District; daycare, limited and daycare, general are permitted by right, whereas daycare, commercial is permitted with a special use permit. The classification of the use is determined based on the occupancy of the daycare. Daycare, limited has a maximum occupancy of up to six children and daycare, general has a maximum occupancy of 7 to 12 children, while daycare, commercial is any daycare that would offer childcare services for over 12 children. The applicant proposes to operate a daycare with approximately 186 children.

Per UDC [Section 4-3-C-2](#), the *daycare, commercial* use is defined as:

“A daycare that provides care, protection and supervision for more than 12 individuals.”

The proposed hours of operation are Monday through Friday, 6:30 AM to 6:30 PM, with occasional special events on weeknights or weekends, such as holiday celebrations, or parent engagement activities. The business will utilize staggered drop-off and pick-up times to ensure minimal traffic disturbance. Primrose School expects to employ up to 30 employees/teachers, however, this number could change depending on the demand and occupancy limits.

Commercial daycares as a special use will be evaluated based upon the context of the site and its surrounding properties. The proposed daycare will be within the AdventHealth Life campus, near Central Green Park, several commercial retail businesses, restaurants, and hotels, with residential uses located to the west beyond the trail and creek.

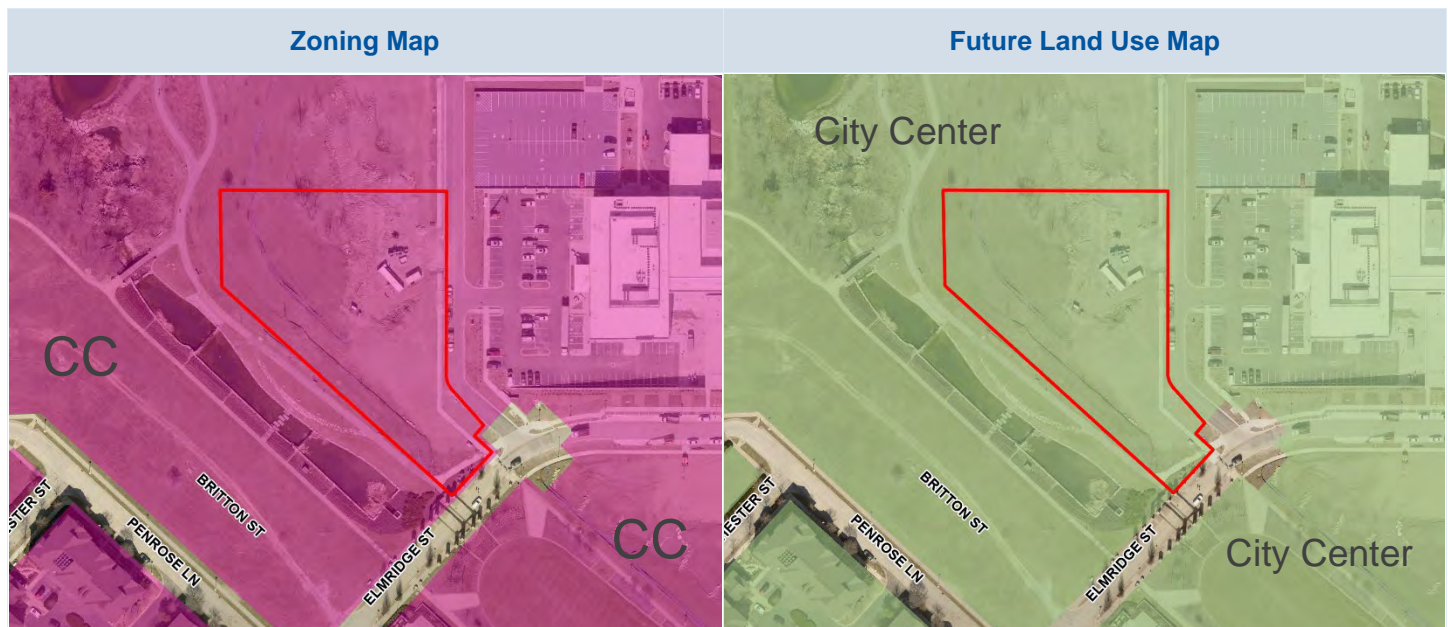


TABLE 2: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Classification	Zoning	Current Use
Subject Property	City Center	CC Planned City Center District	Undeveloped Land
North	City Center	CC Planned City Center District	Undeveloped Land
South	City Center	CC Planned City Center District	Central Green Park
East	City Center	CC Planned City Center District	Hospital and Medical
West	City Center	CC Planned City Center District	Central Green Park

SUPPLEMENTARY USE REGULATIONS

A daycare use is subject to the supplementary use regulations of [Section 4-1-B-23-E](#) of the Unified Development Code. These include the following:

- Licensing: The daycare shall be licensed with the State, obtain required permits from the Department of Community Development and obtain a City business license.**

The applicant will work to receive licensing from the State and is pursuing the special use permit process in order to obtain Community Development approval and City business licensing for the daycare, commercial use. State licensing will be required prior to operation of the daycare.

- Duration of Permits: Special use permits for a daycare located in non-residential and non-agricultural zoning districts may be approved on a permanent basis.**

Staff is recommending an indefinite approval for this special use permit. Staff acknowledged the major investment made on site to construct a new purpose-built facility. The proposed use has been determined to be compatible within the mixed-use City Center North Village. If issues were to arise with the use, Staff does have the ability to move for revocation of this special use permit.

- Outdoor Play Area: Outdoor play areas shall not be located within the required front yard setback.**

The applicant will have all outdoor activities within two designated fenced-in playground areas; one to the south of the building and one to the west of the building, neither of which are within the established setback.

- Revocation of Permits: The special use permit may be revoked at any time by the Governing Body upon a determination that it is in violation of standards of the Unified Development Code.**

The applicant should take note of this provision regarding their special use permit, if granted.

- Accessory Uses: Daycares, preschools and Mother’s Day Out programs shall be considered as accessory uses to the primary use of the property when located in religious, educational and community buildings.**

This section is not applicable to the current application as it is not accessory to the aforementioned primary uses.

6. Landlord Consent: Owner Consent is required for daycare applications located at rental properties.

This is not applicable to the current application, as the applicant is the developer of the property.

7. Traffic: Commercial Daycares and daycares that are considered accessory uses to religious, educational and community buildings may be required to submit a traffic impact study to the Transportation Manager for review and approval.

Staff’s opinion is that upon review of the parking requirements for the site as well as the expected traffic based on hours of operation, that a traffic study is not necessary in this instance. Pick-up and drop-off times will be staggered and will occur within the proposed parking lot.

SPECIAL USE PERMIT REVIEW

The UDC does not limit the duration of the initial SUP requests for daycare, commercial uses. The duration is instead recommended based on other factors that are looked at during staff review. Some of the factors considered for this review include site context, parking availability, traffic impacts, as well as the applicant’s presented site and business plan through the application.

Staff provides the following analysis to the review criteria within [Section 4-1-G-5](#) of the UDC.

1. The character of the neighborhood.

The site is within the AdventHealth Life Campus and City Center North Village. The area includes a variety of uses, including the AdventHealth Lenexa Hospital Campus and associated medical office building. Further south and east are a variety of restaurants, retails, and hotels. To the west, across from the Central Green Park and future playground, are multifamily residential developments. The proposed use of a daycare fits within the character of City Center.

2. The zoning and use of properties nearby.

The zoning and uses of surrounding properties are listed in Table 2. The use is compatible with zoning and mixed uses of the surrounding properties.

3. The suitability of the subject property for the uses to which it has been restricted.

Commercial daycares are allowed in the City Center Zoning District provided the applicant meets the applicable regulations. A “daycare, commercial” use requires that the operator of the daycare obtain an SUP. It is Staff’s opinion that this site is suited for a commercial daycare, with multiple fenced-in outdoor play areas, a separation from the adjacent residential uses, a staggered pick-up/drop-off plan, and a use suited to the mixed-use nature of City Center.

4. The extent to which the proposed use will detrimentally affect nearby property.

It is the opinion of Staff that this use will not negatively impact nearby property. Traffic is typical of other City Center uses and parking is contained onsite. Noise from the playgrounds is a potential factor that could impact nearby properties, but it is mitigated by adjacent landscape buffering, distance to residential uses, and proximity to higher intensity uses, primarily the AdventHealth Life Campus located directly across the street. Staff notes a future playground is planned nearby and will likely yield the same type of noise by children. Should any concerns arise regarding noise, parking, traffic flow, or any other detriment to nearby property owners while the SUP is active, then Staff could initiate review and potential revocation of the SUP if concerns are not adequately addressed by the operator.

5. The length of time the subject property has remained vacant as zoned.

The subject property has never been developed.

6. The relative gain to public health, safety, and welfare due to the denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

It is Staff’s opinion that there would be no gain to the public health, safety, or welfare with denial of this application. It could be argued that denial of this application would be to the detriment of the public welfare, as it would prevent the development of a daycare, a use in which there is a presumed substantial need for within the overall community and specifically for the hospital that is likely to create demand for the use.

7. Recommendation of City's permanent professional staff.

See the Staff Recommendation at the end of this report.

8. Conformance of the requested change to the adopted or recognized Master Plan being utilized by the City.

The Future Land Use Map classifies the property for City Center. Daycare, commercial is a special use within the CC, City Center Zoning District. This special use permit is in conformance with the Comprehensive Plan as well as the [City Center Design Guidelines](#).

9. The availability and adequacy of required utilities and services to serve the proposed use. These utilities and services include, but are not limited to, sanitary and storm sewers, water and electrical service, police and fire protection, schools, parks and recreation facilities, etc.

With the development of the site, adequate utilities and services will be provided and constructed to serve the proposed use. There is no anticipated impact on police, fire, schools, or parks.

10. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the street network influenced by the use, or present parking problems in the vicinity of the property.

Based on the parking analysis presented by Staff in the Preliminary Plan Review section, parking on the site will exceed code requirements by 15 parking spaces. In addition, due to the nature of the staggered drop-off and pick-up window of the business, traffic impacts are not expected to cause issues to the surrounding street system or operating hours of nearby businesses.

11. The environmental impacts the proposed use will generate including, but not limited to, excessive stormwater runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting, or other environmental harm.

It is not expected that the proposed daycare would generate excessive stormwater runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting, or other environmental harm. The site will be designed to limit and mitigate any of these potential impacts.

12. The extent to which the proposed development would adversely affect the capacity or water quality of the stormwater system, including without limitation, natural stream assets in the vicinity of the subject property.

Development of the site will create additional run-off into the storm system due to the new impervious areas; however, impacts will be minimal, as the site will be designed according to City code. Additional stormwater analysis can be found in the Preliminary Plan Review section.

13. The ability of the applicant to satisfy any requirements (e.g. site plan, etc.) applicable to the specific use imposed pursuant to the zoning regulations in this Chapter and other applicable ordinances.

The operation of a commercial daycare is regulated in [Section 4-1-B-23](#) of the Unified Development Code. The applicant is required to comply with regulations such as licensing and number of employees and children. The applicant is working to obtain their license and purchase the property, and it is the opinion of Staff that the applicant is able to satisfy the requirements of the zoning regulations.

PRELIMINARY PLAN REVIEW

The preliminary plan is for the development of a two-story, 14,896 SF commercial daycare on a currently undeveloped parcel within the AdventHealth Life Campus. The plan calls for an 11-classroom daycare and two outdoor playgrounds, with the ability to serve up to 186 students and employ 30 staff members. The preliminary plan serves as the preliminary plat.

City Center requires buildings to be brought up to the street, when conditions allow, to create an urban environment. The intention of this is to activate the streets and sidewalks. The eastern section of the building is brought up to the private drive. The main public entrance to the building is located along this frontage as well, with accompanying signage. Other entrances to the building are located on the north and west sides of the property. It is expected that the north side of the property will see most of the pick-up/drop-off traffic, as it connects into the parking lot. The building is surrounded on the west and south sides by designated playground areas.

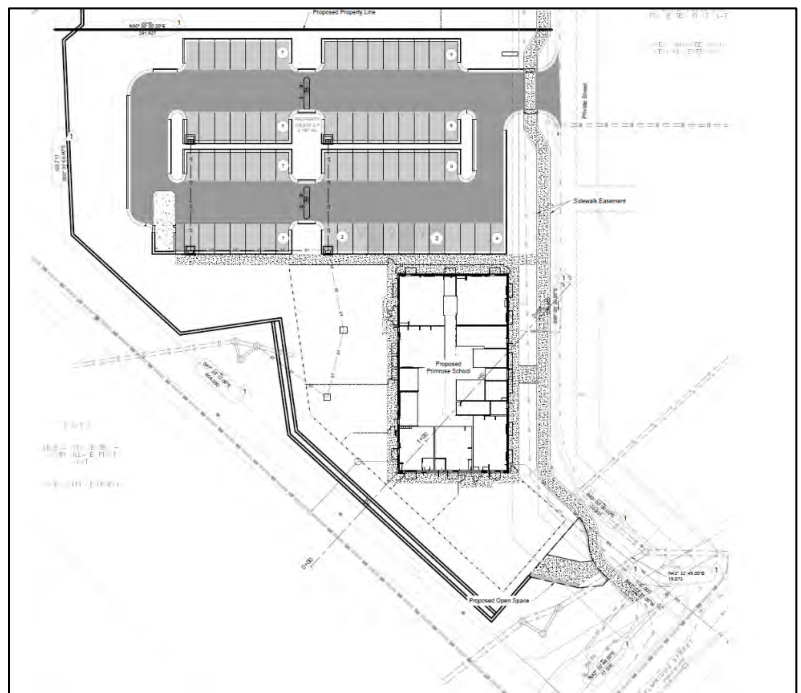


Exhibit 2: Site Plan

DIMENSIONAL STANDARDS

The building as proposed does not meet the front yard setbacks for the CC, City Center Zoning District. Table 3 shows the required and proposed setbacks. Setbacks from rights-of-way or property lines are more flexible in the City Center District than standard zoning districts, with commercial buildings ideally having a setback of 0 to 15 feet along local streets to reflect the district’s urban scale of development. The proposed development will have a 25-foot setback from the property due to the location of utilities. Due to the unique shape of the site and these utilities, Staff finds the proposed 25 foot setback contextually appropriate. This increased setback is allowed as part of a preliminary plan approved per [Section 4-1-B-28-F-3](#) of the UDC.

TABLE 3: SETBACK ANALYSIS			
Street	Required Setback	Proposed Setback	Difference
Mixed-Use Streets	0' to 15'	25'	+10

The proposed building is 37' tall, constructed with a variety of masonry materials, including brick and stone, as well as EIFS and various metal elements. The building meets the minimum height of 35' established by the CC, City Center Zoning District. The primary entrance is located along the private drive; however, pick-up/drop-off traffic will occur in the rear within the adjoining parking lot, with parents parking and walking their children in and out.

PUBLIC IMPROVEMENTS

The public streets around this lot were constructed with the hospital. As part of the project, the pedestrian sidewalk along the private drive will be repaved and shifted slightly to allow for the Pedestrian Amenity Zone (PAZ) with street trees and lighting along the private drive. The proposed PAZ is in conformance with the [City Center Design Guidelines](#). Additionally, the existing pedestrian connection to the south of the property will be maintained. This pedestrian connection is also utilized by the City to perform maintenance in the vicinity.

Staff notes that at the time of final plat, appropriate sidewalk easement will be provided for the public sidewalk added along the private drive, northwards, and appropriate right-of-way will be provided that will encompass the existing trail running east-west along 86th Street.



Exhibit 3: Sidewalk and Trail Connections

ACCESS, TRAFFIC, AND PARKING

Access into the site is from the private drive, which connects to 86th Street. Access to the site will occur in the north portion of the proposed property into the parking lot. There are no plans currently for any additional vehicle connections.

There will be a 64-space parking lot developed to the north of the proposed building. This lot includes 3 ADA compliant parking spaces. This parking lot will include speed ramps to encourage slower driving within the parking lot. The lot is setback 25' from the property line, per [City Center Design Guidelines](#) and [Section 4-1-D-1-O-4-G](#)

TABLE 4: PARKING ANALYSIS

Land Use	Parking Formula	Required Parking	Provided	ADA Spaces	Difference
Daycare, commercial	1 space per 10-person capacity plus 1 space per employee	49	64	3	+15

Pick-up and drop-off will occur within the proposed parking lot. Drop-off times are between 6:00 AM and 9:30 AM, with an expected peak between 7:30 AM and 8:30 AM. Pick-up times are between 3:30 PM and 6:30 PM, with an expected peak between 4:30 PM and 5:30 PM. Parents will be required to park and come inside to pick up their children. No pick-up line or queueing will occur within this parking lot.

STORMWATER

Stormwater management for this site is integrated into the previously constructed stormwater system for City Center North Village, with detention located in the Central Green Park. There will be no new features or facilities added.

FIRE PREVENTION

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed code review will be conducted based on the adopted codes at the time of the building permit submittal.

LIGHTING

Lighting will be added throughout the parking lot as well as on the building. Lighting fixtures within the parking lot will be required to match the fixture types outlined within the [City Center Design Guidelines](#). Site and exterior lighting on private development is subject to [Section 4-1-C-4-I](#) of the UDC. A more detailed lighting plan will be provided and considered with the final plan submittal.

LANDSCAPING

The subject property will be heavily landscaped, with landscaping provided along the edges of the parking lot, as required by the [City Center Design Guidelines](#). Additionally, landscaping will be provided along the existing trail, which will assist in screening the proposed retaining wall. The landscape plan demonstrates general compliance with the landscaping requirements as outlined in [Section 4-1-D-2](#) of the UDC. A more detailed landscape plan will be provided with the final plan submittal.

As part of the [City Center Design Guidelines](#), a public amenity area is to be provided as part of this development. The applicant proposed a 2,368 SF plaza area at the corner of 86th & Elmridge Street. This amenity area will include landscaping that is similar to the adjacent AdventHealth Life Campus, as well as a seating area.

At-Right Exhibit 4: Landscape Plan



Below is a cross-section of the site, demonstrating the relationship between the trail, retaining wall, and the proposed building. The existing trail will sit approximately 20 feet below the ground level of the new building and approximately 55 feet below the top of the building. Significant earthen fill will be brought in to raise the site for this new development.

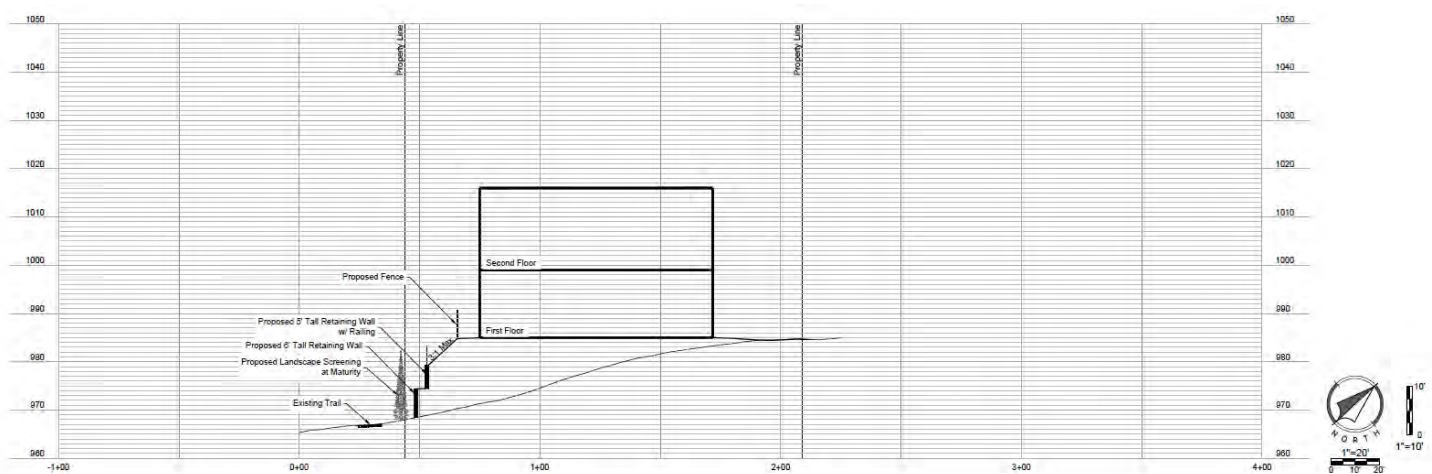


Exhibit 5: Cross Section of Subject Site and Adjacent Trail

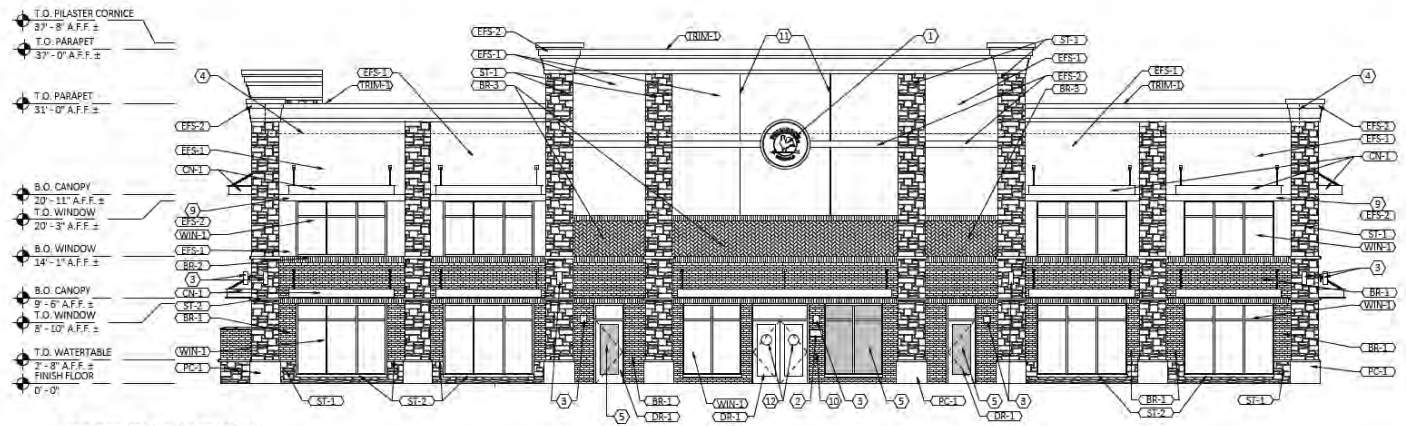
ARCHITECTURE

The proposed 14,896 SF building uses a contemporary architectural style and is designed to the [City Center Design Guidelines \(CCDG\)](#) as required by the CC, Zoning District.

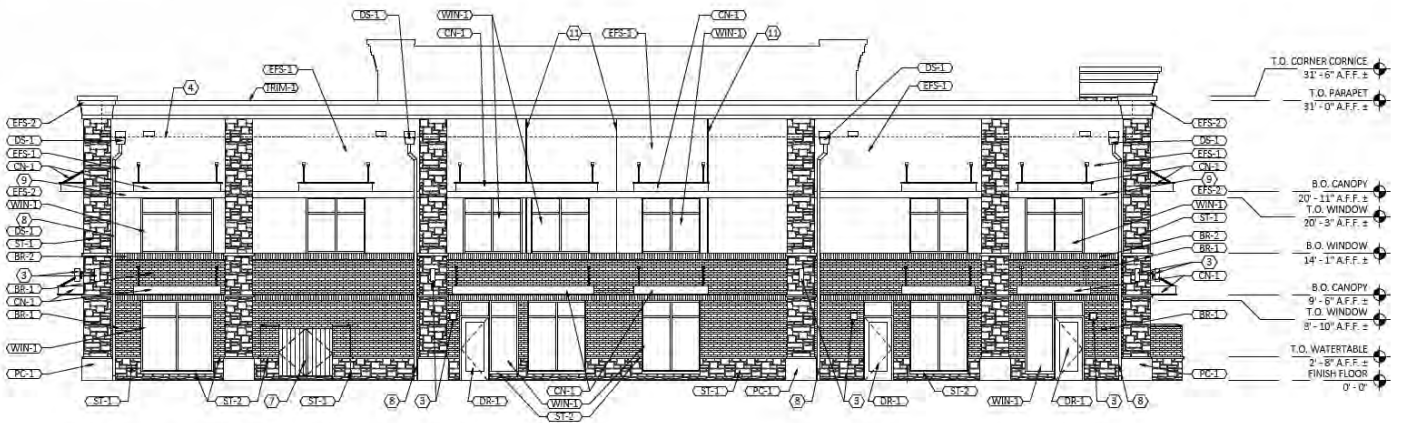
	<p>EXTERIOR MATERIAL SAMPLES</p> <p>BR-1 BRICK, PATTERN: RUNNING BOND, COLOR: CASTILE GRAY VELOUR</p> <p>BR-2 BRICK, PATTERN: SOLDIER COURSE, COLOR: FINE ART VELOUR</p> <p>BR-3 BRICK, PATTERN: HERRINGBONE, COLOR: FINE ART VELOUR</p> <p>CN-1/DR-1/WIN-1 CANOPY/DOOR/WINDOW, COLOR: DARK BRONZE</p>	<p>EF5-1 EIFS SYSTEM, COLOR: SW 7531 "CANVAS TAN"</p> <p>EF5-2 EIFS SYSTEM & PC-1 PRECAST PLINTH, COLOR: SW 7012 "CREAMY"</p> <p>ST-1 STONE, COLOR: AUTUMN</p>
<p>EAST ELEVATION VIA DRIVE</p> <p>EAST ELEVATION VIA HOSPITAL</p>		

Exhibits 6 and 7: Rendering and Material Samples

The CCDG places an emphasis on the design of the ground level of buildings to provide for activation of the street level. The types of design features include bringing the building up to the street using a minimal or 0-foot setback, providing entrances along streets, using glass to view into buildings, and applying architectural details to the ground floor level of the building to highlight features of the building. This is accomplished by the use of belt courses, plinths for columns, projecting window sills, pedestrian-scaled signage at the main entry, and planter boxes surrounding the front elevation, all of which are permitted and encouraged by the CCDG. The building has a well-defined and identified entrance along the private drive on the east side of the building.



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Exhibits 8 and 9: East and West Elevations

The building façade features several details, including material changes, trim elements, and façade articulations, which will prevent the building from having a monotone look. This is accomplished with a variety of brick types and patterns, as well as EIFS, and autumn stone, all of which break up the façade of the building. The canopies utilize a dark bronze aluminum, which contrasts against the lighter EIFS and brick tones found along the façade. On-site mechanical units are located on the roof and are screened by the rooftop parapet consisting of EIFS and stone.



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

Exhibits 10: North and South Elevations

The trash enclosure, located to the northwest of the building utilizes stone, EIFS, CMU, with a steel frame and cap around the top of the enclosure, which matches the character of the building. The fencing surrounding the proposed outdoor play areas will be 6-foot tall, black, open-style steel fence, much of which will be screened by landscaping in the form of shrubs and bushes.

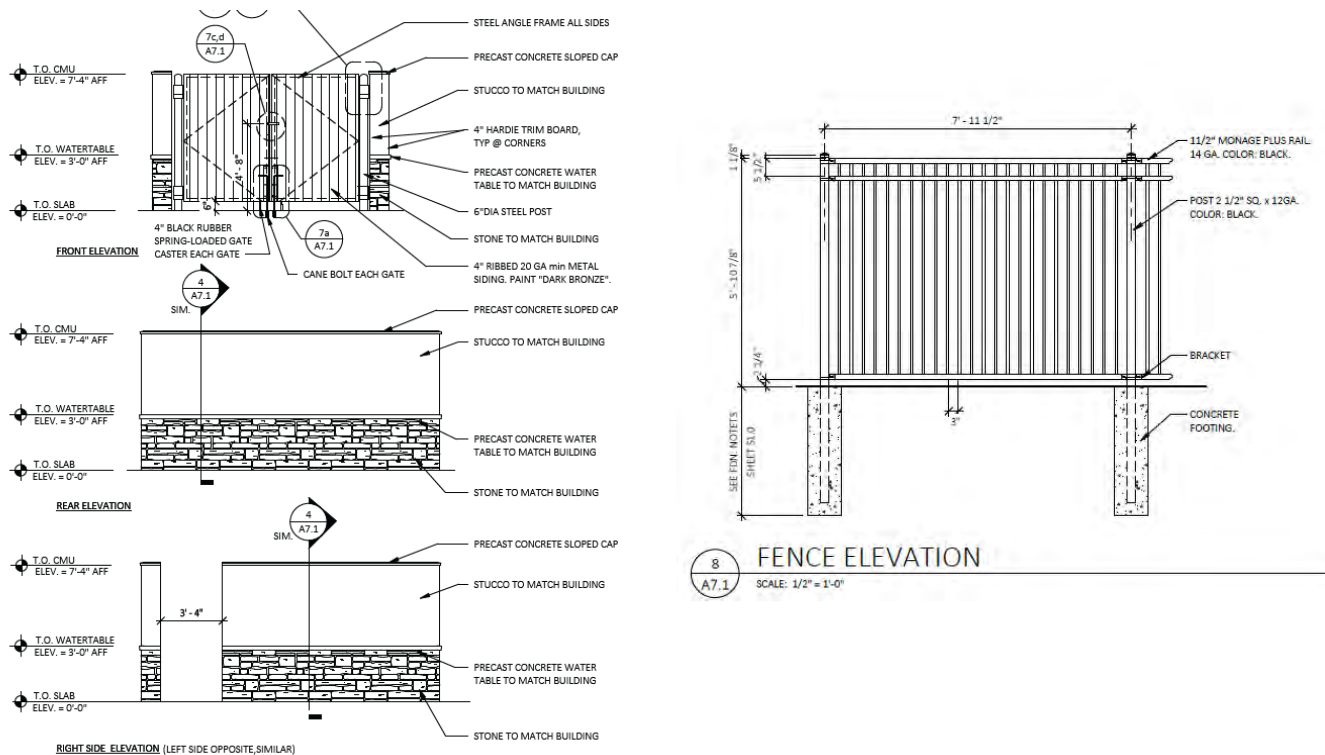


Exhibit 11 and 12: Trash Enclosure and Fence Elevations

NEXT STEPS

- This project requires a recommendation from the Planning Commission and final approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration from the City Council on April 21, 2026.
- The applicant must submit a final plan/final plat application prior to applying for permit(s).
- The final plat must be recorded with Johnson County prior to permit(s) being released.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant must obtain a Certificate of Occupancy before opening for business.
- The applicant must obtain a Business License prior to opening for business.
- The applicant should inquire about additional City requirements and development fees.

RECOMMENDATION FROM PROFESSIONAL STAFF

★ **Conduct a Public Hearing.**

★ **Staff recommends approval of the special use permit and preliminary plan/plat for Primrose School of Lenexa City Center.**

- This project is for the development of a 14,896 SF commercial daycare, which will serve approximately 186 students and employ 30 staff members.
- The project conforms with the Comprehensive Plan, complies with zoning and subdivision regulations, and provides appropriate utility, stormwater, and site design.
- Staff is recommending an indefinite approval for the special use permit.
- The project is consistent with Lenexa's goals through ***Strategic Community Investment and Superior Quality Services*** to create ***Vibrant Neighborhoods and a Thriving Economy***.

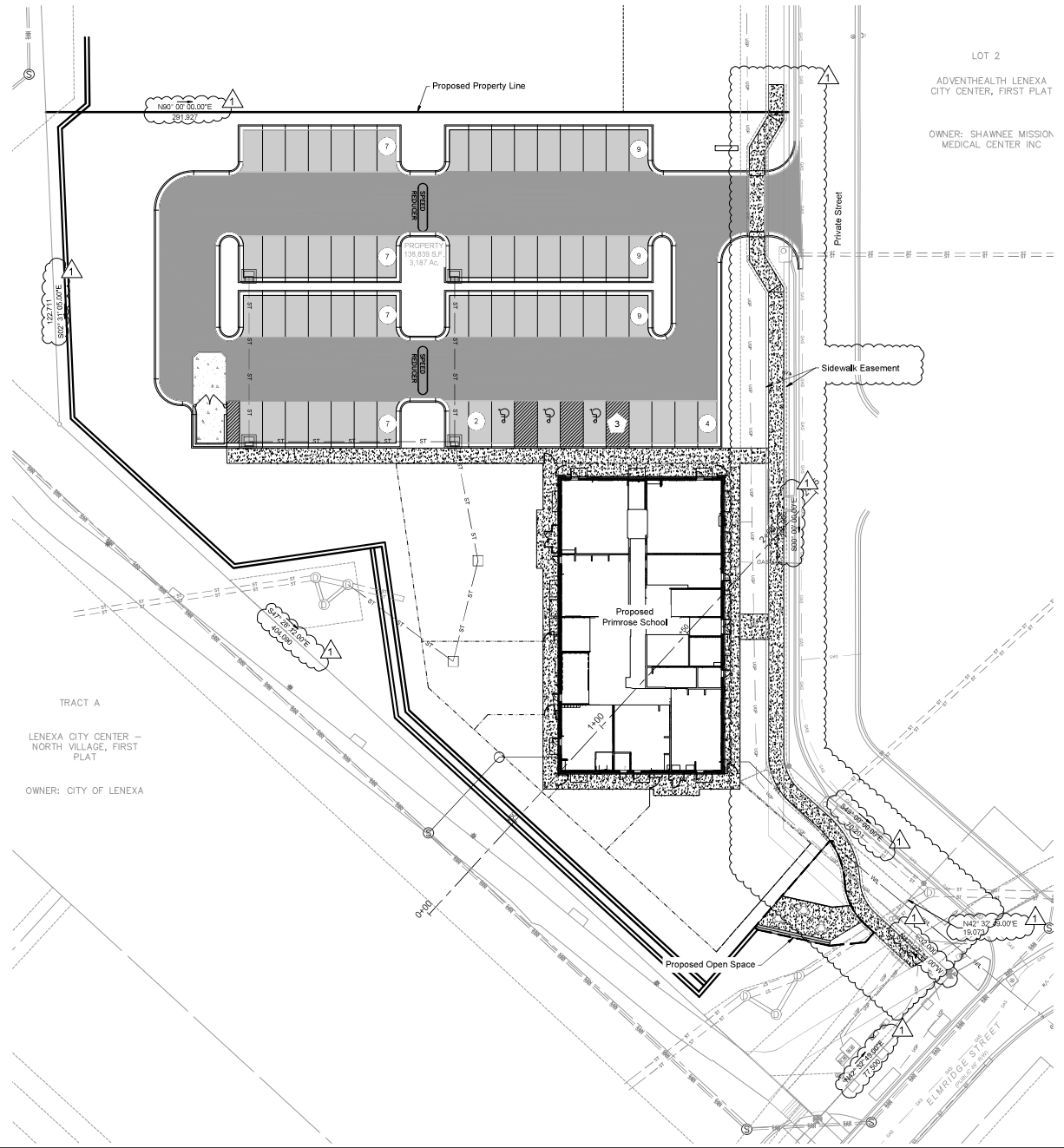
SPECIAL USE PERMIT

Staff recommends **APPROVAL** of SU26-05 - an indefinite special use permit for a daycare, commercial for **Primrose School of Lenexa City Center** at the NWC of 86th Street & Elmridge Street.

PRELIMINARY PLAN

Staff recommends **APPROVAL** of the preliminary plan for PL26-02P – **Primrose School of Lenexa City Center** at the NWC of 86th Street & Elmridge Street, for a daycare, commercial use.

Checked by: [Signature]
 Date: 03/20/2024 10:31 AM
 Drawn by: [Signature]



LOT 2
 ADVENTHEALTH LENEXA
 CITY CENTER, FIRST PLAT
 OWNER: SHAWNEE MISSION
 MEDICAL CENTER INC

LEGAL DESCRIPTION

ZONING
 The Project is Currently Zoned (CC),

SITE DATA TABLE

Use:	Child Care
Existing Zoning:	CC
Lot Area:	1.79 Acres +/-
Total Impervious Area:	0.84 Acres
Open Space Area Required:	298 SF
Open Space Area Provided:	941 SF

- Concrete Pavement
- Asphalt Pavement
- Asphalt Parking Stalls
- Concrete Sidewalk

Parking Legend:

- Auto Stall:
- ADA Stall:

Parking Data

Required:	
Daycare: 1 per 10 Person Capacity	19
Daycare: 1 per Employee	22
Total Parking	41
Provided:	
Standard Parking Stalls	61
ADA Parking Stalls	3
Total Parking	64

Preliminary Development Plan
 25-0164
 Primrose Schools
 Lenexa, Johnson County, Kansas

Site Plan

NO.	DATE	REVISION
1	04/10/24	City Comments
2	03/20/24	City Approval

DRAWN BY: [Signature]
 CHECKED BY: [Signature]
Renaissance Infrastructure Consulting
 8693 Primrose Lane
 Lenexa, Kansas 66219
 913.317.9900
 www.riiconsulting.com



Sheet
 C03

Cheri Fisher
 May 23, 2024, 10:30am
 407 E. 17th Street
 Lenexa, KS 66150-0408

LENEXA LANDSCAPE CALCULATIONS

Perimeter Plantings Along Street Frontages (Per UDC 4-1-0-2-L)

Required: Adj. to Local = 2 shade trees + 12 shrubs / 100'; 20' depth

Provided: East Local road (293') = 6 shade trees + 35 shrubs
 Elmridge Street (96') = 2 shade trees + 12 shrubs

Perimeter Plantings Along Lot Lines (Per UDC 4-1-0-2-L)

Required: Adj. to Building/Open Area = 1 shade tree / 100'
 Adj. to Parking Lot = 1 shade tree + 9 shrubs / 100'
 Adj. to Service Area = As above + evergreen trees & shrubs to form complete visual screen

Provided: North PL adj. to open area (43') = 1 shade tree
 North PL adj. to parking lot (249') = 2 shade trees + 22 shrubs
 West PL adj. to building/open area (400') = 4 shade trees + 36 shrubs
 West PL adj. to parking lot (127') = 1 shade tree + 11 shrubs

Internal Parking Lot (Per UDC 4-1-0-2-M)

Required: 7.5% internal landscaping for office and commercial sites
 1 tree / 300 sf of overall internal landscaped area, with at least 1 tree / island

Provided: 24,064 sf parking lot x 7% = 1,684 sf required (2,213 sf actual) + 8 trees

Landscaping of Monument Signs (Per UDC 4-1-0-2-O)

Required: An area equal to 3 x the combined total area of the face of the sign and monument base; 1 shade tree / 500 sf required landscaped area; 1 ornamental tree / 200 sf required landscaped area; 2 shrubs / 20 sf required landscaped area

Provided: 9'x4' monument sign = 36 sf x 3 = 108 sf area, 1 shade tree, 1 ornamental, 11 shrubs

Site Feature Buffering and Screening (Per UDC 4-1-0-2-P)

Required: Trash, outdoor storage, service and loading areas, ground-mounted utilities, meters and mechanical equipment to be screened from public view

Provided: As required

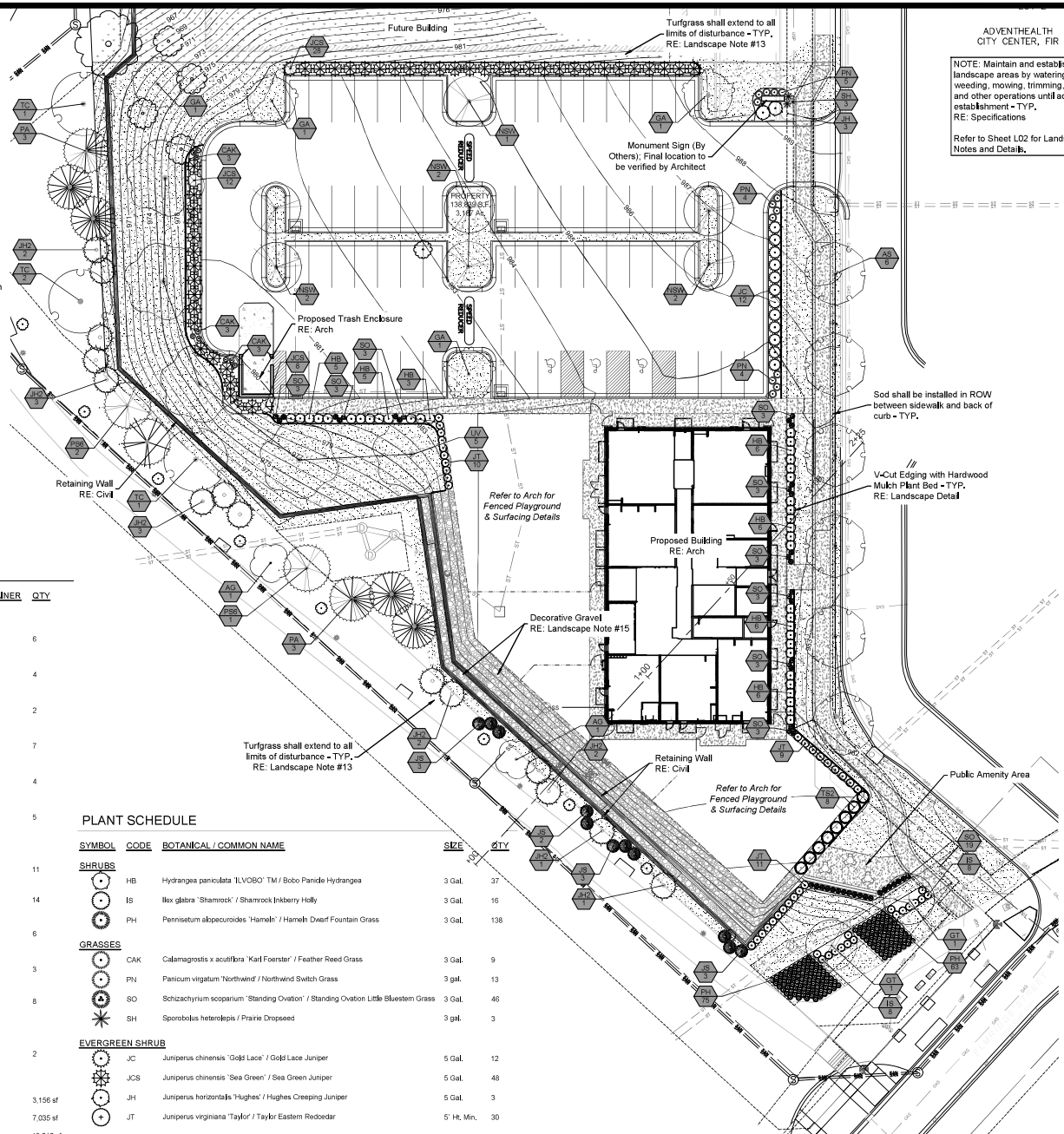
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	AS	Acer rubrum 'Red Sunset' / Red Sunset Maple	2" Cal.	B&B	6
	GA	Ginkgo biloba 'Autumn Gold' TM / Autumn Gld Maidenhair Tree	2" Cal.	B&B	4
	GT	Gleditsia tricanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2" Cal.	2
	NSW	Nyssa sylvatica 'Wildfire' / Black Gum	2" Cal.	B&B	7
	TC	Tilia cordata 'Greenspire' / Littleleaf Linden	2" Cal.	B&B	4
	UV	Ulmus americana 'Valley Forge' / Valley Forge American Elm	2" Cal.	B&B	5
EVERGREEN					
	JS	Juniperus chinensis 'Spartan' / Spartan Juniper	5' Ht.	B&B	11
	JH2	Juniperus virginiana 'Hillspire' / Hillspire Juniper	5' Ht.	B&B	14
	PA	Picea abies / Norway Spruce	5' Ht.	B&B	6
	PS6	Pinus strobus / White Pine	5' Ht.	B&B	3
	TS2	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	5' Ht.	B&B	8
ORNAMENTAL					
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry	6' Ht.	B&B	2
GROUND COVERS					
	DG	Decorative Gravel / 1"-3" River Rock from Local Source	ROCK		3,156 sf
	TF2	Turfgrass Seed Fescue Mix, RE: Notes / Fescue Seed	SEED		7,035 sf
	TF	Turfgrass Sod Fescue Mix, RE: Notes / Fescue Sod	SOD		19,010 sf

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
SHRUBS				
	HB	Hydrangea paniculata 'ILVOBO' TM / Bobo Panda Hydrangea	3 Gal.	37
	IS	Ilex glabra 'Shamrock' / Shamrock Inkberry Holly	3 Gal.	16
	PH	Pennisetum alopecuroides 'Hallelujah' / Hallelujah Dwarf Fountain Grass	3 Gal.	138
GRASSES				
	CAK	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	3 Gal.	9
	PN	Panicum virgatum 'Northwind' / Northwind Switch Grass	3 gal.	13
	SO	Schizachyrium scoparium 'Standing Ovation' / Standing Ovation Little Bluestem Grass	3 Gal.	46
	SH	Sporobolus heterolepis / Prairie Dropseed	3 gal.	3
EVERGREEN SHRUB				
	JC	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.	12
	JCS	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal.	48
	JH	Juniperus horizontalis 'Hughes' / Hughes Creeping Juniper	5 Gal.	3
	JT	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	5' H. Min.	30

Note: Quantities shown are for reference only. Contractor shall verify all plant and turf quantities prior to bidding.



ADVENTHEALTH
 CITY CENTER, FIR

NOTE: Maintain and establish all landscape areas by watering, fertilizing, weeding, mowing, trimming, replanting and other operations until acceptable establishment - TYP.
 RE: Specifications

Refer to Sheet L02 for Landscape Notes and Details.

Preliminary Development Plan
 25-0164
 Primrose Schools
 Lenexa, Johnson County, Kansas

Landscape Plan

NO.	DATE	REVISED BY
1	05/23/24	Cheri Fisher
2	05/23/24	Cheri Fisher
3	05/23/24	Cheri Fisher

DRAWN BY: Cheri Fisher
 CHECKED BY: [Blank]

Renaissance Infrastructure Consulting

407 E. 17th Street
 Lenexa, KS 66150-0408
 816.800.0950
 www.riks.com



Sheet
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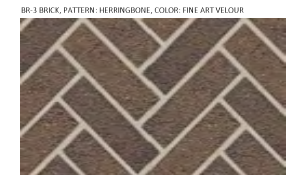


1 EAST ELEVATION VIA DRIVE
A4.1 SCALE: 1/2" = 1'-0"



2 EAST ELEVATION VIA HOSPITAL
A4.1 SCALE: 1/2" = 1'-0"

EXTERIOR MATERIAL SAMPLES



PRIMROSE SCHOOLS
W 86TH STREET
LENEXA, KS



PRIMROSE SCHOOLS FRANCHISING COMPANY
2550 WINDY HILL ROAD, SUITE 1000
ATLANTA, GEORGIA 30328-5640
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LAW.

CONSTR. DOC. & REVISIONS

03/23/26

NOT FOR
CONSTRUCTION

Drawn/Checked	ADJ/MS
Project Number	2404529
Bid Date	-
Permit Date	-
For Construction	-

EXTERIOR 3D
RENDERINGS

A4.1



1 SOUTHEAST CORNER VIA SIDEWALK
A4.2 SCALE: 1/2" = 1'-0"



2 NORTHEAST CORNER VIA SIDEWALK
A4.2 SCALE: 1/2" = 1'-0"

PRIMROSE SCHOOLS
W 86TH STREET
LENEXA, KS



PRIMROSE SCHOOLS FRANCHISING COMPANY
2550 WHEAT RIDGE AVENUE SUITE 1000
ATLANTA, GEORGIA 30328-5640
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CONSTR. DATE & REVISIONS

03/23/26

NOT FOR CONSTRUCTION

Drawn/Checked	ADJ/MS
Project Number	2404529
Bid Date	-
Permit Date	-
For Construction	-

EXTERIOR 3D RENDERINGS

A4.2

6. **Primrose School — Consideration of a special use permit and preliminary plan for commercial daycare on property located at 16990 West 86th Street within the CC, Planned City Center District. (Public Hearing)**
 - a. **Consideration of a special use permit to allow a daycare, commercial use in the CC, Planned City Center District. SU26-05**
 - b. **Consideration of a preliminary plat for a commercial daycare. PL26-02P**

APPLICANT PRESENTATION

Katelynn Scheren of Primrose Schools presented the proposal for Primrose Schools, an early childhood education center serving children ages six weeks to five years. She explained that the center would operate from approximately 6:30 a.m. to 6:00 p.m., and parents would be required to park and escort their children into the facility. She also noted that Primrose Schools are individually franchised, and that franchise owner Anne Lewis, who already operates the Primrose School of Shawnee, is planning to open and operate the new location in Lenexa.

STAFF PRESENTATION

James Molloy explained the proposed Primrose School of Lenexa City Center, which includes a special use permit and preliminary plan for a site at 16990 West 86th Street near the intersection of 86th and Elmridge Street, adjacent to the Advent Health Lenexa City Center campus. He noted that the site is zoned and designated as “City Center,” requiring compliance with City Center design guidelines. He described how the project evolved from earlier concepts, including a prior unspecified office building plan, and said staff worked with Primrose Schools over the past year to develop the current design. He also noted that additional developable space may exist to the north, though its future use is currently undetermined. Mr. Molloy explained that a special use permit is required because the project is a commercial daycare serving more than 12 individuals. He outlined that the facility is planned as a 14,896 SF building with up to 11 classrooms, serving approximately 186 students and employing up to 30 staff. Operating hours would generally be 6:30 a.m. to 6:30 p.m., with defined peak drop-off and pick-up periods, and occasional weekend events. He stated that the project includes 64 parking spaces (exceeding the 49 required), with ADA-compliant spaces included, and that traffic impacts are expected to be minimal due to parents parking and escorting children rather than forming queues. Mr. Molloy further described the site design, noting the building is set back 25 feet to accommodate utilities and enhance pedestrian space, slightly exceeding the maximum allowable setback. The plan includes two playground areas, a public amenity space with seating, and preserved trail connectivity to Central Green. He also highlighted extensive landscaping, grading adjustments due to significant elevation changes, and a retaining wall along the western side. He closed by summarizing the architectural design, which incorporates brick, stucco, and stone accents with earth-toned materials, along with screened rooftop equipment. Staff recommended approval of both the special use permit and preliminary plan, including indefinite approval of the special use permit, with final consideration scheduled for the Governing Body meeting on April 21, 2026.

PUBLIC HEARING

Chairman Poss **OPENED** the Public Hearing and asked if anyone wished to speak on this item. No one from the public spoke.

Chairman Poss entertained a motion to **CLOSE** the Public Hearing. Moved by Commissioner Burson, seconded by Commissioner Horine, and carried by a unanimous voice vote.

COMMISSIONER DISCUSSION

Commissioner Horine requested more detailed design information about a proposed six-foot and four-foot retaining wall along the trail, expressing concern that it should not be plain concrete and suggesting it should incorporate more decorative materials like stone. He also noted that while landscaping is planned to screen the wall, it may take time to mature, meaning the wall would initially be highly visible. He encouraged the applicant to consider a more visually appealing design. He additionally suggested that staff evaluate safety at a nearby private access drive, noting concerns about vehicles exiting toward Scarborough and recommending consideration of a stop sign due to observed traffic issues. Finally, he made a light comment to the applicant about ensuring noise considerations for nearby residents when children are using the playground.

Commissioner Jamison asked what physical separation would exist between the public amenity area and the playground. Mr. Molloy responded that the separation would consist of a combination of landscaping and a six-foot-tall fence along the playground areas. Chase Kohler of Renaissance Infrastructure Consulting clarified that the barrier between the public amenity area and the playground would be a vinyl vertical-style fence that meets city standards, rather than a traditional chain-link fence. He also explained that there would be approximately six feet of separation between the fence and the adjacent seating area in the public amenity space.

Commissioner Burson expressed concern about the proposed fence near a playground situated by a steep 50–55-foot drop-off. Based on experience with school playgrounds, he noted that vinyl fencing could be climbable and pose a safety risk, particularly if children were chasing balls toward the edge. Ms. Scheren reassured them that the fence would be six feet tall and that ball-related activities would not be part of the play area, reducing the likelihood of children running toward the slope. She further explained that the play area will consist of built-in playground equipment, such as slides and climbing structures, and will not include activities involving balls. This means there is no expectation of objects, like errant balls, going over the fence.

Commissioner Burson asked Staff to identify on the screen where the proposed “Ninja Warrior” style course, or park area, would be located in relation to the surrounding features being discussed. Mr. Molloy stated that the “Ninja Warrior” style course would be located to the south-southeast, on the other side of the bridge. Scott McCullough clarified that the play feature is located at 87th Street, near the building where the stairs descend, specifically at the bottom of the stairs in the Central Green area. He confirmed that part of Central Green will be used for this addition, describing it as a new playground element within the existing park.

Commissioner Woolf echoed earlier comments supporting the use of shrubbery and fencing between the public space and the playground to provide screening. He noted the importance of creating separation, given that the area is open to the public and children would be using the playground during times like recess.

Commissioner Katterhenry agreed that retaining walls should be visually broken up rather than appearing as one tall, continuous structure. He emphasized that the wall should use an attractive, high-quality material instead of plain concrete. Scott McCullough agreed that the feedback regarding the retaining wall had been communicated to the applicant and they were accommodating those concerns. He noted that along Central Green, the plan includes a retaining wall to be refined in the final design, along with additional landscaping on the city side of the property line to help buffer and soften its appearance.

Commissioner Dharod asked for more information about a proposed plaza feature, specifically requesting details on its intended use, who would have access to it, and who would be responsible for its maintenance. Mr. Molloy explained that, in accordance with the City Center design guidelines, the project includes a required public amenity area. He stated that this plaza will be located on the southeast corner of the site near the intersection. It will be publicly accessible, and the current plan is to develop it as a seating area.

Chairman Poss reflected on the proposal within the broader context of City Center development, noting that a daycare use had not previously been envisioned but now makes sense given the nearby hospital and office buildings. He explained that the location would offer convenience for working parents. He also expressed support for the building's design and its compliance with City Center guidelines. He said that overall, he viewed the plan positively and looked forward to its continued development in the next phase of the process.

MOTION

Chairman Poss entertained a motion to recommend **APPROVAL** of **SU26-05** - an indefinite special use permit for a daycare, commercial for **Primrose School of Lenexa City Center** at the NWC of 86th Street & Elmridge Street.

Moved by Commissioner Katterhenry, seconded by Commissioner Jamison, and carried by a unanimous voice vote.

Chairman Poss entertained a motion to recommend **APPROVAL** of the preliminary plan for PL26-02P – **Primrose School of Lenexa City Center** at the northwest corner of 86th Street & Elmridge Street, for a daycare, commercial use.

Moved by Commissioner Harber, seconded by Commissioner Dharod, and carried by a unanimous voice vote.

7. **Bean Babies Daycare — Consideration of a special use permit for a daycare, general use on property located at 9248 Noland Road within the RP-1, Planned Residential (Low Density) District. SU26-06. (Public Hearing)**

APPLICANT PRESENTATION

Andrea Jewett, owner of Bean Babies Daycare and property owner of 9248 Noland Road, introduced herself and described her background in childcare, noting 25 years of experience in the field and 17 years operating a licensed daycare, originally in Overland Park and later Lenexa. She explained that she co-runs the daycare with her sister and occasionally receives help from her mother as a substitute. She outlined the daycare's daily operations, including hours (7:30 a.m. to 5:30 p.m.), typical drop-off and pick-up times, and parking arrangements that accommodate parents while discouraging street parking on Noland Road, with an alternative on Oak Street if needed. Ms. Jewett emphasized the daycare's very low turnover rate, describing long-term relationships with families as children often stay from infancy through school age. She said most enrollment comes through word of mouth and highlighted the strong bonds formed with families over multiple years. She also described the program's educational focus, including early sensory learning for infants and a pre-kindergarten curriculum emphasizing fine motor skills, early math, pre-writing, and hands-on learning to prepare children for kindergarten. She closed by saying that the daycare operates year-round on-site, with occasional walks to a nearby park and outdoor activities such as nature walks and sensory play, including activities like a "mud kitchen."

STAFF PRESENTATION

Jessica Lemanski presented the special use permit request for Bean Babies Daycare at 9248 Noland Road, located north of 95th Street and near Santa Fe Trail Drive and Pflumm Road. She described the surrounding area as primarily single-family residential zoning (RP-1), with some higher-density RP-2 residential nearby and a church designated as institutional land use. She explained that the request is for a daycare, general use, defined in the code as providing care for 7 to 12 individuals. She noted that Staff reviewed the 13 required criteria for a special use permit and had no concerns with them. Ms. Lemanski highlighted traffic considerations, stating that Noland Road is a no-parking zone and that parents are instructed to either use the driveway for drop-off and pick-up or park on Oak Street if necessary. She also noted the daycare's operating hours of 7:30 a.m. to 5:30 p.m., with staggered arrival and departure times. She concluded by stating that staff recommends approval of the special use permit, which is tentatively scheduled for consideration by the Governing Body on April 21, 2026.

PUBLIC HEARING

Chairman Poss **OPENED** the Public Hearing and asked if anyone wished to speak on this item. No one from the public spoke.

Chairman Poss entertained a motion to **CLOSE** the Public Hearing. Moved by Commissioner Burson, seconded by Commissioner Wagner, and carried by a unanimous voice vote.

COMMISSIONER DISCUSSION

Chairman Poss stated that the item appeared to be straightforward and indicated he had no concerns with the property or the proposal. He stated that everything seemed to be in order.

MOTION

Chairman Poss entertained a motion to recommend **APPROVAL** of SU26-06 - a special use permit for a daycare, general use in the RP-1 Zoning District for **Bean Babies Daycare** at 9248 Noland Road for a 10-year period.

Moved by Commissioner Burson, seconded by Commissioner Horine, and carried by a unanimous voice vote.

STAFF REPORTS

Scott McCullough notified the Commissioners that they should have received an email regarding the volunteer appreciation dinner.

Stephanie Sullivan requested the Commissioners stay for about five minutes so that she could take a group photo.

ADJOURNMENT

Chairman Poss ended the regular meeting of the Lenexa Planning Commission at 7:58 p.m. on Monday, April 6, 2026.

SU26-05

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A PERMANENT SPECIAL USE PERMIT ON
PROPERTY LOCATED AT 16990 WEST 86TH STREET, IN LENEXA, KANSAS.**

WHEREAS, on February 27, 2026, Alexia Diaz, filed a request for a special use permit to allow for a daycare, commercial use, on property located at 16990 West 86th Street, Lenexa, KS (the "Property"), in the CC, City Center District; and

WHEREAS, on April 6, 2026, the Lenexa Planning Commission held a public hearing to hear the request for said special use permit. Notice for the public hearing was provided in accordance with K.S.A. 12-757, and

WHEREAS, the Lenexa Planning Commission recommended approval of a permanent special use permit to allow a daycare, commercial use, in the CC, City Center District, as reflected in the minute record for said meeting; and

WHEREAS, on April 21, 2026, the Governing Body considered the request and Planning Commission recommendation, as reflected in the minute record for said meeting;

**NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF
LENEXA, KANSAS:**

SECTION ONE: The Governing Body hereby approves the issuance of an indefinite special use permit in the City Center District for the real estate described as:

A TRACT OF LAND IN THE SOUTHEAST QUARTER OF SECTION 30,
TOWNSHIP 12 SOUTH, RANGE 24 EAST
OF THE 6TH P.M., IN THE CITY OF LENEXA, JOHNSON COUNTY,
KANSAS, AND DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST
QUARTER; THENCE N 02°12'39" W,
ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER, 1327.04
FEET TO THE SOUTHEAST CORNER OF
"STONECREEK OF PARKHURST, 1ST PLAT", A SUBDIVISION IN SAID
CITY; THENCE S 87°29'00" W, AND
ALONG THE SOUTH LINE OF SAID "STONECREEK OF PARKHURST,
1ST PLAT", A DISTANCE OF 256.44
FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF
RENNER BOULEVARD, AS IT NOW

EXISTS, SAID POINT BEING THE POINT OF BEGINNING; THENCE SOUTHERLY ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF RENNER BOULEVARD FOR THE FOLLOWING 17 COURSES; THENCE S 72°53'48" E, 100.39 FEET; THENCE S 15°53'39" E, 303.02 FEET; THENCE S 02°12'39" E, 137.64 FEET; THENCE S 38°41'54" W, 43.09 FEET; THENCE S 59°13'27" W, 43.70 FEET; THENCE S 01°15'24" W, 90.51 FEET; THENCE S 64°27'04" E, 26.89 FEET; THENCE S 50°44'18" E, 13.44 FEET; THENCE S 38°26'34" E, 47.28 FEET; THENCE S 13°49'50" E, 26.16 FEET; THENCE S 02°12'39" E, 163.36 FEET; THENCE S 04°08'55" W, 94.14 FEET; THENCE SOUTHERLY, ALONG A NON-TANGENT CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 5,069.50 FEET, AN ARC LENGTH OF 70.95 FEET AND A CHORD BEARING OF S 02°02'29" E, FOR A DISTANCE OF 70.95 FEET; THENCE S 02°26'32" E, 157.16 FEET; THENCE N 87°33'21" E, 2.99 FEET; THENCE S 02°26'40" E, 41.98 FEET; THENCE S 33°24'09" W, 39.72 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 87TH STREET; THENCE WESTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF 87TH STREET FOR THE FOLLOWING 6 COURSES; THENCE S 88°34'58" W, 396.35 FEET; THENCE N 16°29'19" W, 23.51 FEET; THENCE S 87°32'41" W, 70.40 FEET; THENCE S 02°27'04" E, 14.02 FEET; THENCE S 87°38'08" W, 51.98 FEET; THENCE N 87°11'06" W, 97.03 FEET TO THE SOUTHEAST CORNER OF TRACT B, "LENEXA CITY CENTER - NORTH VILLAGE, FIRST PLAT", A SUBDIVISION IN SAID CITY; THENCE NORTHERLY ALONG THE EASTERLY PLAT LINE OF SAID "LENEXA CITY CENTER - NORTH VILLAGE, FIRST PLAT" FOR THE FOLLOWING 13 COURSES; THENCE N 02°27'11" W, 325.18 FEET; THENCE N 47°27'11" W, 416.23 FEET; THENCE N 42°32'49" E, 60.00 FEET; THENCE N 47°27'11" W, 26.00 FEET; THENCE N 42°32'49" E, 26.00 FEET; THENCE N 47°27'11" W, 60.00 FEET; THENCE S 42°32'49" W, 26.00 FEET; THENCE N 47°27'11" W, 26.00 FEET; THENCE S 42°32'49" W, 60.00 FEET; THENCE S 47°27'11" E, 32.00 FEET; THENCE S 42°32'49" W, 77.50

FEET; THENCE N 47°28'12" W, 404.09 FEET; THENCE N 02°31'05" W, 320.91 FEET TO THE NORTHEAST CORNER OF TRACT A, OF SAID "LENEXA CITY CENTER – NORTH VILLAGE, FIRST PLAT"; SAID POINT ALSO BEING ON THE SOUTH LINE OF TRACT B, "STONECREEK OF PARKHURST, 2ND PLAT", A SUBDIVISION IN SAID CITY; THENCE N 87°29'00" E, ALONG SAID SOUTH LINE OF SAID TRACT B AND THE SOUTH LINE OF SAID "STONECREEK OF PARKHURST, 1ST PLAT", 1186.69 FEET TO THE POINT OF BEGINNING; EXCEPT ANY PART USED OR DEDICATED FOR STREETS, ROADS AND PUBLIC RIGHTS OF WAY. AND EXCEPT THOSE PARTS PLATTED AS ADVENTHEALTH LENEXA CITY CENTER, FIRST PLAT AND ADVENTHEALTH LENEXA CITY CENTER, SECOND PLAT, BOTH BEING SUBDIVISIONS IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS.

More commonly known as 16990 West 86th Street, Lenexa, Kansas.

Hereinafter referred to as (the "Property").

SECTION TWO: The Clerk of the City of Lenexa, Kansas, is hereby authorized and directed to record the issuance of this permanent special use permit in accordance with the above.

SECTION THREE: This Ordinance shall be construed as follows:

- A. Liberal Construction. This Ordinance shall be liberally construed to effectively carry out its purposes that are hereby found and declared to be in furtherance of the public health, safety, welfare, and convenience.
- B. Savings Clause. The repeal of any ordinance or code section, as provided herein, shall not affect any rights acquired, fines, penalties, forfeitures or liabilities incurred thereunder, or any action or proceeding commenced under or by virtue of the ordinance or code section repealed. Any ordinance or code section repealed continues in force and effect after the passage, approval, and publications of this Ordinance for the purposes of such rights, fines, penalties, forfeitures, liabilities, and proceedings.

C. Invalidity. If for any reason any chapter, article, section, subsection, sentence, portion, or part of this Ordinance, or the application thereof to any person or circumstance is declared to be unconstitutional or invalid, such decision shall not affect the validity of the remaining portions of this Ordinance, the Lenexa City Code, or other ordinances.

SECTION THREE: This Ordinance shall take effect after publication of an ordinance summary in the City's official newspaper as provided by State law.

PASSED by the Governing Body April 21, 2026.

SIGNED by the Mayor April 21, 2026.

CITY OF LENEXA, KANSAS

Julie Sayers, Mayor

ATTEST:

Jennifer Martin, City Clerk

APPROVED AS TO FORM:

Steven D. Shroust, Assistant City Attorney



**CITY COUNCIL
MEMORANDUM**

ITEM 10

SUBJECT: Approval of a final plan for a mixed-use development known as The Rise located in City Center Lenexa East Village at the southeast corner of 87th Street Parkway & Renner Boulevard in the CC, Planned City Center District - **ITEM CONTINUED TO THE MAY 19, 2026 CITY COUNCIL MEETING AT THE APPLICANT'S REQUEST**

CONTACT: Stephanie Sullivan, Planning Manager

DATE: April 21, 2026

PROJECT BACKGROUND/DESCRIPTION:

This item has been continued to the May 19, 2026 City Council meeting at the applicant's request.

ATTACHMENTS

None



ITEM 11

SUBJECT: Consideration of a revised preliminary plan and final plat for a mixed-use development known as Vista Village North/Vista Village, 4th Plat located at the southeast corner of Prairie Star Parkway & Ridgeview Road in the PUD, Planned Unit Development District

CONTACT: Stephanie Sullivan, Planning Manager

DATE: April 21, 2026

ACTION NEEDED:

- a. Approve the revised preliminary plan for a mixed-use development known as Vista Village North located at the southeast corner of Prairie Star Parkway & Ridgeview Road in the PUD, Planned Use Development District.
- b. Accept the drainage easement as shown on Vista Village, 4th Plat.

APPLICANT:
Chad Porter, RIC

OWNER:
Camille Christie, Jayhawk Ridge, LLC

PROPERTY LOCATION:
Southeast corner of Prairie Star Parkway & Ridgeview Road

PROJECT BACKGROUND/DESCRIPTION:

The applicant requests approval of a revised preliminary plan for a mixed-use development known as Vista Village North located at the southeast corner of Prairie Star Parkway and Ridgeview Road. The development includes duplex residential, multifamily, restaurant, and commercial uses. The duplex and multifamily components, as well as three retail buildings, are currently under construction. The part of the development subject to this revised preliminary plan is the northwestern commercial quadrant. The applicant proposes to change the configuration from three buildings totaling 18,800 square feet to seven buildings totaling 34,960 square feet.

Buildings will remain along the Ridgeview Road street frontage, as they are currently approved, and new buildings are proposed along Prairie Star Parkway and the interior of the site. Shared parking is provided with drive aisles, within a dedicated access easement, providing access to each lot. Retaining walls are used to manage the grade change across the site.

The overall project provides 1,196 parking spaces and 1,203 parking spaces are required per the Unified Development Code. While there is a deficiency of seven parking spaces across the entire development, the commercial areas will be well parked. The multifamily component, Alto Apartments, was approved with a deviation to allow a parking reduction from the required 496 to 432 parking spaces.

The request also includes a final plat for the northwestern quadrant, which will subdivide the area into six

lots and three tracts. The plat, known as Vista Village, 4th Plat, includes a drainage easement dedication to the City for an underground stormwater detention facility. City Council acceptance of this easement is required as part of the plat approval.

STAFF RECOMMENDATION:

Approve the preliminary plan and accept the drainage easement.

PLANNING COMMISSION ACTION:

This item was discussed as Regular Agenda Item 5 at the April 6, 2026 Planning Commission Meeting.

Several Commissioners asked questions regarding the status of the project, the timing of developing the site, and what form the corner amenity will take. The applicant replied to the questions stating that the buildings now approved are progressing forward and there is significant interest in more commercial development at this corner, which is the reason for the proposed changes to increase the amount of retail floor area for this project. The corner amenity will likely include repurposing the excavated from the site as construction activity continues.

Chairman Poss entertained a motion to recommend **APPROVAL** of the preliminary plan for Vista Village North and the final plat for Vista Village, 4th Plat located at the southeast corner of Prairie Star Parkway & Ridgeview Road for a commercial subdivision.

Moved by Commissioner Harber, seconded by Commissioner Wagner, and carried by a unanimous voice vote.

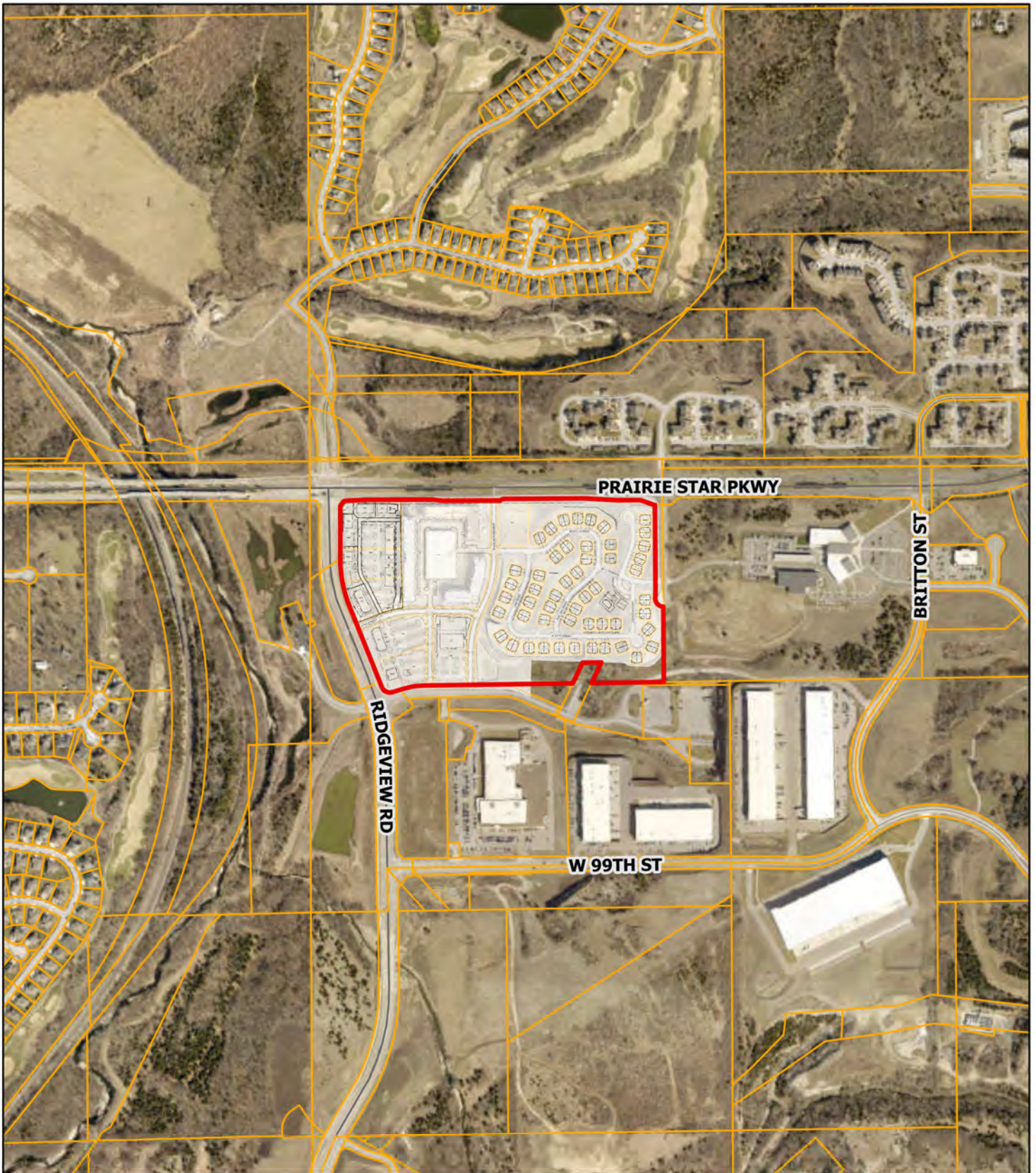
VISION / GUIDING PRINCIPLES ALIGNMENT:

Vision 2040
Inviting Places

Guiding Principles
Responsible Economic Development

ATTACHMENTS

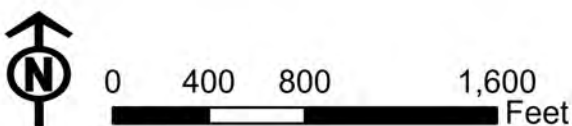
1. Map
2. Plat
3. PC Staff Report & Exhibits
4. PC Draft Minutes Excerpt



Document Path: L:\Planning\GIS\Council Map Template 2025.aprx

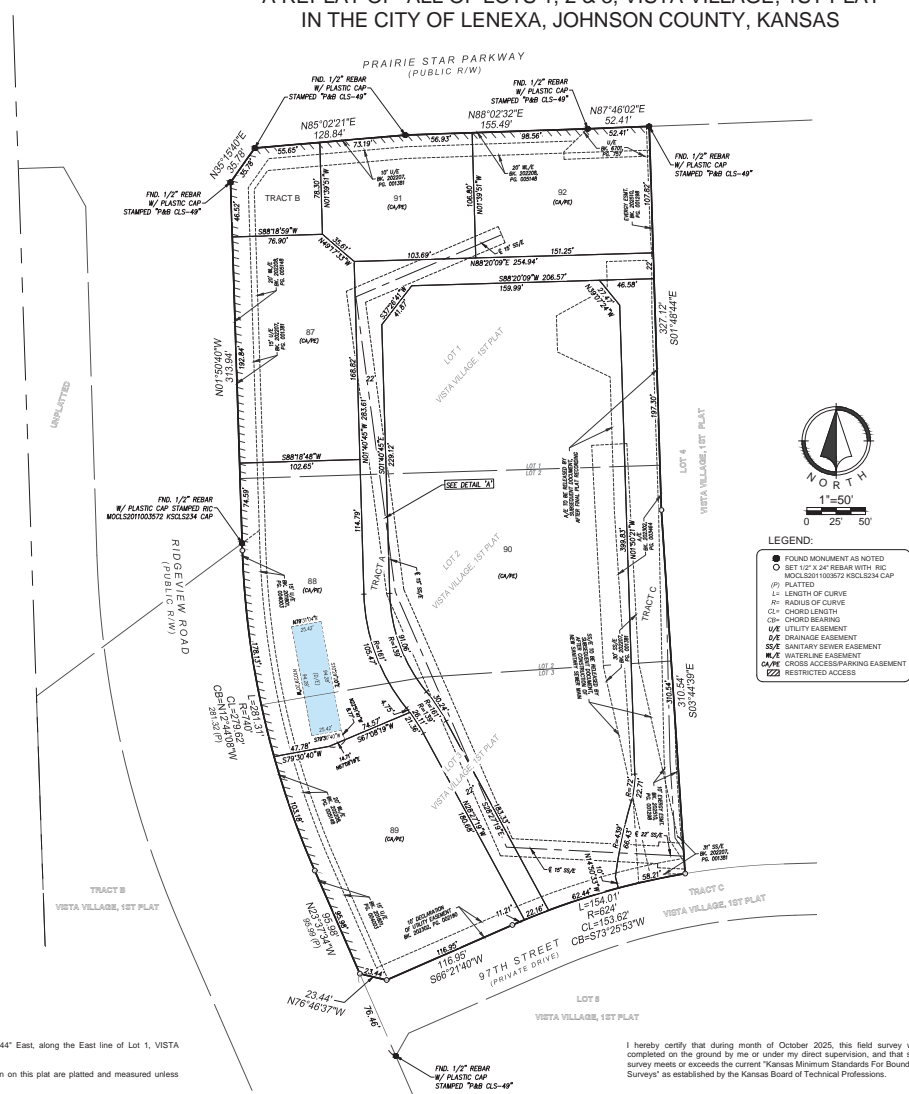
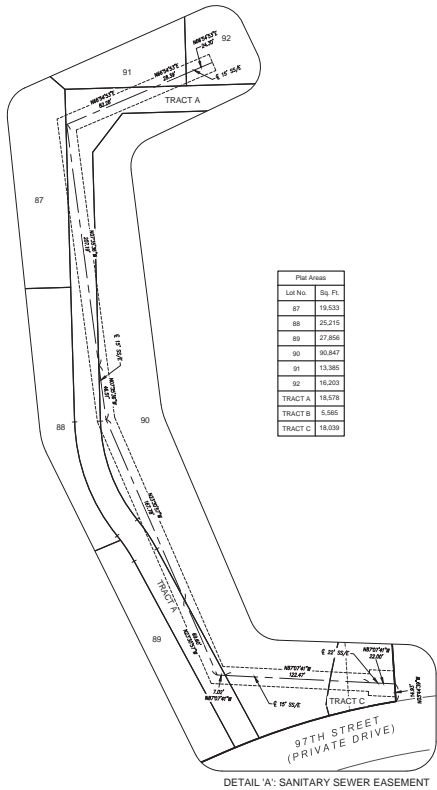
Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Vista Village



FINAL PLAT VISTA VILLAGE, 4TH PLAT

A REPLAT OF ALL OF LOTS 1, 2 & 3, VISTA VILLAGE, 1ST PLAT
IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS



DEDICATION
A Replat of All of Lots 1, 2, and 3, VISTA VILLAGE, 1ST PLAT, a subdivision in the City of Lenexa, Johnson County, Kansas, prepared by Wayne E. Malinco, Kansas PS-1239 on October 30, 2025, containing 235,220 square feet, or 5,400 acres, more or less.

DEDICATION
The undersigned proprietor of the above-described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat, which hereinafter shall be known as: "VISTA VILLAGE, 4TH PLAT"

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, pipes, inlets, manholes, surface drainage facilities and other similar facilities, upon, over and under those areas outlined and designated on this plat as "Drainage Easements" or "DE" is hereby granted to the City of Lenexa, Kansas. Drainage Easements shall remain free of fences, shrubs, and other obstacles that would restrict the flow of drainage. The City of Lenexa is under no duty or obligation to maintain or repair the stormwater drainage facilities placed within the limits of this easement, and in no event shall this easement be construed to impose any such obligation on the City of Lenexa.

The undersigned proprietor reserves unto itself, its grantees, agents, successors and assigns, a permanent easement for the purpose of locating, constructing and maintaining or authorizing the location, construction and maintenance of underground conduits for water, electricity, sewer and gas mains, or all or any of them under or upon all lots in this plat. The easement is designed to allow for the placement of a single man, if so warranted, for each of the aforesaid utilities to service all units in the building constructed on this plat. Said easement shall be in gross and shall be permanent in nature and duration, and the owner of any unit shall commit no act or omission that would preclude the making and maintenance of the aforesaid improvements.

An easement or license is hereby dedicated to the Water District No. 1 of Johnson County to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of waterlines, fire hydrants, valves and etc., upon, over and across those areas outlined and designated on this plat as "Waterline Easement" or "WLE".

A perpetual easement of access over, under, across, and upon the areas designed as "Cross Access/Parking Easement" or "CAPE" and Lots 87, 88, 89, 90 and 91 is hereby reserved to the undersigned proprietor, its heirs, assigns, etc., for ingress and egress of all owners and occupants of lots and parcels depicted on this plat, their guests and invitees. Owners and occupants of adjoining land to the North and South of the plat, as well as other properties within the development shall have the same right of ingress and egress as all owners and occupants of lots and parcels depicted on this plat. No obstacles or obstructions that would prohibit the flow of traffic shall be allowed to be constructed or maintained within said "Cross Access/Parking Easement".

An easement or license to lay, construct, maintain, alter, repair, replace and operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress and egress, over and through those areas designated as "Sanitary Sewer Easement" or "SSE" on this plat, together with the right of ingress and egress over and through adjoining land as well as reasonably necessary to access said easement and is hereby dedicated to Johnson County Wastewater or their assigns. Alteration of land contours, whether herein platted or by joining the subdivision in a later development phase, for improvements or planting of trees on said permanent right-of-way will be done at the risk of subsequent damage thereto without compensation thereof.

RESTRICTIONS
Tract A shall be owned and maintained by the Vista Village Business Association. The tract is intended to be used for ingress/egress, private drives, sidewalks, and/or Business Association Amenities. In the event the Business Association no longer exists or fails to maintain these tracts, then maintenance shall be the responsibility, shared equally, of the owners of property that are part of this subdivision, whether herein platted or by joining the subdivision in a later development phase.

Tract B shall be owned and maintained by the Vista Village Business Association. The tract is intended to be used for sidewalks, landscaping, and/or Business Association Amenities. In the event the Business Association no longer exists or fails to maintain these tracts, then maintenance shall be the responsibility, shared equally, of the owners of property that are part of this subdivision, whether herein platted or by joining the subdivision in a later development phase.

Tract C shall be owned and maintained by the Vista Village Business Association. The tract is intended to be used for ingress/egress, private drives, sidewalks, fire apparatus lane for the benefit of the owners in this subdivision as well as adjoining property owners, successors or assigns of Lot 4, VISTA VILLAGE, 1ST PLAT, and/or Business Association Amenities. In the event the Business Association no longer exists or fails to maintain these tracts, then maintenance shall be the responsibility, shared equally, of the owners of property that are part of this subdivision, whether herein platted or by joining the subdivision in a later development phase.

The use of all lots in this subdivision shall hereinafter be subject to the restrictions which will be executed as a separate instrument of writing and will be recorded in the Office of the Register of Deeds of Johnson County, Kansas, said restrictions will thereby be made a part of the dedication of this plat as though fully set forth herein.

EXECUTION
IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this _____ day of _____, 2025.

JAYHAWK RIDGE, LLC

Michael A. Christie, Manager

STATE OF KANSAS SS
COUNTY OF JOHNSON

BE IT REMEMBERED, that on this _____ day of _____, 2025, before me a Notary Public in and for said County and State, came Michael A. Christie, Manager of JAYHAWK RIDGE, LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said company, and he duly acknowledged the execution of the same to be the act and deed of said company.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

My Appointment Expires: _____
Notary Public: _____

APPROVALS
APPROVED by the Planning Commission of the City of Lenexa, Johnson County, Kansas, on this _____ day of _____, 2025.

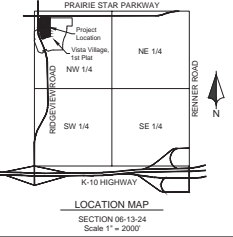
Chris Poss, Chairman

APPROVED by the Governing Body of the City of Lenexa, Johnson County, Kansas, on this _____ day of _____, 2025.

Attest: _____
Julie Sayers, Mayor Jennifer Martin, City Clerk

I hereby certify that during month of October 2025, this field survey was completed on the ground by me or under my direct supervision, and that said survey meets or exceeds the current "Kansas Minimum Standards for Boundary Surveys" as established by the Kansas Board of Technical Professions.

Wayne E. Malinco, Kansas PS-1239
RIC KS CLS-234
wmalinco@rc-consult.com



NOTES:
Basis of Bearings: South 01°48'44" East, along the East line of Lot 1, VISTA VILLAGE, 1ST PLAT.
All bearings and distances shown on this plat are platted and measured unless otherwise noted.
In approving this plat by the City of Lenexa and recording this plat with the Office of the Register of Deeds, restrictions and covenants, building lines and lot lines that lie within those parts of VISTA VILLAGE, 1ST PLAT being replatted, are hereby now vacated, except as shown on this plat.
1,995.80' (plat boundary distance) / 0.0090' (closing distance) = Unadjusted Error of Closure: 1 part in 221,525.56.
Flood Plain Note: According to the F.E.M.A. Flood Insurance Rate Map Number 20091C0066G, revised August 3, 2009, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.

VISTA VILLAGE, 4TH PLAT

Prepared For:
West Star Development
Camille Christie
10550 S. Warwick Street
Olathe, Kansas 66061
(913) 498-8000

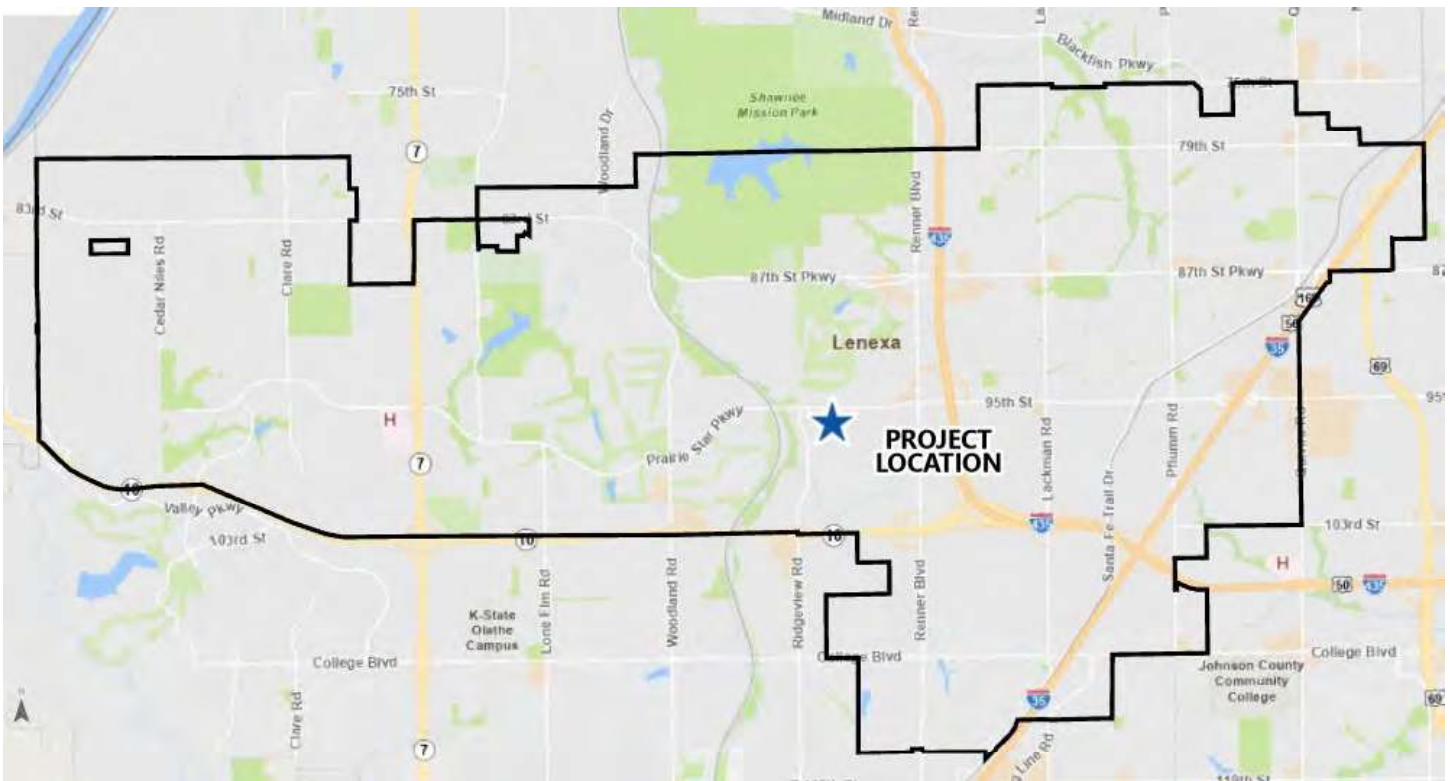
102 Abbe Avenue
Kansas City, Kansas 66103
913.317.9500
www.rii-consult.com

Date of Preparation: October, 2025 Revised: March, 2026

Certificates of Authorization:
Missouri CLS-2011003572; Kansas CLS-234

VISTA VILLAGE NORTH VISTA VILLAGE, 4TH PLAT

Project #:	PL26-01PR, PT26-01F	Location:	SEC of Prairie Star Parkway and Ridgeview Road
Applicant:	Chad Porter, RIC	Project Type:	Revised Preliminary Plan and Final Plat
Staff Planner:	Dave Dalecky	Proposed Use:	Mixed-Use



PROJECT SUMMARY

The applicant requests approval of a revised preliminary plan and final plat for Vista Village, a mixed-use development at the southeast corner of Prairie Star Parkway and Ridgeview Road. Vista Village is zoned PUD, Planned Unit Development, and contains duplex residential, multifamily, and commercial uses. The revisions to the preliminary plan are specifically for the retail area at the northwesterly corner of the project. The final plat is a 6 lot and 3 tract subdivision for the northwest quadrant of the project. This revised preliminary plan and final plat do not require a public hearing. The plat requires City acceptance of a drainage easement dedication.

STAFF RECOMMENDATION: APPROVAL

SITE INFORMATION

The Vista Village PUD is 48 acres in size and is located at the southeast corner of Prairie Star Parkway and Ridgeview Road. The site was rezoned to PUD in 2015. There have been several revisions to the original preliminary plan with the most recent approved in August 2022. The original plan was a mixed-use development with a substantial sport and play field and component. The plan consistently reflected a multifamily component and several restaurant and commercial buildings. Previous versions had included flex/business park buildings with self-storage.

TABLE 1: PREVIOUS APPLICATIONS

Project No.	Type	Name	Date Approved
RZ15-06 & PL15-08P	Rezoning & Pre Plan	Vista Village (originally Jayhawk Ridge)	August 2015
PL19-01PR	Revised Preliminary Plan	Vista Village (originally Jayhawk Ridge)	September 2019
PT20-04F	Final Plat	Jayhawk Ridge, 1 st Plat	May 4, 2020
PL20-07F	Final Plan	Vista Village, Retail Building 5	July 2020
PL21-05PR	Revised Preliminary Plan	Vista Village	January 2022
PL22-04F	Final Plan	Vista Village, Luxe Villas (originally Townhomes)	April 2022
PL22-02PR	Revised Preliminary Plan	Vista Village	August 2022
PT22-09F	Final Plat	Vista Village , 1 st Plat	May 3, 2022
PL22-16F	Final Plan	Vista Village, Alto Apartments	August 2022
PT23-01FR	Final Plat	Vista Village, 2 nd Plat	March 21, 2023
PL23-21F	Final Plan	Vista Village, KC Bier	November 2023
PL23-22F	Final Plan	Vista Village, Retail Building 6	November 2023
PL24-06F	Final Plan	Vista Village, Central Bank	May 6, 2024
PL24-08FR	Final Plan	Vista Village, Revised Design Guidelines	September 30, 2024
PL24-09FR	Final Plan	KC Bier Noise Deviation	November 4, 2024
PT24-01F	Final Plat	Vista Village, 3 rd Plat	January 8, 2024
PL25-08FR	Final Plan	Vista Village and Vista Ridge sign Deviation	August 24, 2025
PL25-15F	Final Plan	Luxe Residences Clubhouse	October 6, 2025

LAND AREA (AC)	DWELLING UNITS	CURRENT ZONING	COMP. PLAN
48	376	PUD	Mixed-Use
	SQUARE FEET		
	60,860		



Exhibit 1: Aerial image.

LAND USE REVIEW

Vista Village is a mixed-used project zoned PUD, Planned Unit Development. The site is at the southeast corner of Prairie Star Parkway and Ridgeview Road. Vista Village contains duplex residential, multifamily, restaurant and commercial uses. The duplexes are on the easterly part of the site. Several duplex buildings have been constructed. The plan shows 51 duplex buildings for a total of 102 duplex dwelling units. The duplexes are referred to as villas on the submitted plans and associated documents. The multifamily component is known as Alto Apartments. The apartment buildings are nearing completion of construction. The apartments include three buildings and a two-level parking structure. The Alto Apartments contain 274 dwelling units. Three retail buildings are currently under construction. The retail buildings include KC Bier, a two-story restaurant and two one-story multitenant buildings. The proposed plan shows seven buildings to be constructed at the northwesterly quadrant of the project. Future tenants are anticipated to be the types of uses that are typically allowed in the CP-O, Planned General Office, CP-1, Planned Neighborhood Commercial, and CP-2, Planned Community Commercial Zoning Districts. Other uses, which are permitted by special use permit in these districts, may also be permitted by approval of an SUP.



TABLE 2: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Classification	Zoning	Current Use
Subject Property	Mixed-Use	PUD, Planned Unit Development District	Duplex, Multifamily Restaurant, Retail, and Undeveloped land
North	Suburban Density Residential and High-Density Residential	AG, Agricultural District, RP-3, Planned Residential (Medium-High) Density District, and RP-4, Planned Residential (High-Density) District	Multifamily and Undeveloped land
South	Business Park	BP-2, Planned Manufacturing District	Lab, analytical/experimental and Office
East	Institutional	CP-O, Planned Office District	Civic
West	Public/Open Space	AG, Agricultural	Park

PRELIMINARY PLAN REVIEW

The 48-acre site is located at the southeast corner of Prairie Star Parkway and Ridgeview Road. The Vista Village project contains duplex residential dwelling units, multifamily dwelling units, and restaurant/retail uses. The part of the project that is the subject of the revised plan is the northwesterly quadrant of the development. The revised plan shows 7 buildings in this area; the current plan shows 3 buildings. The cumulative floor area for the 7 buildings is 34,960 SF. The cumulative area of the 3 buildings shown on the approved plan is 18,800 SF.

The buildings along Ridgeview Road are positioned in the same locations as previously shown, and additional buildings are located along the Prairie Star Parkway frontage and internally of the site, where parking areas are currently shown on the approved plan. The proposed plan creates a “U” shape configuration of the buildings wrapping around a parking field with small parking areas between buildings. The duplexes, multifamily buildings, and the three commercial buildings at the southwesterly quadrant of the site remain the same as they are currently approved.



Exhibit 2: Current Preliminary Plan (PL22-02PR)

Proposed Preliminary Plan

The buildings are oriented to be in close proximity with each other for parking to be shared among all the commercial and restaurant buildings. The duplex and multifamily components provide parking for their residents within their portion of the overall project. The Alto Apartments has a controlled access parking structure and surface parking along the buildings. Each duplex has a two-stall garage and two parking spaces in the driveway of each dwelling unit. Parking areas of four and five spaces are provided along the private drives of the duplex component of the project.

The project includes a site amenity feature at the immediate intersection of Prairie Star Parkway and Ridgeview Road, two arterial streets. The amenity is intended to be of a character and scale that defines the corner of the project and convey a sense of importance. The amenity feature may be an extension of one or both buildings at this corner. The concept of the amenity feature was introduced as an alternative to the multistory building that was originally envisioned at this intersection. The original plan for the project showed a multistory mixed-use building at the intersection extending along both street frontages. The building established a presence outward toward the street and internally to the project. The building established a framework for a grand scale of well-coordinated buildings and multiple site features throughout the project. As revisions to the project were made to the preliminary plan, the concept of a grand element at the intersection remained a constant defining feature. A condition of approval for a previous preliminary plan (PL22-02PR) requires that the amenity feature be constructed with the closest retail building at this intersection. The proposed plan now shows two buildings at this intersection, one along Prairie Star Parkway and one along Ridgeview Road. It is staff’s preference that the

amenity feature be integrated with both buildings that would be on either side of the amenity. The development of the amenity feature should be coordinated with either building, whichever is the first to proceed with a final plan submittal.



Exhibit 3: Site plan of northwest quadrant of Vista Village with project amenity location.

DIMENSIONAL STANDARDS

The PUD Zoning District intends for the project to be designed with a high degree of coordination among the lots, buildings, and open spaces. The plan may or may not include a mix of uses but is to apply design principles which allows for alternatives to the standards that would otherwise apply to the project. A PUD may be approved with an alternative dimension of the minimum setbacks, lot area, and landscaping, provided the plan satisfies design goals per [Section 4-1-B-20](#) of the Unified Development Code (UDC). A deviation is not required for these types of alternatives.

The project is a mixed-use PUD with both residential and retail located adjacent to each other. The project is designed for these uses to be integrated in this manner of for the activities and the experience to be integrated. Features such as Land Use Intensity landscape buffers and minimum building setbacks are not provided in the same manner as would otherwise be provided for development elsewhere in the City. A deviation is not required for the alternative design.

PUBLIC IMPROVEMENTS

The peripheral public streets, Prairie Star Parkway on the north, Vahalla Street on the east, 98th Street on the south, and Ridgeview Road on the west, are constructed and new turn lanes and drive access locations are all constructed for access to the site. All internal drives and sidewalks are private. The construction and maintenance of the private drives and sidewalks are the responsibility of the developer.

ACCESS, TRAFFIC, AND PARKING

The site has four points of access from the surrounding streets. One point of access on each of the four streets around the project. The site has a natural division of components by grade change and internal circulation. The east half of the site is the duplex residential component. Meandering drives provide access to each building. A north-south drive (Ambassador Drive) defines the duplex component and the multifamily and commercial components. This drive is also at a part of the site where a grade change is managed with a series of retaining walls. The grade descends from the northeast to the southwest with an overall grade differential between 90 to 100 feet. An east-west drive (97th Street) provides access from Ridgeview Road from the west to Ambassador Drive on the east. This drive also defines the north and south commercial components of the project.

A PUD requires a continuous pedestrian system with a minimum 10-foot-wide sidewalk. The project provides this central sidewalk connection along the east-west drive through the west side of the project. A ten-foot sidewalk is also provided along most of the commercial buildings. The sidewalk is centrally located and provides access to each of the components of the project. Secondary sidewalks are provided throughout the project connecting the duplexes and apartments to the commercial areas and to the surrounding public streets.

The access and circulation of the project had been established with previous and ongoing development of the different subcomponents. The internal drives and retaining walls were the first features to be constructed on the site. The multifamily component (Alto Apartments) were the first buildings constructed and a restaurant (KC Bier) on the southwest part of the site was the second. Several duplex buildings are now under construction or nearly completed on the east part of the project. The circulation network is consistent with a project of this scale and will adequately serve all of the different components of the project.

A PUD must meet the minimum parking requirements per the UDC or be granted a deviation for reducing parking. The revisions to the preliminary plan have evolved where the overall parking count has changed. The versions of the plan fluctuated the balance of uses and generally met the minimum parking requirement for the proposed uses. The multifamily component was approved with a reduction for the number of required parking spaces. The parking reduction approved for the apartments is a reduction from 496 to 432 parking spaces.

The proposed configuration reduces the overall number of parking spaces available for the different uses. The duplexes and the multifamily residential components are designed to provide parking for the residents. The parking for the retail is intended to be shared among each of the lots and for the needs for each use (or business) to be compensated for among all of the uses as demand ebbs and flows from daytime peak (typically retail uses) to evening peak (typically restaurants). The total for the overall project results in 7 fewer parking spaces than is required per the parking table in [Section 4-1-D-1-C](#) of the UDC. Staff concludes the cumulative number of parking spaces is reasonable for a large mixed-use development such as this where demand will vary among the different uses.

TABLE 3: PARKING ANALYSIS

Use	Requirement	Required	Provided	Difference
Multifamily	1 space per efficiency unit, 1.5 spaces per 1-bedroom unit 1.75 spaces per 2-bedroom unit, 2 spaces per 3+-bedroom units and; 0.25 spaces per unit for visitor parking if parking spaces are located in common parking area	496	432	-64
Duplex	2 spaces per dwelling unit	204	230	+26
Restaurant	1 space per 75 square feet	370	534	+31
Retail	1 space per 250 square feet	133		
TOTAL		1203	1196	-7

STORMWATER

Stormwater management is consistent with the approved plan for the overall project. It consists of both existing infrastructure previously built, along with a new infiltration basin beneath the parking lot.

FIRE PREVENTION

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. The part of the project that is the subject of this revised plan includes a required fire access easement that provides access for one of the three apartment buildings. This drive shall remain open and accessible for fire and life safety vehicles in perpetuity. The plan shows this drive remains and allows for through-vehicle circulation through the “U” shaped group of commercial buildings.

All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal.

LIGHTING

The project will have lighting for parking areas and for the internal drives for each component of the project. The lighting fixtures will be consistent style fixtures for each lot and parking area. Multiple lots have submitted building permit applications showing the lighting design for the site. Lots that will include a section of the central sidewalk and other amenity features of the project will include pedestrian lighting fixtures. These fixtures are either a bollard or small light fixture to illuminate a sidewalk or will strategically illuminate a feature of the site. Sidewalks and stairs between the retaining walls have pedestrian lighting to illuminate the stairs. These are fixtures close to the ground and are designed specifically for focused illumination of the immediate area next to the fixture. The installation of consistent decorative and pedestrian scale lighting is anticipated for the project amenity at the corner of Prairie Star Parkway and Ridgeview Road. Site lighting and photometric analysis is submitted with final plans for each site of the overall project. Site and exterior lighting on private development is subject to [Section 4-1-C-4-I](#) of the UDC.

ARCHITECTURE

Design guidelines are provided for the project to establish the architectural character of the buildings. The guidelines list preferred materials for the buildings and list prohibited materials. All buildings will incorporate a contemporary style with an emphasis of brick and stone materials, and will use metal, wood, and EIFS for accents. Several of the buildings in this northwest quadrant of the project will have a façade visible from Prairie Star Parkway or Ridgeview Road. This façade will be the side of the buildings without the main public entrance. It is the expectation that these facades are finished to the same level of detail as the front (façade with the entrance). The building design will be reviewed in greater detail with the review of a final plan for each building. The preliminary design concepts are acceptable for this stage of review and approval of the project.



Exhibit 4: Renderings of restaurant and retail buildings.

LANDSCAPING

The landscape plan shows the proposed landscaping for the northwest quadrant of the project. The other components are either under construction or an approved final plan for the site. The plan shows the required landscaping along the property boundaries, around the buildings, and in the parking areas. The PUD Zoning District allows for flexibility of the landscape requirements between the different uses of the PUD than would be required with traditional zoning designations. The project is designed as a more compact development and more of an urban character. The buildings are closer together with less setbacks between buildings and pavement and property lines, which results in less space for lawn and landscaping.

A row of shade trees are provided along the east side of the site between the commercial buildings and an apartment building. A Land Use Intensity buffer would typically be required between two uses which have a different intensity level. The PUD allows for integration of the different uses and closer placement of the buildings within the overall project. The buildings have an access drive with shrubs on one side and the row of shade trees on the other side.

The landscape islands throughout the site will have shade trees and shrubs installed in the islands. Sidewalks will be installed in some of the islands which may restrict the space to install landscaping. Some islands may only have shrubs as a result of the size in the island. The landscape plan for each building and lot will be reviewed in greater detail with a final plan submittal.

The plan shows all of the required street trees for the northwest quadrant of the project to be installed in the right-of-way between the curb of the street and the public sidewalk. Per [Section 4-1-D-2-L](#) of the UDC, all required perimeter landscaping shall be installed on the private property, not in public right-of-way. Underground utilities are shown on the plan just along the interior side of the property lines, which may impact the ability to install trees in the immediate vicinity of the utilities. Trees may be installed directly over the property line or possibly just beyond the property line if adequate space is available to be clear of disrupting the public infrastructure. Any landscape plan submitted with a final plan for a site within the project shall show the landscaping within the private property.



Exhibit 5: Landscape plan.

SIGNS

The site has a sign criteria approved for all signs throughout the project. The commercial buildings are expected to have signs to identify each tenant. Façade signs are to be modern style channel letter signs.

A sign deviation (PL25-08FR) was approved for both Vista Village and Vista Ridge. The signs for both projects use consistent brand and imagery. The sign deviation allowed for an additional monument sign, an increase to the size of some of the signs, and for additional tenant name listing. All signs will require review and approval of a separate sign permit application.

DEVIATIONS

The applicant is not requesting any deviations from the UDC.

FINAL PLAT REVIEW

The final plat is for the northwest quadrant of the project. This a replat of part of Vista Village, 1st Plat. The plat contains 6 lots and 3 tracts. The lots are configured for a series of outparcels along the perimeter of the site and one lot internal to the site. Two of the tracts form a “U” shaped access drive through the site, providing access to each lot. The third tract is for the amenity feature at the intersection of Prairie Star Parkway and Ridgeview Road. All lots within the plat have a CA/PE (Cross Access/Parking Easement) for shared parking among all of the commercial lots in the project. The plat includes one new easement dedication for a drainage easement for an underground stormwater detention feature.



DESCRIPTION
 A Replat of All of Lots 1, 2, and 3, VISTA VILLAGE, 1ST PLAT is a subdivision in the City of Lenexa, Johnson County, Kansas, prepared by Wayne E. Mitchell, Kansas FLS 128 on October 20, 2025, containing 655,220-square feet, of 5,400 acres, more or less.

DEDICATION
 The underground portion of the above-described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat, which hereinafter shall be known as:

"VISTA VILLAGE, 4TH PLAT"

An assessment of former or actual owner, donee, contractor will maintain or substitute the location, construction or maintenance any use of conduits, pipes, lines, manholes, surface drainage facilities and other similar facilities, catch, over and under those areas outlined and designated on this plat as "Drainage Easement" or "DE" is hereby granted to the City of Lenexa, Kansas. Drainage Easements shall remain free of encumbrance, and other encumbrance that would restrict the flow of drainage. The City of Lenexa is under no duty or obligation to maintain or repair the aforesaid drainage facilities placed within the limits of this easement, and it is agreed that the easement be construed to include any such obligation on the City of Lenexa.

The undersigned proponent reserves unto itself, its parties, agents, successors and assigns, a permanent easement for the purpose of locating, constructing and maintaining or substituting the location, construction and maintenance of underground conduits for water, electricity, sewer and gas mains, or all or any of them under or over all lots in this plat. The easement is designated for the placement of a single main, if so indicated, for each of the aforesaid utilities to service all lots in the building constructed on the plat. Said easement shall be in gross and shall be permanent in nature and duration, and the terms of any land shall control the use or amount that will preclude the making and maintenance of the aforesaid easement.

An assessment of former or actual owner, donee, contractor will maintain or substitute the location, construction or maintenance and use of waterlines, fire hydrants, sewer and gas, upon over and under those areas outlined and designated on this plat as "Utilities Easement" or "UE".

A permanent easement of access over, under, across, and upon the areas designated as "Cross Access/Parking Easement" or "CA/PE" and Lots 87, 88, 89, 90 and 91 is hereby reserved to the undersigned proponent, its heirs, assigns, etc., for himself and assigns of all persons and occupants of lots and parcels depicted on this plat, their guests and invitees. Owners and occupants of adjoining land to the north and south of the plat, as well as other proximate within the development shall have the same right of ingress and egress as all persons and occupants of lots and parcels depicted on this plat. No obstacles or obstructions that would prohibit the free flow of traffic shall be allowed to be constructed or maintained within said "Cross Access/Parking Easement".

An assessment of former or actual owner, donee, contractor will maintain or substitute the location, construction or maintenance of any use of conduits, pipes, lines and all appurtenances connected for the collection of surface sewage, together with the right of flow and egress, over and through those areas designated as "Sanitary Sewer Easement" or "SSE" on this plat, together with the right of ingress and egress over and through adjoining lands as may be reasonably necessary to access said easement and is hereby dedicated to Johnson County Maintenance or their designee. Alteration of land contours will be permitted only with the express written approval of JCW. Any blocking or improvements or planting of trees or said permanent right-of-way will be done at the risk of substantial damage being done without compensation therefor.

Exhibit 6: Vista Village, 4th Plat Final Plat

TABLE 4: TRACT PURPOSES	
Tract	Purpose
A	access easement, private drives, sidewalks, and business association amenities
B	sidewalks, landscaping, and business association amenities
C	access easement, private drives, sidewalks, and fire apparatus access lane

- Tracts A, B, and C shall be owned and maintained by the Developer/Business Association
- Tract C shall remain a fire apparatus access lane on east side of the plat

TABLE 5: PLAT DEDICATIONS	
Type of Dedication	Dedicated to
Drainage Easement	City of Lenexa

REVIEW PROCESS

- The project requires a recommendation from the Planning Commission and approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration by the City Council on Tuesday, April 21, 2026.
- Final plan(s) must be approved by the Planning Commission.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant must obtain a Certificate of Occupancy before opening for business.
- The applicant must obtain a Business License prior to opening for business.
- The applicant should inquire about additional City requirements, such as permits and development fees.

RECOMMENDATION FROM PROFESSIONAL STAFF

- ★ **Staff recommends approval of the proposed Revised Preliminary Plan for Vista Village North and for the final plat for Vista Village, 4th Plat.**
 - The revised preliminary plan and the final plat will allow the development of a mixed-use project with specific changes to the commercial area in the northwest corner of the project.
 - The project is consistent with Lenexa’s goals through ***Responsible Economic Development*** to create ***Inviting Places***.

REVISED PRELIMINARY PLAN

Staff recommends **APPROVAL** of the revised preliminary plan for PL26-01PR – **Vista Village North** located at the southeast corner of Prairie Star Parkway and Ridgeview Road, for a mixed-use development with the following condition:

1. Prior to, or concurrent with, submittal of a final plan for one of the two buildings (whichever is submitted for plan approval first) at the northwesternmost corner of the site, shown as buildings C & D on the site plan, shall include the corner amenity feature. This amenity feature shall be constructed and completed prior to the issuance of a Certificate of Occupancy for the associated building.

FINAL PLAT

Staff recommends **APPROVAL** of the final plat for PPT26-01F – **Vista Village, 4th Plat** located at the southeast corner of Prairie Star Parkway and Ridgeview Road for a commercial subdivision.

Vista Village North

Lenexa, Kansas

Section 6, Township 13S, Range 24E

Preliminary Development Plans

LEGEND

— Existing Section Line	— Proposed Right-of-Way
- - - Existing Right-of-Way Line	— Proposed Property Line
— Existing Lot Line	— Proposed Lot Line
- - - Existing Easement Line	— Proposed Easement
— Existing Curb & Gutter	— Proposed Curb & Gutter
— Existing Sidewalk	— Proposed Sidewalk
— Existing Storm Sewer	— Proposed Storm Sewer
□ Existing Storm Structure	□ Proposed Storm Structure
— Existing Waterline	▲ Proposed Fire Hydrant
— Existing Gas Main	— Proposed Waterline
— Existing Sanitary Sewer	— Proposed Sanitary Sewer
● Existing Sanitary Manhole	● Proposed Sanitary Manhole
- - - Existing Contour Major	— Proposed Contour Major
- - - Existing Contour Minor	— Proposed Contour Minor
— Future Curb and Gutter	
u/e Utility Easement	u/e Access Easement
ss/e Sanitary Sewer Easement	u/e Temporary Easement
d/e Drainage Easement	

Legal Description:

All of Lots 1, 2, and 3 of Vista Village, A Subdivision of Land in Lenexa, Johnson County, Kansas

FLOOD PLAIN NOTE

According to the FEMA Flood Insurance Rate Map Number 20091C0049G, revised August 2, 2009, portions of this tract lie in: OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain, OTHER FLOOD AREAS, ZONE X (Future Base Flood), defined as areas of 1% annual chance flood based on future conditions hydrology.

UTILITY CONTACT INFORMATION

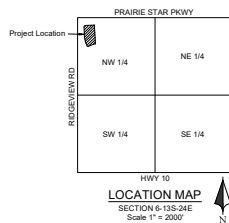
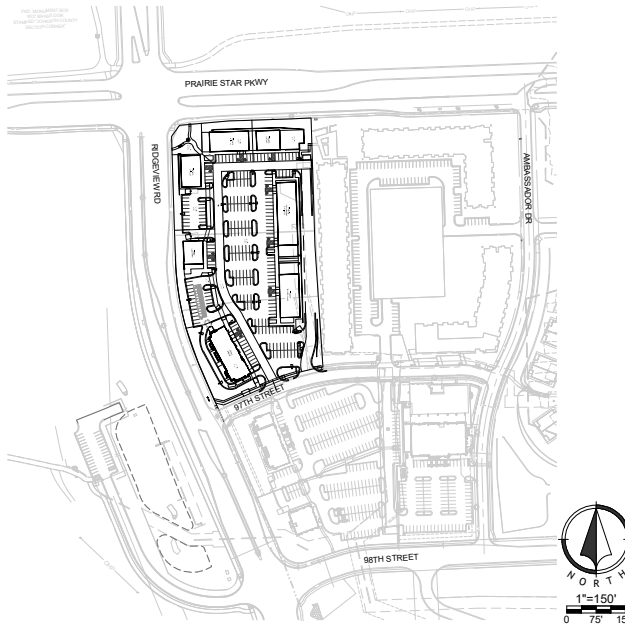
Evergy (Kansas City Power and Light) 16215 West 108th Street Lenexa, Kansas 6219 Phone: 913.681.7420 Fax: 913.894.3086	City of Lenexa 17101 West 87th Street Parkway Lenexa, Kansas 66219 Phone: 913.477.7500	Johnson County Wastewater 11811 South Sunset Drive Suite 2500 Olathe, Kansas 66061 Phone: 913.715.8500 Fax: 913.715.8501 Inspections: 913.715.8520
Kansas Gas Service 11401 West 89th Street Overland Park, Kansas 66214 Phone: 913.599.8991 Fax: 913.599.8989	Water District #1 of Johnson County 10747 Renner Boulevard Lenexa, Kansas 66219 Phone: 913.895.1827 Fax: 913.895.1827	Surewest Communications 9701 Lackman Road Overland Park, Kansas 66219 Attn: Tom Reaves Phone: 913.322.9631 Fax: 913.541.8716 tomreaves@surewest.com
Waterone 10747 Renner Boulevard Lenexa, Kansas 66219 Attn: Jan Hardie Phone: 913.895.5775 Fax: 913.895.1827 jhardie@waterone.org	Time Warner Cable P.O. Box 25567 Overland Park, Kansas 66225 Attn: Steve Baxter Phone: 913.451.5858 Fax: 913.451.7652 steve.baxter@twcable.com	



PREPARED FOR:
Jayhawk Ridge, LLC
10550 S. Warwick St.
Olathe, Kansas 66061
(913) 498-8000

ENGINEER
Renaissance Infrastructure Consulting, Inc.
Contact Chip Corcoran
8653 Penrose Lane
Lenexa, KS 66219
913-317-9500
ccorcoran@ric-consult.com

SURVEYOR
Renaissance Infrastructure Consulting, Inc.
132 Abbie Avenue
Kansas City, KS 66103
913-317-9500



Sheet Number	Sheet Title
C01	Title Sheet
C02	Existing Conditions
C03	Overall Site Plan
C04	General Layout
C05	Truck Maneuver
C06	Grading Plan
C07	Utility Plan
C08	BMP Plan
C09	ADA Details
C10	Photometric Plan
L01	Landscape Plan
L02	Landscape Enlargement Plan
L03	Landscape Enlargement Plan
L04	Landscape Enlargement Plan
L05	Landscape Enlargement Plan
L06	Landscape Enlargement Plan
L07	Landscape Details
L08	Site Section Cuts

Preliminary Development Plans

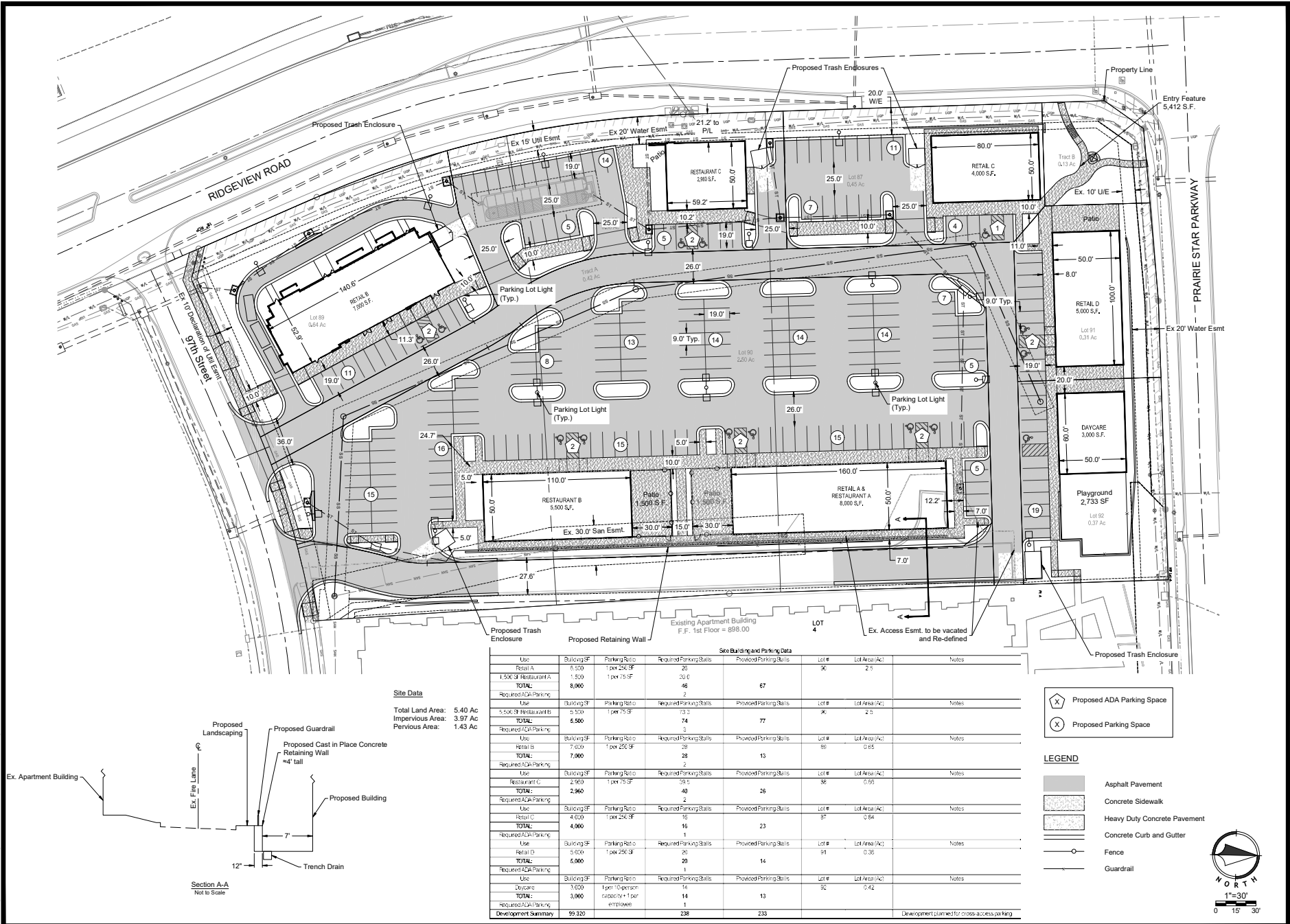
24-0168
Vista Village North
Lenexa, Kansas

Title Sheet

1 03/23/20 24-0168
NO. DATE REVISION
DRAWN BY: GM CHECKED BY: CP
Renaissance Infrastructure Consulting
8653 Penrose Lane
Lenexa, Kansas 66219
www.ri-consult.com
913.317.9500
KS Certificate of Authority: E-1814

Sheet
C01

The information concerning locations of underground utilities shown herein which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.



Site Data
Total Land Area: 5.40 Ac
Impervious Area: 3.97 Ac
PerVIOUS Area: 1.43 Ac

Use	Building SF	Parking Ratio	Required Parking Spots	Proposed Parking Spots	Lot #	Lot Area (Ac)	Notes
Retail A	6,500	1 per 250 SF	26			2.5	
1,500 SF Restaurant A	1,500	1 per 150 SF	10				
TOTAL	8,000		36	67	36	2.5	
Required ADA Parking			2				
Use	Building SF	Parking Ratio	Required Parking Spots	Proposed Parking Spots	Lot #	Lot Area (Ac)	Notes
5,500 SF Restaurant B	5,500	1 per 150 SF	37			2.5	
TOTAL	5,500		74	77	36	2.5	
Required ADA Parking			5				
Use	Building SF	Parking Ratio	Required Parking Spots	Proposed Parking Spots	Lot #	Lot Area (Ac)	Notes
Retail B	7,000	1 per 250 SF	28			0.65	
TOTAL	7,000		28	13	88	0.65	
Required ADA Parking			2				
Use	Building SF	Parking Ratio	Required Parking Spots	Proposed Parking Spots	Lot #	Lot Area (Ac)	Notes
Restaurant C	2,900	1 per 150 SF	19			0.50	
TOTAL	2,900		40	26	38	0.50	
Required ADA Parking			2				
Use	Building SF	Parking Ratio	Required Parking Spots	Proposed Parking Spots	Lot #	Lot Area (Ac)	Notes
Retail D	4,000	1 per 250 SF	16			0.64	
TOTAL	4,000		16	23	87	0.64	
Required ADA Parking			1				
Use	Building SF	Parking Ratio	Required Parking Spots	Proposed Parking Spots	Lot #	Lot Area (Ac)	Notes
Retail D	5,000	1 per 250 SF	20			0.35	
TOTAL	5,000		20	14	91	0.35	
Required ADA Parking			1				
Use	Building SF	Parking Ratio	Required Parking Spots	Proposed Parking Spots	Lot #	Lot Area (Ac)	Notes
Daycare	3,000	1 per 100 person capacity + 1 per employee	14			0.42	
TOTAL	3,000		14	13	92	0.42	
Required ADA Parking			1				
Development Summary	99,320		238	233			Development planned for cross-access parking

- (X) Proposed ADA Parking Space
- (O) Proposed Parking Space

- LEGEND**
- Asphalt Pavement
 - Concrete Sidewalk
 - Heavy Duty Concrete Pavement
 - Concrete Curb and Gutter
 - Fence
 - Guardrail



Section A-A
Not to Scale

03/26/2024
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 9/10/2024 11:22 AM
 Miller, G.

LENEXA LANDSCAPE CALCULATIONS

Street Trees (Per UDC 4-1-D-2-J)
 Required: 1 tree / 40' required along right-of-way of public or private street frontage, excluding arterial and minor arterial streets where perimeter landscaping is required
 Provided: N/A

Site Trees (Per UDC 4-1-D-2-K)
 Applicability: Single Family and Duplex Lots
 Required: 2 deciduous trees / single-family or duplex lot
 Provided: N/A

Perimeter Plantings Along Street Frontages (Per UDC 4-1-D-2-L)
 Required:
 Adj. to Local = 2 shade trees + 12 shrubs / 100'; 20' depth
 Adj. to Arterial & Collector = 2 shade, 1 ornamental, 12 shrubs, + 75 sf bed / 100'; 25' depth
 Adj. to Freeway = 1 shade, 3 evergreen, + 12 shrubs / 100'; 100' depth
 Adj. to Parkway = 2 shade, 3 ornamental, 25 shrubs, + 200 sf bed / 100'; 50' depth
 Provided:
 Prairie Star Parkway (parkway):
 Tract B: 73 LF = 1 Shade, 2 Ornamental, 18 Shrubs, 203 SF plant bed
 Lot 91: 130 LF = 3 Shade, 4 Ornamental, 33 Shrubs, 260 SF plant bed
 Lot 92: 151 LF = 3 Shade, 5 Ornamental, 38 Shrubs, 302 SF plant bed
 Ridgeview Road (arterial):
 Tract B: 82 LF = 2 Shade, 1 Ornamental, 10 Shrubs, 62 SF plant bed
 Lot 87: 193 LF = 4 Shade, 2 Ornamental, 23 Shrubs, 145 SF plant bed
 Lot 88: 270 LF = 5 Shade, 3 Ornamental, 32 Shrubs, 203 SF plant bed
 Lot 89: 202 LF = 4 Shade, 2 Ornamental, 24 Shrubs, 152 SF plant bed
 97th Street (local):
 Lot 89: 135 LF = 3 Shade, 16 Shrubs
 Lot 90: 68 LF = 1 Shade, 8 Shrubs

Internal Parking Lot (Per UDC 4-1-D-2-M)
 Required:
 7.5% internal landscaping for office and commercial sites
 1 tree / 300 sf of overall internal landscaped area, with at least 1 tree / island
 Provided:
 Lot 87: 9,693 SF * .075 = 727 SF landscaped area
 727 SF / 300 SF = 2 Trees
 Lot 88: 13,356 SF * .075 = 1,002 SF landscaped area
 1,002 SF / 300 SF = 3 Trees
 Lot 89: 7,702 SF * .075 = 578 SF landscaped area
 578 SF / 300 SF = 2 Trees
 Lot 90: 82,777 SF * .075 = 6,208 SF landscaped area
 6,208 SF / 300 SF = 20 Trees
 Lot 91: 2,362 SF * .075 = 177 SF landscaped area
 177 SF / 300 SF = 1 Tree
 Lot 92: 2,558 SF * .075 = 192 SF landscaped area
 192 SF / 300 SF = 1 Tree
 *Satisfied with additional trees located on Lot 90

Land Use Buffers (Per UDC 4-1-D-2-N)
 Required: For LUI diff of 1:1 shade tree, 2 evergreen, 10 shrubs / 100'
 Provided:
 East Prop Line: 637 LF = 6 Shade, 13 Evergreen, 64 Shrubs

Perimeter Plantings Along Lot Lines (Per UDC 4-1-D-2-L)
 Required:
 Adj. to Building = 1 shade tree / 100'
 Adj. to Parking Lot = 1 shade tree + 9 shrubs / 100'
 Adj. to Service Area = As above + evergreen trees & shrubs to form complete visual screen
 Provided:
 East Prop Line: 637 LF = 6 Shade Trees, 57 Shrubs
 + evergreen trees & shrubs to form complete visual screen

Landscaping of Monument Signs (Per UDC 4-1-D-2-O)
 Required: An area equal to 3x the combined total area of the face of the sign and monument base; 1 shade tree / 500 sf required landscaped area; 1 ornamental tree / 200 sf required landscaped area; 2 shrubs / 20 sf required landscaped area
 Provided: N/A

Site Feature Buffering and Screening (Per UDC 4-1-D-2-P)
 Required: Trash, outdoor storage, service and loading areas, ground-mounted utilities, meters and mechanical equipment to be screened from public view
 Provided: As Required

PLANT SCHEDULE

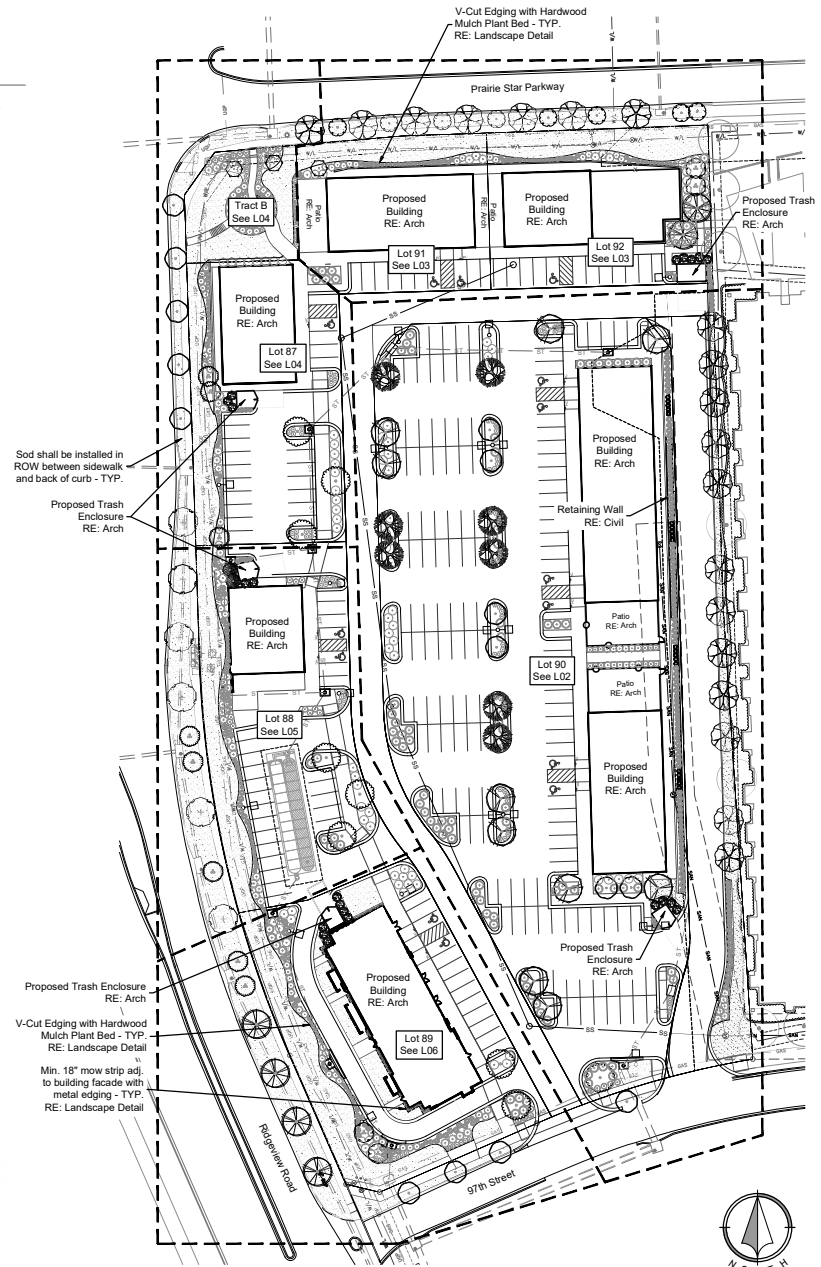
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	GT	Gleditsia triacanthos Inermis 'Skyline' / Skyline Honey Locust	2" Cal.	B&B	6
	NW	Nyssa sylvatica 'Wildfire' / Wildfire Tupelo	2" Cal.	B&B	9
	OB	Quercus bicolor / Swamp White Oak	2" Cal.	B&B	19
	ORR	Quercus robur 'Regal Prince' / Regal Prince English Oak	B&B	2.5" Cal.	15
	OS	Quercus shumardii / Shumard Oak	2" Cal.	B&B	6
	UA	Ulmus americana 'Jefferson' / Jefferson American Elm	2" Cal.	B&B	10
	ZS	Zelkova serrata 'Green Vase' / Green Vase Japanese Zelkova	2" Cal.	B&B	8
EVERGREEN TREES					
	JP	Juniperus chinensis 'Perfecta' / Perfecta Juniper	5' Ht.	B&B	21
	JV	Juniperus virginiana 'Hillspire' / Hillspire Juniper	5' Ht.	B&B	2
	JT	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	5' Ht.	B&B	20
ORNAMENTAL TREES					
	AC	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	6' Ht.	B&B - Multi-Stem	8
	CC	Cercis canadensis / Eastern Redbud Multi-trunk	6' Ht.	B&B - Multi-Stem	4
	MR	Malus x 'Royal Raindrops' / Royal Raindrops Crabapple	6' Ht.	B&B	8
	MS	Malus x 'Spring Snow' / Spring Snow Crabapple	2" Cal.	B&B	3
SHRUBS					
	AMU	Aronia melanocarpa 'UCONNAM185' / Low Scope Mound Black Chokeberry	3 Gal.		38
	BPH	Hydrangea paniculata 'LVOBO' / Bobo Panicle Hydrangea	3 Gal.		59
	HA	Hydrangea quercifolia 'Alice' / Alice Oakleaf Hydrangea	3 Gal.		34
	HFS	Hypericum frondosum 'Sunburst' / Sunburst Hypericum	3 Gal.		86
	GLS	Rhus aromatica 'Gro-Low' / Gro-Low Sumac	18" Ht.		58
EVERGREEN SHRUBS					
	JCG	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.		53
	JCS	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal.		58
	JSS	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	5' Ht. Min.	B&B	72
	GOJ	Juniperus virginiana 'Grey Owl' / Grey Owl Eastern Redcedar	18" Ht.		96
	TMD	Taxus x media 'Deniformis' / Dense Yew	5 Gal.		28
GRASSES					
	CAK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 Gal.	Cont.	132
	MSM	Miscanthus sinensis 'Morning Light' / Morning Light Eulalia Grass	18" Ht.	Pot	115
	PS	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	3 Gal.		57
SHRUB AREAS					
	SA	Seasonal Annuals / Species/Size Varies	4" min.	Pot	34
GROUND COVERS					
	AGM	Aggregate Mulch; / 1"-2.5" Buffalo River Rock		MULCH	
	TGS	Turfgrass Sod Fescue Mix; RE: Notes / Fescue Sod		SOD	

Note: Quantities shown are for reference only. Contractor shall verify all plant and turf quantities prior to bidding.

NOTE: Maintain and establish all landscape areas by watering, fertilizing, weeding, mowing, trimming, replanting and other operations until acceptable establishment - TYP.
 RE: Specifications

GENERAL NOTES

1. Refer to Sheet L07 for Landscape Notes & Details



NO.	DATE	REVISION

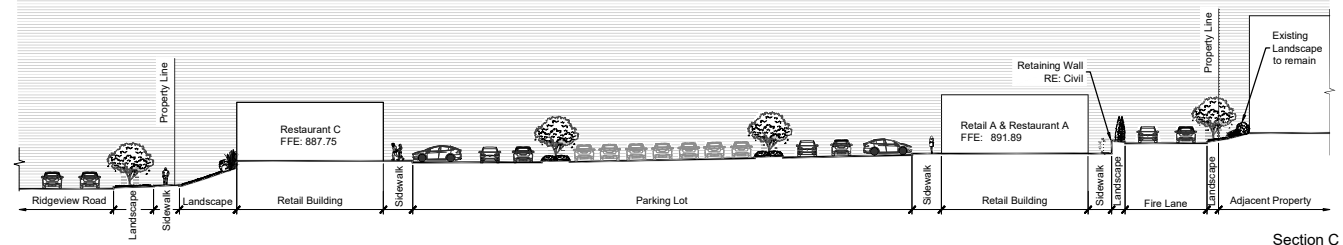
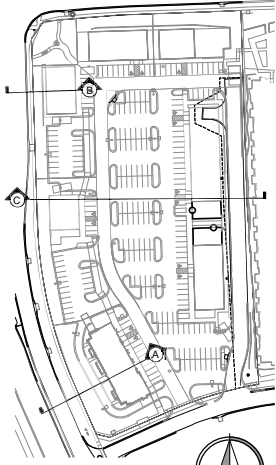
DRAWN BY: AEL
 CHECKED BY: AEL

816.800.0950
 www.renaissanceinfrastructure.com

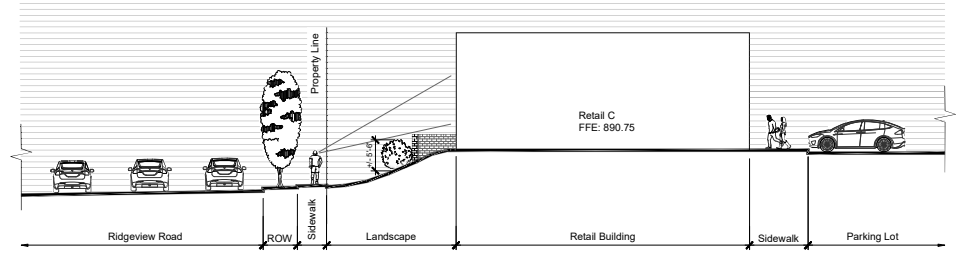


400 E. 17th Street
 Kansas City, Missouri 64108
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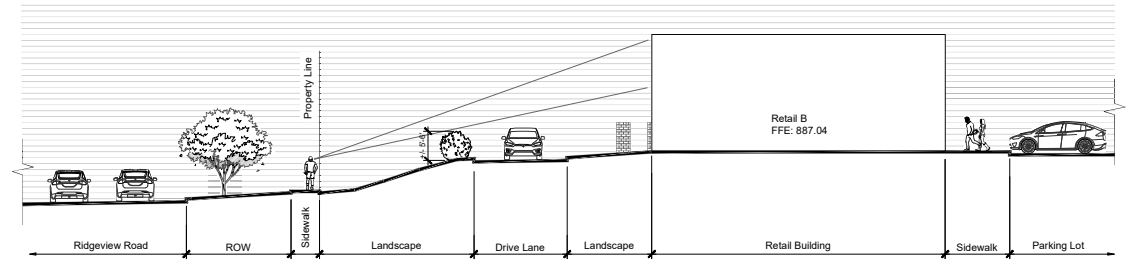
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Section C
1" = 20'-0"



Section B
1" = 10'-0"



Section A
1" = 10'-0"

Preliminary Development Plans
 24-0168
 Vista Village North
 Lenexa, Kansas

Site Section Cuts

NO.	DATE	REVISION

DRAWN BY: AEL
 CHECKED BY: AMK

Renaissance Infrastructure Consulting
 400 E. 17th Street
 Kansas City, Missouri 64108
 816.800.0950
 www.riconsult.com

Sheet
 L08



artist renderings



architecture & interiors

115 n. nettleton
bonner springs, ks
913.422.5762 ph

RESTAURANT SHELL BUILDING
PRELIMINARY DEVELOPMENT PLANS

VISTA VILLAGE NORTH
LENEXA KANSAS

SECTION 6, TOWNSHIP 13S, RANGE 24E

ISSUE
DATE: 03/11/26

A1



artist renderings



architecture & interiors

115 n. nettleton
bonner springs, ks
913.422.5762 ph

RETAIL F SHELL BUILDING
PRELIMINARY DEVELOPMENT PLANS

VISTA VILLAGE NORTH
LENEXA KANSAS

SECTION 6, TOWNSHIP 13S, RANGE 24E

ISSUE DATE: 03/23/26

A1



Project Narrative – Mix of Uses & Parking Reduction Justification

Vista Village | City of Lenexa, Kansas

Vista Village is a thoughtfully designed, mixed-use development located within the K-10/Ridgeview growth corridor in Lenexa. The project is intended to function as a walkable, neighborhood-oriented destination that integrates retail, restaurant, service, and experiential uses in direct connection with surrounding and on-site residential communities.

The development is uniquely positioned with an **embedded residential population**, including Alto Apartments and Luxe Residences, both located within walking distance of the commercial buildings. This immediate proximity to rooftops significantly reduces reliance on vehicle trips, as a meaningful portion of customers will access the site on foot.

At this preliminary planning stage, the **tenant mix will be intentionally curated** to include a complementary blend of food and beverage, fitness and wellness, and neighborhood-serving retail uses. While only a limited number of tenants have been finalized, the overall merchandising strategy is focused on creating a balanced mix that generates activity throughout the day and evening.

The project also benefits from direct adjacency to the **Mill Creek Streamway Trail**, one of Lenexa's most heavily utilized recreational corridors. Vista Village represents one of the few retail-oriented destinations located at a trail access point, creating a unique opportunity to capture daytime pedestrian and cyclist traffic. This trail-oriented activity further reduces reliance on traditional vehicle-based parking demand.

The uses within the development are expected to generate **complementary parking demand patterns**, with morning and midday activity driven by fitness, coffee, service, and trail users, and evening demand associated with restaurant and experiential uses. These staggered peak periods significantly reduce the likelihood of simultaneous maximum parking demand.

For example, at the Vista Village retail directly south of this proposed development (Lots 5, 6, and 86), the tenant mix is being curated to include complementary uses with varying peak hours. A planned medical user operates primarily during daytime hours and is not expected to generate evening demand, allowing parking in that area to accommodate adjacent evening users. In another building, a mix of users such as a dog wash and treat retailer, bike shop, and ice cream use generates activity across different times of day, from daytime through evening. While these examples are representative of the broader development and not specific to the variance area, they demonstrate the overall leasing strategy to create staggered demand patterns across Vista Village.

Importantly, **Vista Village retail is designed as a fully cross-parked development**, with all parking fields shared among all buildings and users. Parking is not allocated to individual tenants or parcels, allowing for maximum efficiency and flexibility. This shared parking model is fundamental to the site design and aligns with best practices for mixed-use developments.

The site is further designed to promote a “**park-once**” environment, with strong pedestrian connectivity between buildings, internal sidewalks, and clearly defined circulation that encourages visitors to move between uses without re-parking.

Justification for Parking Reduction

The requested reduction from the UDC minimum parking requirement is supported by the following:

- **On-Site Walkable Residential Base:** Alto Apartments and Luxe Residences reduce vehicle trips and parking demand.
- **Trail-Oriented Traffic:** Direct access to the Mill Creek Streamway Trail introduces pedestrian and cyclist traffic, reducing daytime parking demand.
- **Cross-Parking Design:** All parking is shared across the development, allowing spaces to serve multiple users efficiently.
- **Complementary Peak Demand:** The curated tenant mix results in staggered peak periods, reducing simultaneous parking needs.
- **Walkable Site Layout:** Internal connectivity promotes a park-once environment and minimizes redundant parking demand.
- **Efficient Land Use:** Reducing excess parking allows for a higher-quality site design and more active uses.
- **Alignment with Lenexa’s Vision:** The project supports the City’s goals for walkable, mixed-use development within key growth corridors.

Parking Reduction Allocation

The requested parking reduction applies to Vista Village as a whole. Due to the cross-parking nature of the development, parking functions as a shared resource serving all uses collectively rather than being assigned to specific tenants or buildings. This approach ensures efficient utilization of parking while continuing to meet the operational needs of the development.

Conclusion

Based on the integrated residential component, adjacency to the Mill Creek Streamway Trail, curated tenant mix, cross-parking design, and walkable site layout, the proposed parking supply is appropriate and sufficient to serve Vista Village without creating adverse impacts to the site or surrounding properties.

REGULAR AGENDA

5. **Vista Village North — Consideration of a revised preliminary plan and final plat for a commercial development on property located near the southeast corner of Prairie Star Parkway & Ridgeview Road within the PUD, Planned Unit Development District. PL26-01PR, PT26-01F**

APPLICANT PRESENTATION

Camille Christie, representing West Star Development, addressed the Commission regarding the final phase of the Vista Village mixed-use development in Olathe, Kansas. She explained that the family-owned company has held the land for over 25 years and has implemented a long-term vision as the surrounding corridor has developed. The proposal presented reflects the culmination of that vision and is intended to serve as the final component of the 47-acre project. Ms. Christie described how the plan has evolved alongside the broader development, with recent progress including new retail construction nearby. The final phase is designed to complement existing elements by introducing a mix of service-oriented retail, medical, and restaurant uses that will meet daily needs for both residents and the surrounding community. Emphasis has been placed on walkability, user experience, and livability, with strong pedestrian connections between residential and retail areas. Ms. Christie noted that the project builds on established infrastructure, including shared parking and access systems that support varying demand throughout the day. The plan also highlights improvements to the key intersection at Prairie Star Parkway and Ridgeview Road, incorporating features intended to create a sense of place. She emphasized ongoing collaboration with City Staff to ensure alignment with the planned unit development guidelines and overall corridor vision. In closing, Ms. Christie stated that the proposal is consistent with prior approvals and the development's design standards, contributes to a cohesive and high-quality environment, and aligns with Staff recommendations.

STAFF PRESENTATION

Dave Dalecky presented the Staff Report for the revised preliminary plan and final plat for Vista Village North. He provided the site location and its surrounding property. The property has been zoned as a Planned Unit Development (PUD) Zoning District since 2015 and is designated for mixed-use on the Future Land Use Map. Mr. Dalecky described the overall project layout, which included residential components on the eastern portion, the centrally located Alto Apartments, and retail and restaurant uses concentrated along the western side. He noted that the proposed revisions primarily affect the northwest quadrant of the site, where the plan increases the number of buildings from three to seven while maintaining a similar arrangement along Ridgeview Road. The updated design emphasizes four-sided architecture, requiring consistent building quality on all sides. Mr. Dalecky explained that the site includes a fire access drive serving the Alto Apartments, which must remain in place and sits at a higher elevation than the adjacent retail buildings. This elevation difference necessitates a retaining wall between the drive and nearby structures. He added that the overall site experiences a significant grade change of approximately 100 feet from east to west, which influences the layout. He noted that while the number of retail buildings increases, the total retail square footage for the development remains nearly unchanged, with a slight decrease overall. Restaurant space increases by approximately 15,000 square feet. Parking across the entire site is slightly reduced but remains compliant when considering prior deviations granted for the Alto Apartments, and retail and restaurant areas provide more than the required number of spaces. Mr. Dalecky stated that the architectural style of the proposed buildings is consistent with previously approved designs within Vista Village. He also highlighted landscaping requirements, noting that some adjustments will be needed to ensure compliance with city standards, particularly relocating trees onto private property. In closing, Mr. Dalecky explained that the plan includes a final plat dividing the area into multiple lots and tracts, including provisions for access drives and a project amenity at the key

intersection. He stated that Staff recommends approval of the revised preliminary plan and final plat, subject to the condition outlined in the Staff Report, with the project scheduled for City Council consideration on April 21, 2026.

COMMISSIONER DISCUSSION

Chairman Poss referred to the table in the Staff Report summarizing total square footage by use, such as retail and restaurant, and asked how to identify which specific uses are assigned to each building on the site plan. He recognized that the layout may change but requested clarification on how to connect the labeled buildings on the plan with the categories presented in the square footage summary. Dave Dalecky explained that the Staff Report groups most uses into two distinct categories: retail and restaurant. Because the development allows a wide range of uses, things like medical offices and daycare are classified as retail for analysis purposes, especially since their parking requirement is the same. Restaurant uses are separated due to their different parking demands. Chairman Poss confirmed that the table shows approximately 24,760 square feet of restaurant space compared to 9,500 square feet in the previous plan. He then asked how to determine where the additional roughly 15,000 square feet of restaurant space is located within the site plan. Mr. Dalecky noted that the KC Bier building is a restaurant which has increased in floor area for the previous plan. Chairman Poss asked about the status of the lot with approved for a bank northeast of Alto Apartments. Ms. Christie responded that Central Bank currently owns Lot 9 and is expected to develop it as a bank site, although she noted she is not involved in all of their specific development decisions. Chairman Poss asked for clarification regarding the apparent increase in restaurant and retail space on the northwest corner of the development, noting that while the change did not seem drastic numerically, it appeared more significant in presentation. He also commented that the southerly project at Ridgeview Road and K-10 Highway seemed like prime, highly visible real estate due to highway access and proximity to nearby developments, including the Garmin campus. He observed that this area might be expected to be a more active project, yet it has largely remained undeveloped aside from the existing Dutch Bros location, and asked Ms. Christie to explain the development approach and reasoning behind the current layout and activation strategy for that portion of the site. Ms. Christie said two of the three buildings are already leased, with tenants including a hair salon and a boutique fitness studio. She explained that leasing took longer than expected because the intersection was newly developed and lacked strong traffic data early on. One smaller space remains available, and she added that a planned nearby hotel is expected to help increase activity and attract additional tenants.

Commissioner Burson followed up on earlier questions by asking why retail space increased in the northwest quadrant of the development between the original and revised plans. He asked Ms. Christie, from the developer's perspective, what motivated the change in retail distribution in the updated plan. Ms. Christie explained that the development's original vision has evolved due to strong tenant demand, particularly for its walkable, mixed-use residential and trail-adjacent location. She noted that much of the southern portion of the project is already fully pre-leased, with additional retail leases in place pending approvals. She also stated that the City is expected to support maximizing retail at a key intersection, provided parking and functionality are addressed. However, due to significant development challenges, including rocky site conditions and the high cost of extending utilities from Ridgeview Road, the project has become expensive to build. As a result, she said the development requires additional retail space to make the project financially feasible.

Commissioner Woolf asked for clarification on whether there are additional details regarding the project's amenity features and what those amenities are intended to include. Ms. Christie explained that the project is considering an amenity feature in the form of a structural, art-like installation made from limestone sourced from the site. She noted that the design would align with the City's interest in using stone elements in public spaces and would aim to create a sense of place and help brand the development

through a decorative, architectural art piece. Ms. Christie added that the project would also include significant landscaping improvements, with an emphasis on beautifying the southeast corner of the site.

Commissioner Harber expressed support for the plan, noting appreciation for the long development timeline of about 25 years. He referenced prior discussions among Commissioners about the intersection and said he was pleased to see the increase in proposed development, particularly given growing traffic and use of Ridgeview Road by nearby neighborhoods such as Falcon Ridge. He added that, despite concerns about proximity to K-10, he believed the additional sites made sense and supported the overall plan.

MOTION

Chairman Poss entertained a motion to recommend **APPROVAL** of the preliminary plan for PL26-01PR – **Vista Village North** and the final plat for PT26-01F – **Vista Village, 4th Plat** located at the southeast corner of Prairie Star Parkway and Ridgeview Road for a commercial subdivision.

Moved by Commissioner Harber, seconded by Commissioner Wagner, and carried by a unanimous voice vote.

DRAFT

APPENDIX



**MINUTES OF THE
APRIL 7, 2026
LENEXA CITY COUNCIL MEETING
COMMUNITY FORUM, 17101 W 87th STREET PARKWAY
LENEXA, KS 66219**

CALL TO ORDER

Mayor Sayers called the meeting to order at 7 PM.

ROLL CALL

Councilmembers Handley, Eiterich, Charlton, Nicks, Bell, Williamson, Denny, and Herron were present with Mayor Sayers presiding.

Staff present included Beccy Yocham, City Manager; Todd Pelham, Deputy City Manager; Mike Nolan, Assistant City Manager; Scott McCullough, Community Development Director; Sean McLaughlin, City Attorney; Jennifer Martin, City Clerk; and other City staff.

APPROVE MINUTES

Councilmember Bell made a motion to approve the February 17, 2026 and the March 3, 2026 City Council meeting draft minutes and Councilmember Denny seconded the motion. Motion passed unanimously.

MODIFICATION OF AGENDA

Items 8 and 18 were removed from the Consent Agenda for presentation and discussion.

PROCLAMATIONS

SevenDays Week 2026
Fair Housing Month
National Safe Digging Month
Volunteer Recognition Month

RECOGNITION

Mayor Sayers introduced the 2026 Volunteer Hall of Fame Inductees Ben Harber and Stephanie Mason and presented them with certificates of appreciation for their volunteer efforts.

CONSENT AGENDA

1. Approval of the purchase of 11 vehicles and one piece of equipment for multiple departments
Annually, a select number of vehicles are purchased through the Equipment Reserve Fund. Eleven vehicles and one piece of equipment have been selected for

replacement due to high mileage, wear and tear, and high maintenance costs for a total cost of \$1,034,265.

3. Approval of an agreement with C&C Group for software, support, and mobile credentials for the City's camera systems
The City uses a security system for the citywide camera system and access control. The network is accessed by all departments for various functions involving security and safety measures. This agreement will provide ongoing software service support for the camera system, as well as mobile access user licenses. C&C Group will provide the software, support, and mobile credentials at an annual cost of \$68,869.
4. Approval of a Presenting Sponsorship Agreement with Everfast Fiber Networks, LLC for the 2026 Great Lenexa BBQ Battle, Enchanted Forest, and Lenexa Chili Challenge
Everfast Fiber Network, LLC proposes to be a 2026 Presenting Sponsor of these events, which requires City Council approval.
5. Approval of an intergovernmental services agreement with the City of Bonner Springs, Kansas, to cooperate in the planning and providing of recreational travel opportunities to residents of the community
Lenexa and the City of Bonner Springs have worked together for a number of years planning and providing combined travel opportunities for seniors. This agreement outlines each City's respective rights and responsibilities regarding the provision of the combined travel opportunities.
6. Approval of a cooperative agreement with Johnson County, Shawnee, Olathe, and Overland Park for the distribution of funds under the Edward Byrne Memorial Justice Assistance Grant (JAG) Program
The Lenexa Police Department will receive \$11,971 as its portion of the grant and will purchase two electric pedal-assist bicycles for the Bicycle Patrol Unit with the funds.
7. Approval of an interlocal agreement with the City of Shawnee for public improvements to Gleason Road north of 83rd Street
As part of the City's 2026 Residential Ultra-Thin Bonded Asphalt Surfacing (UBAS) and Overlay Project, some maintenance work will be completed on Gleason Road north of 83rd Street, a portion of which is within the Shawnee city limits. An interlocal agreement is necessary to complete the maintenance.
9. Approval of an engineering consultant agreement with Braun Intertec Corporation to provide sampling and testing services of construction materials
The Community Development Department uses a third party consultant to perform quality assurance testing during construction of Capital Improvement Projects and Public Improvement Projects. Braun Intertec Corporation was selected, and the contract has a maximum not to exceed fee of \$150,000.
10. Consideration of action items concerning the Clare Road Roundabout Replacement Project

- a. Approval of an inspection and materials testing agreement with George Butler & Associates, Inc. for the project
 - b. Bid award to Realm Construction, Inc. to construct the project
This project includes reconstruction of the existing asphalt pavement within the four roundabouts on Clare Road between 83rd Street and Prairie Star Parkway with concrete pavement, as well as construction of a new 10-foot-wide trail connection from Wild Bill Hickok Park to Prairie Star Parkway. The inspection and material testing services agreement with George Butler & Associates is for \$320,406.50. The construction contract with Realm Construction, Inc. is for \$3,071,309.74.
11. Consideration of action items concerning the 87th Street Traffic Signals - Scarborough to Winchester Project
- a. Approval of an agreement with the Secretary of Transportation for the State of Kansas for the project
 - b. Resolution declaring it necessary to appropriate private property for the project
This project was selected to receive federal funding from the Carbon Reduction Program (CRP) and the Congestion Mitigation & Air Quality (CMAQ) program totaling \$1 million. Construction consists of traffic signals and pedestrian facilities for both eastbound and westbound 87th Street Parkway at Scarborough Street.
12. Consideration of action items concerning the 95th Street Improvements - Renner to Lackman Project
- a. Approval of an agreement with the Secretary of Transportation for the State of Kansas (KDOT) for the project
 - b. Resolution declaring it necessary to appropriate private property for the project
This project was selected to receive federal funding from the Congestion Mitigation & Air Quality (CMAQ) Program in the amount of \$1.4 million. Construction consists of the replacement of traffic signals, modifications to pedestrian accommodations, and additional turn lanes at this intersection.
13. Resolution authorizing Mayor to execute a Kansas quit claim deed for the conveyance of property located in the vicinity of Prairie Star Parkway and future Woodsonia Drive
The City is proposing to exchange property in the vicinity of Prairie Star Parkway and Woodsonia Drive to facilitate the construction of Woodsonia Drive from 83rd Street to Prairie Star Parkway as part of the Woodsonia Special Benefit District.
14. Resolution calling for a public hearing to consider approving Tax Increment Financing (TIF) Redevelopment Project Plan 2D in the City Center TIF District (The Rise at City Center Project)
On April 6, 2026, the Lenexa Planning Commission will be considering Tax Increment Financing (TIF) Project Plan 2D to determine if it is consistent with the City's Comprehensive Plan. If the Planning Commission makes this finding, the City

Council must pass a resolution calling for a public hearing. This action is strictly procedural and merely sets a public hearing for May 19, 2026, at which time the Governing Body will consider adoption of a TIF project plan covering 1.54 acres at the northeast corner of Renner Boulevard & City Center Drive to help finance construction of an 11-story mixed-use project with office and/or retail and active-adult boutique residential units as well as structured parking.

15. Resolution authorizing the execution of documents in connection with the assignment and assumption of base lease, lease, and payment in lieu of tax agreement, and transfer of the bonds, related to the City's industrial revenue bonds - Series 2021 (95th and Loiret Office/Warehouse Project, commonly known as Collins Aerospace) *On November 1, 2021, the City issued its industrial revenue bonds in the approximate amount of \$62 million to finance the construction of a facility consisting of 80,000 square feet of office and 180,000 square feet of warehouse space located at the southeast corner of 95th Street & Loiret Boulevard in the Kansas Commerce Center, and authorizing a tax abatement for the project as set forth in a payment in lieu of tax (PILOT) agreement. The developer is selling the property to new entities to own the property and has requested the City consent to the assignment and assumption of the base lease, lease, and the PILOT.*
16. Resolution consenting to the enlargement of the Consolidated Main Sewer District of Johnson County, Kansas to include property located northwest of 83rd Street & Cedar Niles Road (Stoneridge North, 4th Plat) *This consent will allow Consolidated Main Sewer District (CMSD) of Johnson County to enlarge its sanitary sewer system to serve Stoneridge North, 4th Plat.*
17. Resolution consenting to the enlargement of the Consolidated Main Sewer District of Johnson County, Kansas to include property located northwest of 83rd Street & Clare Road (Enclave at Twin Creeks) *This consent will allow Consolidated Main Sewer District (CMSD) of Johnson County to enlarge its sanitary sewer system to serve the Enclave at Twin Creeks.*
19. Ordinance authorizing the acquisition of lands or interest therein by condemnation for the construction of certain public improvements associated with the construction of the Seven Hills Lake Stormwater Improvements Projects (Phase 1 and Phase 2) *For the construction of public improvements associated with the projects, an ordinance authorizing and providing for the acquisition of lands or interests therein by condemnation is needed. This ordinance authorizes City staff and its acquisition counsel to file a condemnation petition with the district court to acquire the easements and rights-of-way necessary. The total project budget is \$6,002,500.*

END OF CONSENT AGENDA

A member of the audience requested item 2 be removed from the Consent Agenda for presentation and discussion.

Councilmember Williamson made a motion to approve items 1, 3 through 7, 9 through 17, and 19 on the Consent Agenda and Councilmember Bell seconded the motion. Motion passed unanimously.

REGULAR BUSINESS

2. Approval of the purchase of an Altec hydraulic derrick auger truck for the Municipal Services Department
This truck will allow Municipal Services staff the ability to safely remove and set streetlight poles, lift heavy materials, and install large signs and posts. The total purchase price is \$288,833.

Nick Arena, Municipal Services Director, talked about this truck being used by the traffic division and it allowing for quicker response times and cost savings.

Councilmember Nicks asked if this equipment was being obtained through a cooperative bid process and Mr. Arena said it was and explained how that process works.

Councilmember Bell asked when the purchase would pay for itself and Mr. Arena discussed the costs of the truck and the expenses of outsourcing and said it would recoup costs in a couple of years.

Councilmember Nicks made a motion to approve Item 2 and Councilmember Bell seconded the motion. Motion passed unanimously.

8. Approval of Change Order No. 1 to the contract with HNTB for the design of the 83rd Street Improvements - Gleason to Clare Project
The City previously approved a contract with HNTB for design services for project. Recently, staff asked HNTB to submit a cost proposal to perform additional services related to engineering design and surveying. The cost of Change Order No. 1 is \$409,136.

Tim Green, Deputy Community Development Director/City Engineer, reviewed how City staff reviews contract scope and presented an exhibit detailing the process. He then discussed the specifics of this project's change order, which include duct bank design, waterline design, BMP design, and retaining wall design. He explained each of the changes in detail and the reasoning for each change.

Councilmember Charlton asked if there were other qualified applicants and Mr. Green listed some.

Councilmember Bell asked if these changes were known in advance and if they were not already budgeted for. Mr. Green said they were budgeted but not included in initial contract.

Councilmember Herron asked about the process and prequalifying. Mr. Green explained that companies are not prequalified, but the City solicits letters of interest each year. He said all letters are kept and staff tries to select different consultants for different projects. He added that any company can submit a letter of interest at any time for consideration. Councilmember Herron asked if staff confirms pricing is reasonable and appropriate and Mr. Green responded that staff is familiar with the

projects and process and how the proposals are prepared; they go through the costs for each project item by item.

Councilmember Bell asked if other phases of similar projects would go through a similar process and Mr. Green said it depends on the project. He said more complicated projects will have change orders with the work budgeted in the project at 10%.

Mayor Sayers commented about the City's coordination with other utilities and how that factors into projects and the need for change orders, making the work more efficient and cost-effective.

Councilmember Bell made a motion to approve Item 8 and Councilmember Charlton seconded the motion. Motion passed unanimously.

18. Ordinance authorizing the issuance of industrial revenue bonds in the principal amount not to exceed \$22 million (Vista Village Multi-Family Project)
The City Council has authorized the issuance of approximately \$22 million in industrial revenue bonds (IRBs) to help finance the acquisition, construction, and equipping of a multi-family development located southeast of Prairie Star Parkway & Ridgeview Road in the Vista Village development. The development is close to completion, and the developer is requesting issuance of \$22 million in IRBs.

Sean McLaughlin, City Attorney, reviewed the Vista Village project, a 25-acre mixed-use project located at the southeast corner of Prairie Star Parkway & Ridgeview Road, consisting of retail/dining and multifamily components. He said the site, formerly a mining quarry, is supported by Tax Increment Financing (TIF) and a Community Improvement District (CID) established to incentivize redevelopment. He explained that the TIF agreement allocates revenues at 65% to the developer and 35% to the City for retail/dining, and 50/50 for multifamily, with eligible costs including streets, utilities, and site reclamation. The CID, a 1% sales tax effective January 1, 2023, supports similar infrastructure costs. Both incentives are structured as pay-as-you-go, with minimal revenue distributed to date as the project nears completion. He noted that the assessed valuation has increased significantly from approximately \$9,000 in 2019 to \$4.8 million in 2025.

Mr. McLaughlin then discussed the issuance of up to \$22 million in industrial revenue bonds (IRBs) for the 261-unit multi-family component, saying the IRBs are limited to a sales tax exemption on construction materials, with no property tax abatement, and all costs and repayment obligations borne by the developer. He explained the two-step IRB process, noting that the City previously approved a resolution of intent and that the ordinance before City Council authorizes bond issuance and execution of related documents. He said staff recommended approval.

Councilmember Herron asked if the developer gives the City something in return and Mr. McLaughlin explained that IRBs are an incentive tool for the developer and a vehicle for abatement.

Councilmember Bell asked what happens if the developer fails to make payments and Mr. McLaughlin explained that the City does not pay and the incentives are intended to promote development in the City.

Councilmember Herron asked about the fairness of incentives and if others can get them. Beccy Yocham, City Manager, talked about the suite of incentives that can be considered for any project and how determinations are made to make a project feasible, as well as how a project can benefit the City.

Councilmember Bell made a motion to approve Item 18 and Councilmember Williamson seconded the motion. Motion passed unanimously.

PUBLIC HEARINGS

20. Consideration of action items concerning the fire-damaged structure at 7730 Noland Road

- a. Public hearing to consider repairs or demolition of the fire-damaged structure
- b. Resolution finding the fire-damaged structure to be unsafe and dangerous and directing it to be repaired or removed

In August 2025, a fire occurred at 7730 Noland Road, causing substantial damage to the structure. As required by state statute, the City previously adopted a resolution setting a public hearing for April 7, 2026, to be held if repairs did not commence in a manner acceptable to the Building Codes Administrator before that date. After hearing evidence from the owner of the structure and from City staff, the Governing Body must determine whether the structure is unsafe or dangerous and, if so, direct that the structure be repaired or removed.

Scott McCullough, Community Development Director, said this public hearing is for a fire-damaged residential property at 7730 Noland Road. He explained that a fire on August 10, 2025 caused significant structural damage, rendering the home unsafe and beyond repair, with demolition identified as the only viable option. The property was officially deemed an unsafe structure by the City's Building Division, consistent with City Code and state statutes, which authorize the City to require repair or removal and recover associated costs if necessary.

Mr. McCullough noted the City participates in a state program requiring insurers to deposit 15% of a claim when damage exceeds 75% of a property's value; in this case, just over \$50,000 was received to ensure funds are available for demolition if the owner fails to act. He said while the property condition has not changed, staff recently received confirmation that the owner has engaged a contractor and is in the process of securing permits and utility disconnections to proceed with demolition.

Mr. McCullough recommended proceeding with the public hearing and adopting a resolution declaring the structure unsafe and ordering its removal by May 8th, while allowing flexibility if progress continues. He said this would ensure the City has authority to intervene if necessary.

The property owner was present, and Mr. McCullough said he was confident the issue would be resolved within the proposed timeframe.

Councilmember Bell asked about the return of the funds received and Mr. McCullough confirmed funds would be returned in whole or in part, depending on whether the City needs to use any for abatement, generally within a few months.

Mayor Sayers opened the public hearing at 7:47 PM.

Keith Rapplean, homeowner, and his attorney Scott Waddell, spoke about the insurance company's delay in processing the proceeds and having entered into a contract with a contractor recently to demolish the structure.

Councilmember Eiterich made a motion to close the public hearing and Councilmember Bell seconded the motion. Motion passed unanimously.

The public hearing closed at 7:49 PM.

Councilmembers Bell, Nicks, and Charlton remarked on the situation and confirmed that this timeline works for the homeowner and that the entire structure, including the foundation, will be removed.

Councilmember Bell made a motion to approve Item 20b and Councilmember Williamson seconded the motion. Motion passed unanimously.

BOARD RECOMMENDATIONS

21. Ordinance approving a 10-year special use permit for medical clinic uses for Green Prairie Office Center located at 13830 Santa Fe Trail Drive in the NP-O, Planned Neighborhood Office District
The applicant proposes to operate medical clinic uses within the NP-O, Planned Neighborhood Office Zoning District at 13830 Santa Fe Trail Drive, which requires a special use permit.

Stephanie Sullivan, Planning Manager, said this is a renewal of a special use permit (SUP) for 13830 Santa Fe Trail Drive, an existing mixed-use office building with medical clinic, personal service, and general office tenants. The site is zoned Neighborhood Office and is consistent with the Comprehensive Plan. The request renews a previously approved SUP (initially granted in 2011 and renewed in 2015) to allow continued medical clinic uses. She discussed the parking deficiency, with 32 spaces provided versus 50 required, but noted an established shared parking agreement with a nearby church and no history of parking complaints.

Ms. Sullivan talked about observations of the site indicating adequate parking availability, supported by staggered tenant hours and recent sidewalk improvements enhancing pedestrian access between properties. Based on review criteria, including neighborhood compatibility, lack of negative impacts, and minimal traffic concerns,

she said staff and the Planning Commission recommended approval of a 10-year SUP with the parking deviation.

Councilmember Bell asked about requirements for operating a medical office and Ms. Sullivan explained that staff reviews and considers things like the hours of operation and numbers of clients and employees, not the medical operation itself. She confirmed that there have been no complaints or issues reported.

Councilmember Williamson talked about the SUP being in place for more than a decade with similar uses and no issues or complaints, as well as how tenants have planned for the parking concern. She was in support of approval.

Councilmember Charlton asked if each tenant has to be licensed and Ms. Sullivan said each needs to be individually licensed but the SUP covers all medical uses in this building.

Councilmember Herron expressed his approval.

Councilmember Bell asked if any tenant could provide emergency services here and Ms. Sullivan said that would be considered a hospital use and more than the NP-O district would allow. Councilmember Bell expressed his approval.

Mayor Sayers talked about her familiarity with this building and told the applicant she appreciated them wanting the SUP for another 10 years.

Councilmember Herron made a motion to approve Item 21 and Councilmember Bell seconded the motion. Motion passed unanimously.

22. Ordinance approving a three-year special use permit for a personal services use for Mind, Body and Soul located at 9716 Rosehill Road in the NP-O, Planned Neighborhood Office District

The applicant proposes to operate a personal services use within the NP-O, Planned Neighborhood Office Zoning District at 9716 Rosehill Road, which requires a special use permit.

Ms. Sullivan said this is an SUP for Mind, Body and Soul at 9716 Rosehill Road, located in a NP-O zoning district near I-35 & 95th Street. She said the business would operate within a 100-square-foot office in a multitenant, condo-style office development and provide personal services including massage therapy, Reiki, and trigger point therapy. She noted the use is low intensity, with one employee serving one client at a time, and operating primarily Monday through Saturday with limited Sunday hours.

Ms. Sullivan said the site is consistent with both zoning and the Comprehensive Plan designation as an office employment area, and is surrounded by a mix of commercial, office, and residential uses. She noted that a similar tenant previously operated in the same space without any complaints and although the parking analysis showed 47 spaces available where 44 are required, due to the one-on-one nature of the business, no parking concerns were identified.

Ms. Sullivan said staff and the Planning Commission recommended approval for a three-year term.

Councilmember Herron made a motion to approve Item 22 and Councilmember Nicks seconded the motion. Motion passed unanimously.

NEW BUSINESS

There was no new business.

COUNCILMEMBER REPORTS

Governing Body members that attended the National League of Cities conference in March spoke about their experiences.

STAFF REPORTS

There were no staff reports.

END OF RECORDED SESSION

BUSINESS FROM FLOOR

Andy Keith
Sharon Lab
Gaylene Van Horn
Scott Murray
Dan Wilkus

EXECUTIVE SESSION

23. Executive session for privileged attorney-client consultation pursuant to K.S.A. 75-4319(b)(2)

Mayor Sayers said, "I will entertain a motion for the City Council to recess into executive session in the Green Room to discuss potential litigation. The justification for such executive session is for consultation with an attorney for the city which would be deemed privileged in an attorney-client relationship in accordance with K.S.A. 75-4319(b)(2). Present in the executive session will be the Governing Body and the following staff members: City Manager Beccy Yocham, Deputy City Manager Todd Pelham, Community Development Director Scott McCullough, and City Attorney Sean McLaughlin. The executive session will start at 8:40 PM and last 25 minutes and the open meeting will resume at 9:05 PM in the Green Room."

Councilmember Bell made a motion to recess into executive session and Councilmember Williamson seconded the motion. Motion passed unanimously.

At 9:05 PM, the Governing Body returned to the Community Forum and Mayor Sayers said, "It is 9:05 PM and the Governing Body reconvened into the public meeting and no votes were taken or decisions made during the executive session."

ADJOURN

Councilmember Denny made a motion to adjourn and Councilmember Bell seconded the motion. Motion passed unanimously.

The meeting adjourned at 9:06 PM.

Proclamation

WHEREAS, in 1872, J. Sterling Morton proposed that a special day be set aside for the planting of trees, resulting in the first Arbor Day celebration in Nebraska; and

WHEREAS, what began as a local observance has grown into a nationwide and worldwide tradition celebrating the importance of trees; and

WHEREAS, trees provide critical environmental benefits by preventing soil erosion, improving air quality, generating oxygen, and offering habitat for wildlife; and

WHEREAS, trees support economic well-being as a renewable source of building materials and energy, while also enhancing property values and strengthening local businesses; and

WHEREAS, the planting and care of trees enrich our communities, beautify our surroundings, and offer enduring enjoyment and renewal to present and future generations.

NOW, THEREFORE, I, Julie Sayers, Mayor of Lenexa, Kansas do hereby proclaim April 24, 2026 in the City of Lenexa to be

ARBOR DAY

And I encourage all citizens to celebrate Arbor Day by supporting efforts to protect our trees and woodlands, and planting trees for this and future generations.

IN WITNESS WHEREOF, I have hereunto set my hand this 21st day of April, 2026.



A black ink signature of Julie Sayers, written in a cursive style, positioned above a horizontal line.

Julie Sayers
Mayor of Lenexa, Kansas

Proclamation

WHEREAS, the City of Lenexa is committed to fostering an inclusive, supportive, and empowering community for all individuals, including those with Autism; and

WHEREAS, Easterseals Midwest provides vital programs and services that support children and adults with intellectual and developmental disabilities; and

WHEREAS, April is recognized as Autism Acceptance Month, promoting understanding, inclusion, and support for individuals with Autism; and

WHEREAS, the “Take Action for Autism” event raises awareness and funds through partnerships with local businesses to support individuals with Autism and their families; and


WHEREAS, this event brings the community together and funds raised directly support programs and services that enhance the quality of life for individuals with Autism.

NOW, THEREFORE, I, Julie Sayers, Mayor of Lenexa, Kansas do hereby proclaim April 24-26, 2026 in Lenexa to be

TAKE ACTION FOR AUTISM WEEKEND

IN WITNESS WHEREOF, I have hereunto set my hand this 21st day of April, 2026.




Julie Sayers
Mayor of Lenexa, Kansas

Proclamation

WHEREAS, the City of Lenexa recognizes that the safety, resilience, and economic value of its homes, buildings, and infrastructure are essential to the community's well-being in both everyday life and during natural disasters; and

WHEREAS, building safety and fire prevention officials, along with architects, engineers, builders, tradespeople, and other construction professionals, work year-round to ensure buildings are safely designed and constructed to protect where residents live, learn, work, and play; and

WHEREAS, modern building codes provide critical safeguards that protect the public from hazards such as severe weather, fires, floods, and other natural disasters; and

WHEREAS, the 2026 Building Safety Month theme, "*Built to Last*," highlights the importance of building safety, resilience, and accessibility in protecting lives and strengthening communities; and


WHEREAS, this campaign encourages homeowners to improve safety at home, recognizes the professionals who keep communities safe, promotes disaster preparedness through resilient building codes, and emphasizes accessible design so all people can safely use and enjoy the built environment.

NOW, THEREFORE, I, Julie Sayers, Mayor of Lenexa, Kansas do hereby proclaim May 2026 in the City of Lenexa to be

BUILDING SAFETY MONTH

IN WITNESS WHEREOF, I have hereunto set my hand this 21st day of April, 2026.




Julie Sayers
Mayor of Lenexa, Kansas

Proclamation

WHEREAS, composting returns organic materials to the soil, conserves water, reduces erosion and pollution, and decreases reliance on chemical fertilizers; and

WHEREAS, composting is an effective method of waste reduction, reuse, and recycling, helping divert organic materials—which make up a significant portion of landfill waste—from disposal; and

WHEREAS, organic materials such as yard trimmings, food scraps, manure, biosolids, and other natural materials can be transformed into compost, a valuable product that improves soil health; and


WHEREAS, composting supports sustainable communities by reducing waste, creating green jobs, improving soil and water quality, and empowering communities to manage resources responsibly; and

WHEREAS, the Compost Research & Education Foundation and partners around the world recognize the first full week of May to promote the benefits of composting.

NOW, THEREFORE, I, Julie Sayers, Mayor of Lenexa, Kansas, do hereby proclaim the week of May 3-9, 2026 in the City of Lenexa to be

COMPOST AWARENESS WEEK

IN WITNESS WHEREOF, I have hereunto set my hand this 21st day of April, 2026.



Julie Sayers
Mayor of Lenexa, Kansas



Notice of Violation

September 18, 2025

Kansas Hotels LLC
12601 W. 95th St.
Lenexa, KS 66215

Rajubhai Patel, Resident Agent
12601 W. 95th St.
Lenexa, KS 66215

Rajubhai Patel
1374 Munras Ave
Monterey, CA 93940

Nupen Patel
34 N Fazio Way
Spring, TX 77389

Bharat Patel
1893 Fremont Blvd.
Seaside, CA 93955

RE: Radisson Hotel @ 12601 W. 95th St, Lenexa, KS

Dear Property Owner(s),

The City of Lenexa, Kansas Community Standards and Building Code divisions conducted a partial inspection of your hotel in coordination with the Lenexa Fire Department on September 5, 2025. During this inspection the main area of the hotel was inspected in addition to thirty-three guest rooms. We identified **serious concerns** in multiple locations, including in eleven of the thirty-three guest rooms.

Because of the pervasive and serious issues found during the initial inspection, the City is requesting permission for a full inspection of the entire property. City staff initially requested a full inspection via email to the General Manager, Eric Salinas, on September 8, 2025. We did not receive a response. Please contact the City as soon as possible to arrange this inspection. If no response is received by September 30, 2025, the City will pursue other avenues to ensure this property is in compliance with all city codes.

The following are the violations known to the city at this time:

Interior:

1. **Violation:** A new boiler was installed without a permit or inspection.

Section 4-8-A-4 IBC Adopted: 105.1 Required, permit.

Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical, plumbing, fire alarm, fire detection, automatic fire suppression, or LP gas system, the installation of which is regulated by this Code, or to cause any such work to be done, shall first make application to the Building Official and obtain the required permit and licenses.

2. **Violation:** A portion of the flooring in the hotel lobby, between the gym and conference center, is collapsing.

Section 4-8-D-1 IPMC Adopted: 305.4 Stairs and Walking Surfaces

Every stair, ramp, landing, balcony, porch, deck or other walking surface shall be maintained in sound condition and in good repair.

3. **Violation:** Wing 100, Salon D, and several guest rooms throughout the hotel have substantial mold growth, again.

Note: A professional mold assessment, including remediation recommendations prepared by a certified mold inspector or industrial hygienist, must be submitted to the City and all recommendations followed.

Section 4-8-D-4 IPMC Adopted: 104.2.1 Technical Assistance

Where the Code Official finds evidence of conditions potentially harmful to building occupants, including, but not limited to, vermin infestation, uncleanliness, elevated mold levels or structural defects, the Code Official is authorized to require the owner or owner's authorized agent to provide, without charge to the jurisdiction, a technical opinion and report prepared by a qualified engineer, specialist, laboratory, or fire safety specialty organization acceptable to the Code Official. The technical opinion and report shall analyze the design, operation, or use of the building or premises and the facilities and appurtenances situated thereon, to recommend necessary changes.

4. **Violation:** Wing 100 and several guest halls have standing water on the floor. Ceiling areas throughout the hotel have visible water damage. The source of the water leaks must be identified and corrected. There is also a broken window in the bar area.

Note: These rooms/ guest hallways were found to be in violation during our inspection: 822, 230, 232, 240, 242, 340, 429, 402, 421, 404, 304, and 426-451. Some of the violations above were in specific rooms, and some extended to the hallway outside the rooms.

Section 4-8-D-1 IPMC Adopted: 305.1 Interior Surfaces, General.

The interior of a structure and equipment therein shall be maintained in good repair, structurally sound and in a sanitary condition.

Exterior:

5. **Violation:** A first-floor window on the southeast side of the building is broken and covered with plywood.

Section 4-8-D-1 IPMC Adopted: 304.13 Exterior: Windows, skylights and door frames.

Every window, skylight, door and frame shall be kept in sound condition, good repair and weather tight.

6. **Violation:** The parking lot, curbs and sidewalks are in disrepair in multiple locations.

Section 4-8-D-1 IPMC Adopted: 302.3 Sidewalks and driveways.

Sidewalks, walkways, stairs, driveways, parking spaces and similar areas shall be kept in a proper state of repair, and maintained free of hazardous conditions.

7. **Violation:** Two retaining walls on the property are in disrepair, one is stone/concrete, the other railroad ties.

Section 4-8-D-1 IPMC Adopted: 302.7 Accessory structures.

Accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

Corrective Action Dates:

A full inspection of the entire property must be completed no later than October 17, 2025. Professional mold testing reports with remediation recommendations for the areas noted above must also be submitted to the city by October 17, 2025.

The Corrective Action Date by which all violations noted above must be corrected is October 30, 2025. Failure to comply with these requirements may result in the issuance of a Notice to Appear in Municipal Court and/or additional enforcement actions, which may include, but are not limited to, closure of the building or affected areas through condemnation.

Please be advised:

- The Lenexa Fire Department has issued a separate report outlining additional violations observed during their inspection. Please note that their compliance deadlines may differ from those outlined in this notice.
- Each violation of the Lenexa City Code may be subject to penalties of up to \$2,500.00 per violation, imprisonment for up to one (1) year, or both.
- You have the right to contest the violations outlined in this notice by requesting a hearing. To do so, you must submit a written request to the City within ten (10) days of the date of this notice. Your request must include the specific reasons supporting your belief that no violations have occurred. Please refer to Lenexa City Code Section 3-5-H-7 for further details on this process.

We urge you to give this matter your immediate attention to avoid further enforcement action. Thank you for your cooperation in maintaining compliance with City codes and ensuring the safety of your guests and staff. If you have questions regarding this notice, please contact me at 913-477-7701.

Regards,

Angel Whitaker

Angel Whitaker
Community Standards Supervisor

CC: City Building Code Division
City Fire Department
Eric Salinas, General Manager of the Radisson



Notice of Violation

November 24, 2025

Kansas Hotels LLC
12601 W. 95th St.
Lenexa, KS 66215

Rajubhai Patel
1374 Munras Ave
Monterey, CA 93940

Nupen Patel
34 N Fazio Way
Spring, TX 77389

Bharat Patel
1893 Fremont Blvd.
Seaside, CA 93955

Rajubhai Patel, Resident Agent
12601 W. 95th St.
Lenexa, KS 66215

RE: Radisson Hotel @ 12601 W. 95th St, Lenexa, KS

Dear Property Owner(s),

The City of Lenexa, Kansas Community Standards and Building Code Divisions conducted a complete inspection of your hotel in coordination with on-site management over the past several weeks. Thank you for your cooperation.

Throughout this process we have identified numerous areas within the hotel that are in violation of City code, including several guest rooms that require repair and exhibit a substance suspected to be mold. We acknowledge that there has been a recent change in management and that repair efforts appear to be underway. We request your continued cooperation in completing the inspection and bringing all identified code violations into full compliance. A spreadsheet detailing the full scope of violations with location is attached.

Interior Violations:

1. **Violation:** A new boiler was installed without a permit or inspection. The contractor who recently installed the boiler must contact the city to obtain a permit and schedule the inspection.

Section 4-8-A-4 IBC Adopted: 105.1 Required, permit.

Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical, plumbing, fire alarm, fire detection, automatic fire suppression, or LP gas system, the installation of which is regulated by this Code, or to cause any such work to be done, shall first make application to the Building Official and obtain the required permit and licenses.

2. **Violation:** A portion of the flooring in the hotel lobby, between the gym and conference center, is collapsing, and the temporary repair is not compliant with City code. Complete floor repairs must be made to this area, and any other areas in this corridor that are not stable under normal load.

Section 4-8-D-1 IPMC Adopted: 305.4 Stairs and Walking Surfaces

Every stair, ramp, landing, balcony, porch, deck or other walking surface shall be maintained in sound condition and in good repair.

3. **Violation:** Wing 100 (unfinished), Guest room hallway 100, Salon D, guest hall wall mounted HVAC units particularly in the 100-400 hallways, and all guest rooms marked with an "x" on the attached spreadsheet were observed with visible mold growth. Mold testing is required for all areas noted. Report recommendations must be followed and if remediation is recommended retesting will be required.

Note: A professional mold assessment, including remediation recommendations prepared by a certified mold inspector or industrial hygienist, must be submitted to the City and all recommendations followed.

Section 4-8-D-4 IPMC Adopted: 104.2.1 Technical Assistance

Where the Code Official finds evidence of conditions potentially harmful to building occupants, including, but not limited to, vermin infestation, uncleanliness, elevated mold levels or structural defects, the Code Official is authorized to require the owner or owner's authorized agent to provide, without charge to the jurisdiction, a technical opinion and report prepared by a qualified engineer, specialist, laboratory, or fire safety specialty organization acceptable to the Code Official. The technical opinion and report shall analyze the design, operation, or use of the building or premises and the facilities and appurtenances situated thereon, to recommend necessary changes.

Section 4-8-D-1 IPMC Adopted: 305.1 Interior Surfaces, General.

The interior of a structure and equipment therein shall be maintained in good repair, structurally sound and in a sanitary condition.

4. **Violation:** Ceiling areas and walls throughout the hotel have visible damage, some caused by water, including most of the ceiling tiles in guest hallway 100. Several guest room bathrooms have broken or damaged tiles. The specific rooms are noted on the attached spreadsheet.

Standing water and wall damage was observed in Wing 100, the area of the hotel which remains incomplete and unoccupiable.

Section 4-8-D-1 IPMC Adopted: 305.1 Interior Surfaces, General.

The interior of a structure and equipment therein shall be maintained in good repair, structurally sound and in a sanitary condition.

5. **Violation:** The HVAC systems in several guest rooms did not work as intended. The specific rooms are noted on the attached spreadsheet.

Section 4-8-D-1 IPMC Adopted: 603.1 Mechanical equipment and appliances.

Mechanical equipment, appliances, fireplaces, solid fuel-burning applications, cooking appliances and water heating appliances shall be properly installed and maintained in a safe working condition and be capable of performing the intended function.

6. **Violation:** The second elevator, to the right of the check-in desk, is out of service and has been for an extended period.

Section 4-8-D-17 ELEVATORS.

606.1 General. Elevators, dumbwaiters and escalators shall be maintained in compliance with ASME A17.1. The most current certification of inspection shall be on display at all times within the elevator or attached to the escalator or dumbwaiter, or the certificate shall be available for public inspection in the office of the building operator. The inspection and tests shall be performed at not less than the periodical intervals listed in Table 606. 1(1).

7. **Violation:** Several plumbing fixtures were in disrepair and are noted on the attached spreadsheet. Additionally, some were also missing where fixtures were once installed.

Section 4-8-D-1 IPMC Adopted: 504.1 Plumbing Systems and Fixtures, General

Plumbing fixtures shall be properly installed and maintained in working order, and shall be kept free of obstructions, leaks and defects and be capable of performing the function for which such plumbing fixtures are designed. Plumbing fixtures shall be maintained in a safe, sanitary and functional condition.

8. **Violation:** Several GFCI electrical outlets did not work as intended in guestroom bathrooms. They are noted on the attached spreadsheet. Several open J boxes were identified behind the bathroom mirrors.

Section 4-8-D-16 Electrical General: 605.1 General

All electrical equipment, devices, and fixtures shall be properly installed and maintained in a safe working condition, and shall be capable of performing the intended function.

Violation: A few rooms shown on the City approved drawings for the building that are shown as guest rooms have now become storage rooms.

Section: 4-8-A-7 Use and Occupancy

111.1 Use and Occupancy. No new building or structure shall be used or occupied, and no change in the existing occupancy classification of an existing building or structure or portion thereof shall be made, and no re-occupancy of existing buildings or tenant spaces shall occur until the Building Official has issued a certificate of occupancy therefore as provided herein. Issuance of a certificate of occupancy shall not be construed as an approval of a violation of the provisions of this Code or of other ordinances of the jurisdiction.

Exterior Violations:

9. **Violation:** A first-floor window on the southeast side of the building is broken and covered with plywood.

Section 4-8-D-1 IPMC Adopted: 304.13 Exterior: Windows, skylights and door frames.

Every window, skylight, door and frame shall be kept in sound condition, good repair and weather tight.

10. **Violation:** The curbs are in disrepair in multiple locations.

Section 4-8-D-1 IPMC Adopted: 302.3 Sidewalks and driveways.

Sidewalks, walkways, stairs, driveways, parking spaces and similar areas shall be kept in a proper state of repair, and maintained free of hazardous conditions.

11. **Violation:** The trash dumpsters are not inside of the required enclosure which screens them from view. To determine the appropriate location and acceptable building materials for such enclosure contact the Planner of the Day at 913-477-7500 or planning@lenexa.com.

Section 4-1-D-2-P-1 Trash Receptacles.

Trash receptacles shall be screened from view by walls or fences in the residential zoning districts and by masonry walls in all other districts. The fence or wall shall be a minimum of 6 feet in height and shall provide complete visual screening and be compatible in material and color with the principal structure on the lot. All receptacles shall be on a paved surface outside the buffer setbacks contained within this Section.

12. **Violation:** Several HVAC vents covers on the outside are damaged and must be replaced.

Section 4-8-D-1 IPMC Adopted:

304.1 Exterior Structure; General.

The exterior of a structure shall be maintained in good repair, structurally sound and sanitary so as not to pose a threat to the public health, safety or welfare.

Corrective Action Dates:

Mold Violations: Professional mold testing in the areas noted above and guest rooms marked with an "X" on the attached spreadsheet must be conducted. **Reports must be submitted to the city no later than January 19, 2026.** If these tests show unacceptable levels of mold, proper remediation must occur, then retesting.

The Corrective Action Date by which **all other violations must be corrected is February 20, 2026**. Each area/guest room where a violation was identified must be reinspected. As repairs are made please coordinate reinspection with the city. Failure to comply with these requirements may result in the issuance of a Notice to Appear in Municipal Court and/or additional enforcement actions, which may include, but are not limited to, closure of the building or affected areas through condemnation.

Please be advised:

- The Lenexa Fire Department has issued a separate report outlining additional violations observed during their inspection. Please note that their compliance deadlines may differ from those outlined in this notice.
- Each violation of the Lenexa City Code may be subject to penalties of up to \$2,500.00 per violation, imprisonment for up to one (1) year, or both. Each day that a violation continues is deemed to be a separate offense.
- You have the right to contest the violations outlined in this notice by requesting a hearing. To do so, you must submit a written request to the City within ten (10) days of the date of this notice. Your request must include the specific reasons supporting your belief that no violations have occurred. Please refer to Lenexa City Code Section 3-5-H-7 for further details on this process.

Thank you for your cooperation in maintaining compliance with City codes and ensuring the safety of your guests and staff. If you have questions regarding this notice, please contact me at 913-477-7701.

Regards,

Angel Whitaker

Angel Whitaker
Community Standards Supervisor

CC: City Building Code Division
Lenexa Fire Prevention Department

Dell Patel, General Manager of Radisson Hotel Lenexa
Via email: rhi_lxks@radissonamericas.com

Virendra Amin
3 Sugar Creek Center Blvd., Suite 100
Sugar Land, TX 77478



Sent via U.S. Postal Service, certified mail, return receipt requested and delivered to the property.

March 6, 2026

Kansas Hotels LLC
12601 W. 95th St.
Lenexa, KS 66215

Rajubhai Patel
1374 Munras Ave
Monterey, CA 93940

Bharat Patel
1893 Fremont Blvd.
Seaside, CA 93955

Nupen Patel
34 N Fazio Way
Spring, TX 77389

Corefirst Bank and Trust
3035 SW Topeka Blvd.
Topeka, KS 66611

Rajubhai Patel,
Resident Agent
12601 W. 95th St.
Lenexa, KS 66215

RE: Radisson Hotel Lenexa Overland Park
12601 W. 95th St.
Lenexa, KS 66215

**NOTICE OF PENDING CONDEMNATION AND
ORDER TO VACATE UNSAFE STRUCTURE**

PURSUANT TO LENEXA CITY CODE SECTION 4-8-D-1, ADOPTING INTERNATIONAL PROPERTY MAINTENANCE CODE § 108.1, THE CITY OF LENEXA HAS INSPECTED THE RADISSON HOTEL, LOCATED AT 12601 WEST 95TH STREET, LENEXA, KANSAS AND HAS DETERMINED THE PROPERTY TO BE UNSAFE, UNFIT FOR HUMAN OCCUPANCY, AND AN IMMINENT THREAT TO THE PUBLIC HEALTH, SAFETY, AND WELFARE. YOU ARE HEREBY NOTIFIED THAT FULL COMPLIANCE MUST BE OBTAINED NO LATER THAN MARCH 25, 2026. FAILURE TO DO SO WILL RESULT IN THE PROPERTY BEING CONDEMNED AND OCCUPANCY PROHIBITED BEGINNING AT 9:00 A.M. ON MARCH 27, 2026.

You are hereby notified that based on inspections conducted by representatives of the City of Lenexa ("City") on September 5, October 14 and 17, November 6, 12 and 21, 2025 and March 3, 2026, the Radisson, located at 12601 West 95th Street, Lenexa, Kansas (hereinafter referred to as "Property") constitutes an imminent threat to the public health, safety and welfare, is unsafe, and is unfit for human occupancy pursuant to Lenexa City Code Section 4-8-D-1. The conditions

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913.477.7500 City Hall / Fax 913.477.7639
www.lenexa.com

and violations observed at the Property are so extensive and of such nature that the building endangers the life, health, property, safety and welfare of hotel guests, employees, and the public.

Inspection and Violations History:

On September 5, 2025, City staff inspected the Property and found numerous City Code violations. Based on that inspection, on September 18, 2025, City staff issued a Notice of Violation, attached as Exhibit A, citing multiple City Code violations and requiring that the violations be corrected by October 17, 2025 (the “Corrective Action Date”). Among the violations were rooms with mold growth and collapsing flooring in the hotel lobby. The Notice of Violation requested a full inspection of the property and further indicated that if the violations were not corrected by the Corrective Action Date, that the City would pursue its legal remedies, including condemning the Property and prohibiting occupancy.

On October 14 and 17, 2025, and November 6, 12, and 21, 2025, City staff conducted a comprehensive inspection of the Property and identified a substantial number of additional code violations. Based on those inspections, on November 24, 2025, City staff issued a new, comprehensive Notice of Violation, attached as Exhibit B, citing multiple City Code violations. Because of extensive mold issues found in multiple conference rooms and common areas, as well as 54 guest rooms, the City requested professional mold testing reports with remediation recommendations to be submitted to the City no later than January 19, 2026, with the remaining violations corrected no later than February 20, 2026. The Notice of Violation indicated that if the violations were not corrected by the Corrective Action Date, that the City would pursue its legal remedies, including condemning the Property and prohibiting occupancy.

No professional mold testing reports of the areas specifically noted in the Notice of Violation dated November 24, 2025 have been submitted to the City and the City has had no contact with Property representatives since January 2, 2026. The City attempted a reinspection on March 3, 2026, but were not permitted to conduct an inspection of the Property at that time. City inspectors were able to observe common areas, including the entry and a guest hallway, as well as the exterior of the property and found that serious life safety violations remain. From this limited inspection, it did not appear that any of the violations were corrected. Further, the Property has been operating without a valid Lenexa Business License since January 1, 2026.

Conditions found at the Property which give rise to the finding that the Property is unsafe and unfit for human occupancy and an immediate threat to the public health, safety, and welfare of hotel guests, employees, and the public, include, but are not limited to, numerous electrical hazards, significant mold throughout the Property, and other general hazards. While a list of these violations is included in the November 24, 2026, Notice of Violation, the list is not comprehensive. A comprehensive list of violations is subject to full inspection of the Property by City staff.

FINAL ORDER TO CORRECT VIOLATIONS:

You are hereby ordered to correct all violations currently existing at the property. Failure to do so by **MARCH 25, 2026**, will result in condemnation of the building and all occupancy prohibited. At a minimum, the City will require the following:

1. Within 7 calendar days from the date of this letter, allow representatives from the City to inspect the entire Property, including, but not limited to, all rooms, floors, storage areas, building systems, and all other areas necessary to identify all Property violations. If you do not allow City representative to inspect the Property, the City will take the necessary steps to obtain access to the Property including but not limited to seeking an administrative search warrant.
2. Engage properly trained and licensed contractors and personnel in the fields of mold remediation, and general contracting, including electrical systems, to correct the violations. City staff must be kept current and appraised of all corrective action work.
3. All corrections and repairs must be performed in a workmanlike manner and, when required, the appropriate reviews, permits and inspections must be obtained.
4. All corrections and repairs will require testing to ensure proper functionality. At a minimum, you must submit written documentation of passed tests for the following systems: elevators and mold remediation. Additional testing may be required by City staff, as needed.
5. The Property must be made safe and fit for human occupancy, which includes, but is not limited to, correcting and repairing all violations. Violations will not be considered corrected until approved by City staff. The Property will not be occupied until a final inspection by the City.
6. Obtain a valid Lenexa Business License.

FAILURE TO COMPLY WITH THIS NOTICE:

Failure to comply with this Notice will result in condemnation of the Property and prohibited occupancy of the building. Prohibited occupancy will be effective at 9:00am on March 27, 2026, at which time, City representatives and the Lenexa Police Department will clear any occupied areas of the Property and secure all doors.

The City may also pursue further enforcement actions, including, but not limited to, administrative abatement, civil penalties, revocation of permits, or other judicial actions including demolition of the Property pursuant to K.S.A. § 12-1750. Please call me at 913-477-7532 if you have questions.

Sincerely,

Scott McCullough
Community Development Director

CC: Dell Patel, General Manager of Radisson Hotel

City of Lenexa / 17101 W. 87th St. Pkwy. / Lenexa, Kansas 66219
913.477.7500 City Hall / Fax 913.477.7639
www.lenexa.com



Sent via U.S. Postal Service, certified mail, return receipt requested and delivered to the property.

March 26, 2026

Kansas Hotels LLC
12601 W. 95th St.
Lenexa, KS 66215

Rajubhai Patel
1374 Munras Ave
Monterey, CA 93940

Bharat Patel
1893 Fremont Blvd.
Seaside, CA 93955

Nupen Patel
34 N Fazio Way
Spring, TX 77389

Rajubhai Patel,
Resident Agent
12601 W. 95th St.
Lenexa, KS 66215

RE: Radisson Hotel Lenexa Overland Park
12601 W. 95th St.
Lenexa, KS 66215

**NOTICE OF CONDEMNATION AND
ORDER TO VACATE UNSAFE STRUCTURE**

PURSUANT TO LENEXA CITY CODE SECTION 4-8-D-1, ADOPTING INTERNATIONAL PROPERTY MAINTENANCE CODE § 108.1, THE CITY OF LENEXA HAS INSPECTED THE RADISSON HOTEL, LOCATED AT 12601 WEST 95TH STREET, LENEXA, KANSAS AND HAS DETERMINED THE PROPERTY TO BE UNSAFE, UNFIT FOR HUMAN OCCUPANCY, AND AN IMMINENT THREAT TO THE PUBLIC HEALTH, SAFETY, AND WELFARE. YOU ARE HEREBY NOTIFIED THAT THE PROPERTY IS CONDEMNED AND OCCUPANCY IS PROHIBITED BEGINNING AT 9:00 A.M. ON MARCH 27, 2026.

You are hereby notified that based on inspections conducted by representatives of the City of Lenexa ("City") on September 5, October 14 and 17, November 6, 12 and 21, 2025 and March 3, 18, and 25, 2026, the Radisson, located at 12601 West 95th Street, Lenexa, Kansas (hereinafter referred to as "Property") constitutes an imminent threat to the public health, safety and welfare, is unsafe, and is unfit for human occupancy pursuant to Lenexa City Code Section 4-8-D-1. The conditions and violations observed at the Property are so extensive and of such nature that the

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913.477.7500 City Hall / Fax 913.477.7639
www.lenexa.com

building endangers the life, health, property, safety and welfare of hotel guests, employees, and the public.

INSPECTION AND VIOLATIONS HISTORY:

On September 5, 2025, City staff inspected the Property and found numerous City Code violations. Based on that inspection, on September 18, 2025, City staff issued a Notice of Violation, attached as Exhibit A, citing multiple City Code violations and requiring that the violations be corrected by October 17, 2025 (the “Corrective Action Date”). Among the violations were rooms with mold growth and collapsing flooring in the hotel lobby. The Notice of Violation requested a full inspection of the property and further indicated that if the violations were not corrected by the Corrective Action Date, that the City would pursue its legal remedies, including condemning the Property and prohibiting occupancy.

On October 14 and 17, 2025, and November 6, 12, and 21, 2025, City staff conducted a comprehensive inspection of the Property and identified a substantial number of additional code violations. Based on those inspections, on November 24, 2025, City staff issued a new, comprehensive Notice of Violation, attached as Exhibit B, citing multiple City Code violations. Because of extensive mold issues found in multiple conference rooms and common areas, as well as 54 guest rooms, the City requested professional mold testing reports with remediation recommendations to be submitted to the City no later than January 19, 2026, with the remaining violations corrected no later than February 20, 2026. The Notice of Violation indicated that if the violations were not corrected by the Corrective Action Date, that the City would pursue its legal remedies, including condemning the Property and prohibiting occupancy.

The City had no contact with Property representatives from January 2, 2026 until March 6, 2026. The City attempted a reinspection on March 3, 2026, but were not permitted to conduct an inspection of the Property at that time. City inspectors were able to observe common areas, including the entry and a guest hallway, as well as the exterior of the property and found that serious life safety violations remain. From this limited inspection, it did not appear that any of the violations were corrected. Further, the Property operated without a valid Lenexa Business License from January 1, 2026 until March 11, 2026. A Notice of Pending Condemnation was provided to Property representatives on March 6, 2026, and detailed what was required for full compliance and to avoid condemnation of the property and occupancy prohibited.

Since the Notice of Pending Condemnation was provided to Property representatives on March 6, 2026, the following has been completed: a business license has been obtained, a boiler permit application has been submitted, and some mold testing reports have been obtained, many of which show very elevated levels of mold.

The City conducted an inspection on March 25, 2026, and found that approximately only 24 of the 144 rooms were able to pass inspection, more instances of mold were discovered, evidence of electrical panel corrosion and evidence that the roof surface is in disrepair. Fire department officials also noted life/safety violations such as marked exit doors that were locked and the annual

sprinkler system inspection and kitchen hood cleaning are both overdue.

Conditions found at the Property which give rise to the finding that the Property is unsafe and unfit for human occupancy and an immediate threat to the public health, safety, and welfare of hotel guests, employees, and the public, include, but are not limited to, numerous electrical hazards, significant mold throughout the Property, and other general hazards. While a list of these violations is included in the November 24, 2026, Notice of Violation, the list is not comprehensive. A comprehensive list of violations is subject to full inspection of the Property by City staff.

CONDEMNATION AND ORDER TO VACATE:

The November 24, 2025 Notice of Violation and March 6, 2026, Notice of Pending Condemnation notified you that the City intended to take legal action, including, but not limited to, condemning the Property and prohibiting its occupancy. Despite multiple warnings, you failed to timely take meaningful action to abate the violations and make the Property safe for occupancy.

The City hereby condemns the Property as an unsafe structure that is unfit for human occupancy pursuant to City Code Section 4-8-D. Any and all occupants are hereby ordered to vacate the Property and the owner is ordered to secure the Property no later than 9:00 a.m. on March 27, 2026. You shall not allow any occupancy of the Property after that time until the Property is made safe and brought into compliance with all local code regulations.

Any failure to comply with the order to vacate may be subject to additional violations and fines. Once vacated, the Property may not be occupied without the written approval of the City.

If you fail to vacate and secure the Property, the City will take the necessary steps to ensure the Property is vacated, including securing the doors of the hotel. Any costs incurred by the City to secure the Property may be assessed against the Property.

A full inspection will occur on Tuesday, March 31, 2026 starting at 10am. At the conclusion of that inspection, the City will provide a comprehensive list of all currently existing violations to be corrected and all other items that must be completed before occupancy can be restored.

Contractors will be permitted inside the structure to perform work only during the hours of 7a.m. to 7p.m. after the comprehensive inspection.

FAILURE TO COMPLY WITH THIS NOTICE:

The City may also pursue further enforcement actions, including, but not limited to, administrative abatement, civil penalties, revocation of permits, or other judicial actions including demolition of the Property pursuant to K.S.A. § 12-1750. Please call me at 913-477-7532 if you have questions.

City of Lenexa / 17101 W. 87th St. Pkwy. / Lenexa, Kansas 66219
913.477.7500 City Hall / Fax 913.477.7639
www.lenexa.com

Sincerely,

Scott McCullough
Community Development Director

CC: Dell Patel, General Manager of Radisson Hotel



Post Condemnation Inspection Report and Notice of Outstanding Violations

Sent via U.S. Postal Service, certified mail, return receipt requested and emailed to individuals listed.

April 3, 2026

Kansas Hotels LLC
12601 W. 95th St.
Lenexa, KS 66215

Rajubhai Patel
1374 Munras Ave
Monterey, CA 93940

Bharat Patel
1893 Fremont Blvd.
Seaside, CA 93955

Nupen Patel
34 N Fazio Way
Spring, TX 77389

Rajubhai Patel,
Resident Agent
12601 W. 95th St.
Lenexa, KS 66215

RE: Radisson Hotel Lenexa Overland Park
12601 W. 95th St.
Lenexa, KS 66215

Dear Property Owner(s),

The City of Lenexa, Kansas, through its Community Standards, Building Code, and Fire Prevention Divisions, has conducted more than ten separate inspections of your hotel since September 2025. Following several inspections, the City provided detailed documentation of code violations found during the inspections, including a spreadsheet detailing issues room by room. However, most of these violations have remained and the City has identified additional violations with each inspection.

On March 27, 2026, the City determined that the conditions at the property were severe enough to pose a risk to the life, health, and safety of occupants. As a result, the hotel was condemned and occupancy of the building was prohibited. A subsequent inspection was conducted on March 31, 2026, when all of the areas of the hotel were available for inspection.

The violations found during inspections over the last six months should be familiar as this hotel was also condemned in September 2021 while under the current ownership with several of the same issues present – significant and widespread areas of mold, fire system deficiencies, building systems in disrepair (electrical, plumbing, HVAC), significant roof issues, etc. This recent series of inspections since September 2025 has yielded evidence of many of the same symptoms of larger issues with the building.

Based on the issues found during the numerous inspections over the last six months and the fact that many of the same issues have returned only four years after the last condemnation of the building, it

appears the building is failing in multiple ways and is not safe for occupancy. The root causes of the reoccurring mold and building systems failures must be diagnosed, identified, and resolved. To that end, before occupancy can be reestablished, the City is requiring the following:

Forensic Reports and Subsequent Action Required Prior to Occupancy

Engage a professional engineering firm or firms acceptable to the city to analyze/diagnose/test the following:

- A. Water intrusion through the building envelope, including the roof, exterior walls, and slab-on-grade floors. The analysis of the roof shall specifically include, but is not limited to, the entire roof membrane(s), skylights, mechanical system protrusions, and roof drains.
- B. Moisture control within the building - condensation from the mechanical systems of the common areas and individual guest rooms and ventilation to manage interior moisture levels and indoor air quality.
- C. Disrepair of existing mechanical, electrical (corroded breaker panels and components), and plumbing system components. An assessment and testing of the entirety of these systems shall be made and included in the report.
- D. Soft or compromised areas in above-grade floor assemblies such as in the common area near the work out room and in guest hallways in the 100-400 wings.

Such assessments may take licensed engineers with expertise in multiple disciplines such as mechanical, electrical, environmental, structural, building science, industrial hygiene, and/or a licensed architect. Submit a professional stamped (engineer or architect), written forensic report(s) detailing issues and repair solutions for all the items noted above. All repairs must be completed by qualified professionals to the City's satisfaction prior to occupancy.

Section 4-8-D-4 IPMC Adopted: 104.2.1 Technical Assistance

Where the Code Official finds evidence of conditions potentially harmful to building occupants, including, but not limited to, vermin infestation, uncleanliness, elevated mold levels or structural defects, the Code Official is authorized to require the owner or owner's authorized agent to provide, without charge to the jurisdiction, a technical opinion and report prepared by a qualified engineer, specialist, laboratory, or fire safety specialty organization acceptable to the Code Official. The technical opinion and report shall analyze the design, operation, or use of the building or premises and the facilities and appurtenances situated thereon, to recommend necessary changes.

Violations to be Resolved Prior to Occupancy

Please note that while the City has attempted to thoroughly inspect and report on currently existing violations, there may be other violations discovered or observed through the required building assessment noted above and this list is not meant to be exhaustive. Because of the size and fundamental issues plaguing this property, the City has found additional areas in violation at each inspection. These are typically not "new" violations, but rather a new location where the violation exists. For example: mold has been found in a new location at each inspection. Until the root causes of these issues are fully discovered and repaired, new violations will likely be identified at each inspection.

The violations are listed below with a general location given. Please see the attached spreadsheet for more detailed locations.

1. **Violation:** Several areas of the hotel were recently mold tested and received a mold score higher than 110 placing them in an orange or red category. Additionally, more mold was observed in the fitness center, rooms/offices in the unfinished wing of 100, guest room 226 and the women's bathroom near the guest check-in desk and all must be tested. Lastly, all rooms (guest or conference rooms) that are abutting a room with a mold test result in the red category must also be tested given the shared walls and nature of mold growth.

Note: A professional mold assessment, including remediation recommendations prepared by a certified mold inspector or industrial hygienist, must be submitted to the City and all recommendations followed. Remediation must be performed by a professional mold specialist.

Section 4-8-D-1 IPMC Adopted: 305.1 Interior Surfaces, General.

The interior of a structure and equipment therein shall be maintained in good repair, structurally sound and in a sanitary condition.

Section 4-8-D-4 IPMC Adopted: 104.2.1 Technical Assistance (see above for full code language)

2. **Violation:** A new boiler was installed without a permit or inspection. Once a permit is issued by the City, the boiler must be inspected by the City and pass a City and State of Kansas inspection.

Section 4-8-A-4 IBC Adopted: 105.1 Required, permit.

Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical, plumbing, fire alarm, fire detection, automatic fire suppression, or LP gas system, the installation of which is regulated by this Code, or to cause any such work to be done, shall first make application to the Building Official and obtain the required permit and licenses.

3. **Violation:** A portion of the flooring in the hotel lobby, between the gym and conference center, is in disrepair, and the temporary repair is not compliant with City code. Complete floor repairs must be made to this area, and any other areas in this corridor that are not stable under normal load.

Section 4-8-D-1 IPMC Adopted: 305.4 Stairs and Walking Surfaces

Every stair, ramp, landing, balcony, porch, deck or other walking surface shall be maintained in sound condition and in good repair.

4. **Violation:** Ceiling areas, walls and trim throughout the hotel have visible damage, some caused by water. Several guest room bathrooms have broken or damaged tiles on the walls and floors. Many areas of laminate flooring in the 700/800 wing are not in good repair. The railing around the pool and hot tub have many areas of rust.

Section 4-8-D-1 IPMC Adopted: 305.1 Interior Surfaces, General.

The interior of a structure and equipment therein shall be maintained in good repair, structurally sound and in a sanitary condition.

5. **Violation:** The HVAC systems in several guest rooms do not work as intended.

Section 4-8-D-1 IPMC Adopted: 603.1 Mechanical equipment and appliances.

Mechanical equipment, appliances, fireplaces, solid fuel-burning applications, cooking appliances and water heating appliances shall be properly installed and maintained in a safe, working condition and be capable of performing the intended function.

6. **Violation:** The second elevator, to the right of the check-in desk, is out of service and has been for an extended period. Hydraulic fluid is leaking at several points in both systems in the elevator room.

Section 4-8-D-17 Elevators

606.1 General. Elevators, dumbwaiters and escalators shall be maintained in compliance with ASME A17.1. The most current certification of inspection shall be on display at all times within the elevator or attached to the escalator or dumbwaiter, or the certificate shall be available for public inspection in the office of the building operator. The inspection and tests shall be performed at not less than the periodical intervals listed in Table 606. 1(1).

7. **Violation:** Several plumbing fixtures are in disrepair and/or are missing. Ensure all bathrooms are fully functional.

Section 4-8-D-1 IPMC Adopted: 504.1 Plumbing Systems and Fixtures, General

Plumbing fixtures shall be properly installed and maintained in working order, and shall be kept free of obstructions, leaks and defects and be capable of performing the function for which such plumbing fixtures are designed. Plumbing fixtures shall be maintained in a safe, sanitary and functional condition.

8. **Violation:** Several GFCI electrical outlets do not work as intended in guestroom bathrooms. Several open J boxes were identified behind the bathroom mirrors. Loose electrical outlets in guest hallways. Corrosion exists on multiple breakers and in multiple breaker panels.

Section 4-8-D-16 Electrical General: 605.1 General

All electrical equipment, devices, and fixtures shall be properly installed and maintained in a safe working condition, and shall be capable of performing the intended function.

9. **Violation:** The roof is in disrepair in many locations and has caused interior deterioration and damage.

Section 4-8-D-13 Exterior Structure: 304.7 Roof and drainage.

The roof and flashing shall be sound, tight and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure. Roof drains, gutters and downspouts shall be maintained in good repair and free from obstructions. Roof water shall not be discharged in a manner that creates a public nuisance. Roof water and water from intermittent sources such as discharges from sump pumps, foundation drains, gutters, downspouts, and similar sources shall not discharge closer than four (4) feet from

any adjoining property line. Lawn sprinkle discharges shall be directed away from adjoining property.

10. **Violation:** A few rooms shown on the City- approved drawings for the building that are shown as guest rooms have now become storage rooms.

Section: 4-8-A-7 Use and Occupancy, 111.1 Use and Occupancy.

No new building or structure shall be used or occupied, and no change in the existing occupancy classification of an existing building or structure or portion thereof shall be made, and no re-occupancy of existing buildings or tenant spaces shall occur until the Building Official has issued a certificate of occupancy therefore as provided herein. Issuance of a certificate of occupancy shall not be construed as an approval of a violation of the provisions of this Code or of other ordinances of the jurisdiction.

11. **Violation:** Several hotel guest rooms are being used for long-term occupancy. This property is zoned and licensed as a hotel as defined below; permanent residency is not allowed in the hotel.

Section 4-3-C-3 Commercial Uses, Hotel or Motel.

An establishment used, maintained or advertised as a place where sleeping accommodations are supplied for short-term rent (no more than 28 consecutive days) to tenants, in which rooms are furnished for the accommodation of such guests, which may have as an accessory use 1 or more dining rooms, and which excludes individual kitchen facilities.

12. **Violation:** Many fire rated doors in the corridors have a gap at the bottom that exceed the $\frac{3}{4}$ " maximum per the National Fire Protection Agency; Standard 80; Standard for Fire Doors and Other Opening Protectives (NFPA-80). Section 4.8.4 from NFPA-80 states, "clearance under the bottom of a door shall be a maximum of $\frac{3}{4}$ in."

Section 4-8-D-1 IPMC Adopted: 703.3 Fire- Resistance Ratings, Maintenance.

The required fire-resistance rating of fire-resistance-rated construction, including walls, firestops, shaft enclosures, partitions, smoke barriers, floors, fire-resistive coatings and sprayed fire-resistant materials applied to structural members and joint systems, shall be maintained. Such elements shall be visually inspected annually by the *owner* and repaired, restored or replaced where damaged, altered, breached or penetrated. Records of inspections and repairs shall be maintained. Where concealed, such elements shall not be required to be visually inspected by the *owner* unless the concealed space is accessible by the removal or movement of a panel, access door, ceiling tile or entry to the space. Openings made therein for the passage of pipes, electrical conduit, wires, ducts, air transfer and any other reason shall be protected with *approved* methods capable of resisting the passage of smoke and fire. Openings through fire-resistance-rated assemblies shall be protected by self- or automatic-closing doors of *approved* construction meeting the fire protection requirements for the assembly.

13. **Violation:** Marked sliding glass door exits did not function and/or are locked.

Section 4-8-B-1 IFC section 1003.6 Means of egress continuity.

The path of egress travel along a *means of egress* shall not be interrupted by a building element other than a *means of egress* component as specified in this chapter. Obstructions shall not be placed in the minimum width or required capacity of a *means of egress* component except

projections permitted by this chapter. The minimum width or required capacity of a *means of egress* system shall not be diminished along the path of egress travel.

14. **Violation:** Unfinished areas of the 100 wing are missing required ceiling tiles and drywall which are required for the sprinkler system to activate in the event of a fire.

Section 4-8-B-1 IFCA; 903.3.1.1 National Fire Protection Association (NFPA) 13 Sprinkler systems.

Where the provisions of this code require that a building or portion thereof be equipped throughout with an *automatic sprinkler system* in accordance with this section, sprinklers shall be installed throughout in accordance with NFPA 13.

15. **Violation:** Hood over cooking appliances in the kitchen is overdue for its quarterly cleaning report. Additionally, the sprinkler system is overdue for its annual inspection. The 5 year standpipe flow test and 9 gauges that were noted for replacement on the 12/27/24 inspection are required to be done and proof of such provided.

Section 4-8-B-1 IFC section 901.6 Inspection, Testing and Maintenance

Fire detection and alarm systems, emergency alarm systems, gas detection systems, fire-extinguishing systems, mechanical smoke exhaust systems and smoke and heat vents shall be maintained in an operative condition at all times, and shall be replaced or repaired where defective. Nonrequired *fire protection systems* and equipment shall be inspected, tested and maintained or removed.

16. **Violation:** Fire door at south end of guest hall 200 does not close properly.

Section 4-8-B-1 IFC section 701.7 Unsafe conditions

Where any components in this chapter are not maintained and do not function as intended or do not have the *fire resistance* or the resistance to the passage of smoke required by the code under which the building was constructed, remodeled or altered, such component(s) or portion thereof shall be deemed an unsafe condition, in accordance with [Section 111.1.1](#). Components or portions thereof determined to be unsafe shall be repaired or replaced to conform to that code under which the building was constructed, remodeled, altered or this chapter, as deemed appropriate by the *fire code official*. Where the condition of components is such that any building, structure or portion thereof presents an imminent danger to the occupants of the building, structure or portion thereof, the *fire code official* shall act in accordance with [Section 111.2](#).

17. **Violation:** Light in red stairwell, second floor does not light upon entry.

Section 4-8-B-1 IFC section 1008.2.1 Illumination level under normal power

The means of egress illumination level shall be not less than 1 footcandle (11 lux) at the walking surface.

18. **Violation:** Fire panel displayed supervisory alarm for smoke detectors in various rooms.

Section 4-8-B-1 IFC section 907.8.5 Inspection, Testing and Maintenance

The building *owner* shall be responsible to maintain the fire and life safety systems in an operable condition at all times. Service personnel shall meet the qualification requirements of [NFPA 72](#) for

inspection, testing and maintenance of such systems. Records of inspection, testing and maintenance shall be maintained.

Violations That May Be Resolved Post Occupancy:

19. **Violation:** The curbs and walkways are in disrepair in multiple locations.

Section 4-8-D-1 IPMC Adopted: 302.3 Sidewalks and driveways.

Sidewalks, walkways, stairs, driveways, parking spaces and similar areas shall be kept in a proper state of repair, and maintained free of hazardous conditions.

20. **Violation:** The trash dumpsters are not inside of the required enclosure which screens them from view. To determine the appropriate location and acceptable building materials for such enclosure contact the Planner of the Day at 913-477-7500 or planning@lenexa.com.

Section 4-1-D-2-P-1 Trash Receptacles.

Trash receptacles shall be screened from view by walls or fences in the residential zoning districts and by masonry walls in all other districts. The fence or wall shall be a minimum of 6 feet in height and shall provide complete visual screening and be compatible in material and color with the principal structure on the lot. All receptacles shall be on a paved surface outside the buffer setbacks contained within this Section.

21. **Violation:** Several retaining walls on the property are in disrepair.

Section 4-8-D-1 IPMC Adopted: 302.7 Accessory structures.

Accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

Corrective Action Dates:

The Corrective Action Date by which **all pre-occupancy violations must be corrected is June 1, 2026. The Corrective Action Date by which all post-occupancy violations must be corrected is July 1, 2026.** Failure to comply with these requirements may result in additional charges being filed in Municipal Court and/or additional enforcement actions.

Please be advised:

- Contractors are permitted inside the building Monday- Friday, 7a.m. to 7p.m. to perform required services while the building remains condemned. Should a contractor desire to work outside these guidelines the city may grant such permission; the contractor should contact the city directly.
- Each violation of the Lenexa City Code may be subject to penalties of up to \$2,500.00 per violation, imprisonment for up to one (1) year, or both. Each day that a violation continues is deemed to be a separate offense.
- You have the right to contest the violations outlined in this notice by requesting a hearing. To do so, you must submit a written request to the City within ten (10) days of the date of this notice. Your request must include the specific reasons supporting your belief that no violations have occurred. Please refer to Lenexa City Code Section 3-5-H-7 for further details on this process.

If you have questions regarding this notice, please contact me at 913-477-7532.

Regards,

Scott McCullough

Scott McCullough
Community Development Director

CC: Lenexa Fire Prevention Division, Lenexa Fire Department

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