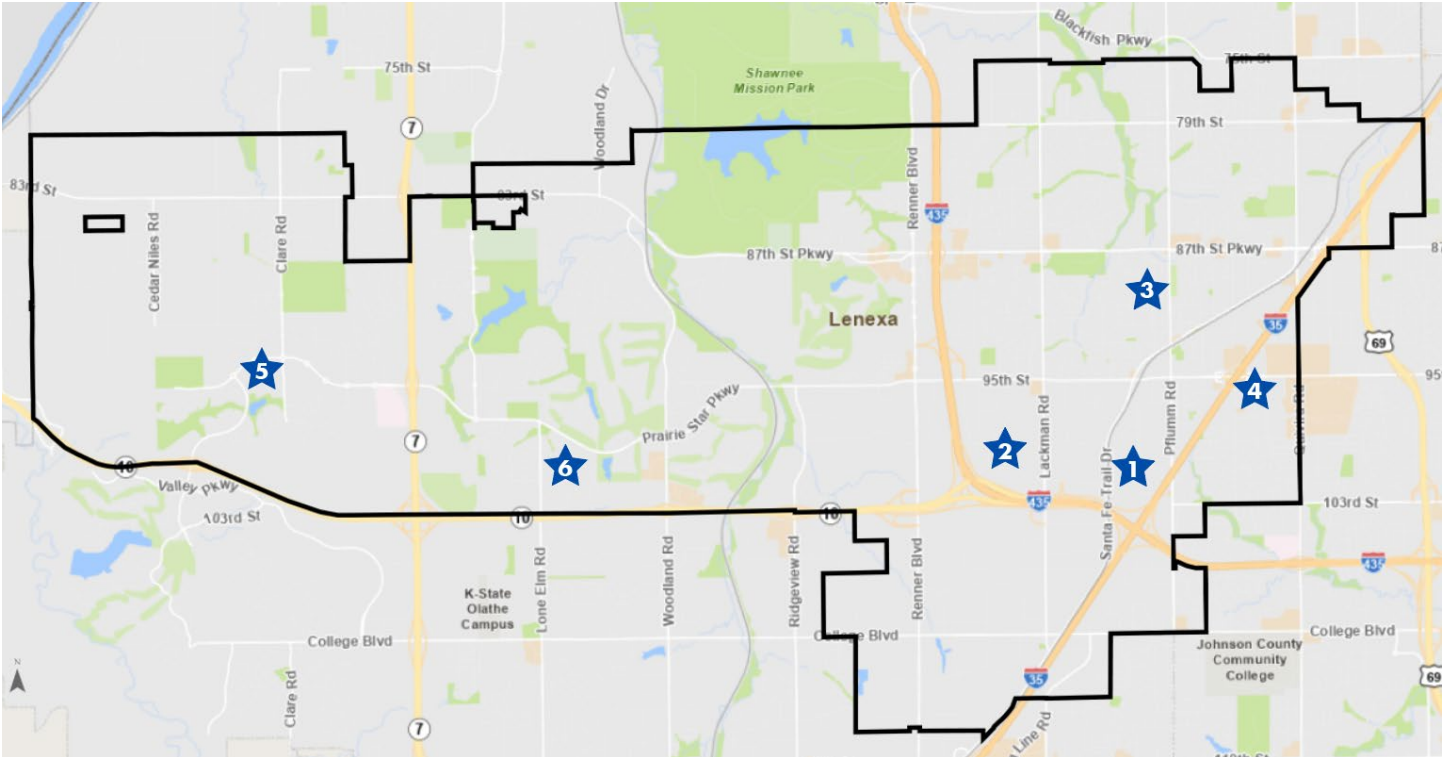


**AGENDA MAP**



**CALL TO ORDER**

**ROLL CALL**

**APPROVE MINUTES**

**CONSENT AGENDA**

*All matters listed within the consent agenda have been distributed to each member of the Planning Commission for review, are considered to be routine, and will be enacted by one motion with no separate discussion. If a member of the Planning Commission or audience desires separate discussion on an item, that item may be removed from the consent agenda and placed on the regular agenda.*

- 1. Heartland Coca-Cola Parking Lot Expansion - Consideration of a final plan for a parking lot expansion on property located at 10001 Industrial Boulevard within the BP-2, Planned Manufacturing District. PL23-12F**

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## REGULAR AGENDA

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2. **WITHDRAWN: KC Power Facility - Consideration of a special use permit for a youth volleyball training facility on property located at 15600 West 99th Street within the BP-2, Planned Manufacturing District. SU23-05**
3. **Sarah's Busy Bees LLC - Consideration of a special use permit for an in-home daycare on property located at 8909 Park Street within the R-1, Single-Family Residential District. SU23-04**
4. **The Mint - Consideration of a rezoning and a final plan for an event space located at 12345 West 95th Street, from the CP-O, Planned General Office, and the CP-3, Planned Regional Commercial, districts to the CP-1, Planned Neighborhood Commercial District. RZ23-04 & PL23-13F**
5. **Canyon Creek Commercial - Consideration of a preliminary plan for a commercial development located at the southwest corner of Praire Star Parkway and Shady Bend Road within the CP-1, Planned Neighborhood Commercial District. PL23-04P**

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## CONTINUED APPLICATIONS (NO DISCUSSION)

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6. **Raman 101<sup>st</sup> Street Single-Family - Consideration of a preliminary plat for a single-family subdivision located at the northeast corner of 101<sup>st</sup> Street and Lone Elm Road within the R-1, Single-Family Residential District. PT23-03P**

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## STAFF REPORTS

7. **Discuss/debrief the Comprehensive Plan update presented at the May 9, 2023 joint session with the City Council.**

## ADJOURN

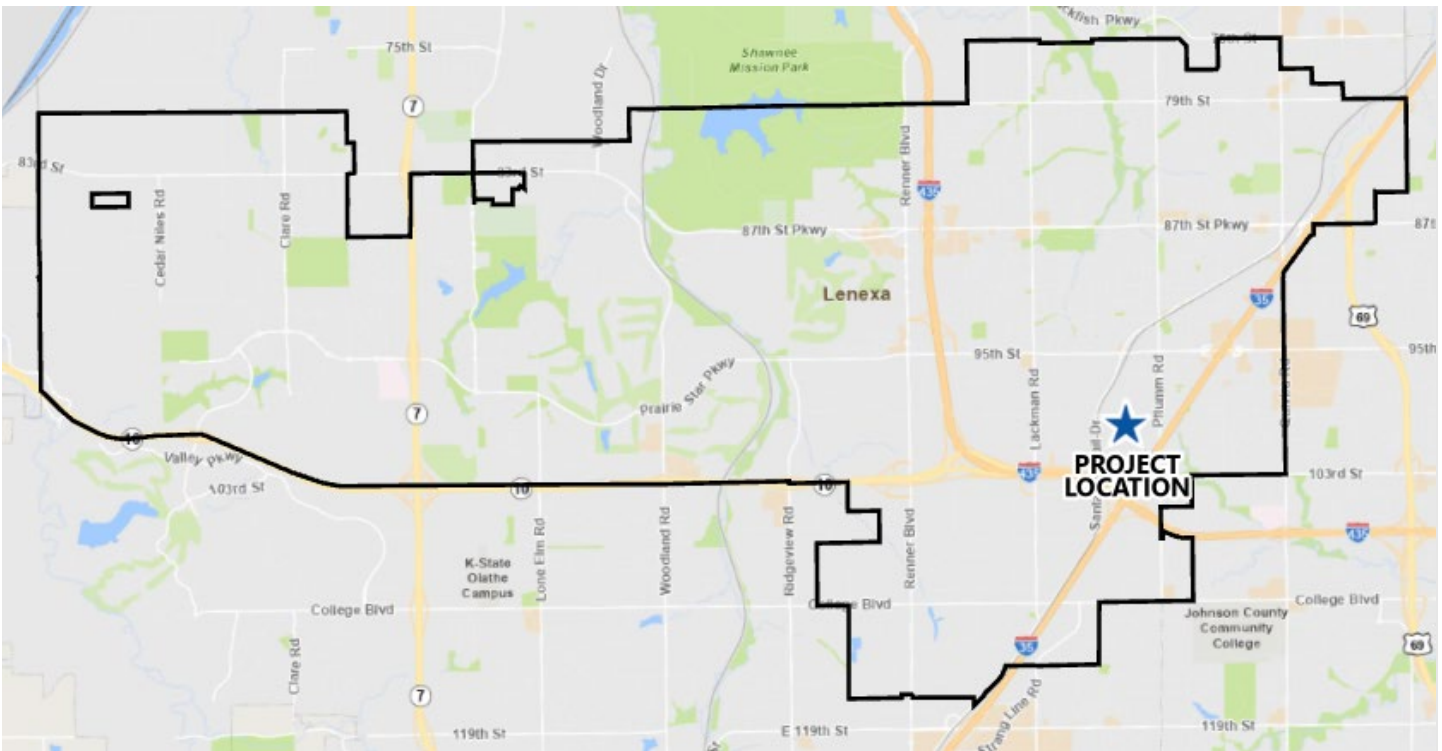
## APPENDIX

*If you have any questions about this agenda, please contact Stephanie Kisler, Planning Manager, at [skisler@lenexa.com](mailto:skisler@lenexa.com).*

*If you need any accommodations for the meeting, please contact the City ADA Coordinator at 913-477-7550 at least 48 hours prior to the meeting.  
Kansas Relay Service: 800-766-3777*

# HEARTLAND COCA-COLA PARKING LOT EXPANSION

<b>Project #:</b>	PL23-12F	<b>Location:</b>	10001 Industrial Boulevard
<b>Applicant:</b>	Chip Corcoran, RIC	<b>Project Type:</b>	Final Plan
<b>Staff Planner:</b>	Kimberly Portillo, AICP	<b>Proposed Use:</b>	Manufacturing



## PROJECT SUMMARY

The applicant proposes to construct an approximately 69,000 SF parking lot addition for the Heartland Coca-Cola bottling facility at 10001 Industrial Boulevard. The new parking area will add 18 standard parking stalls and 30 semi-truck parking stalls. The project includes associated buffer and parking lot landscaping. The applicant also requests a deviation to the BP-2 Zoning District open space requirement (11.6% proposed where 25% is required) as set forth in the Unified Development Code (UDC). Staff supports the proposed deviation in exchange for additional landscaping beyond code requirements elsewhere on the site. This project does not require a Public Hearing.

**STAFF RECOMMENDATION: APPROVAL**

**SITE INFORMATION**

- The existing 189,500 SF industrial building was built in 1969.
- Past applications include:
  - PT14-08F – Final Plat of Mid-America Container to combine two unplatted parcels into a single platted lot. The plat was approved by the Planning Commission on January 9, 2015 and recorded with Johnson County Register of Deeds on April 27, 2015.
  - PL14-04FSR – Staff level approval was granted on December 22, 2014 for a fenced storage area and additional parking. The additional area was not built and approval expired after two years.

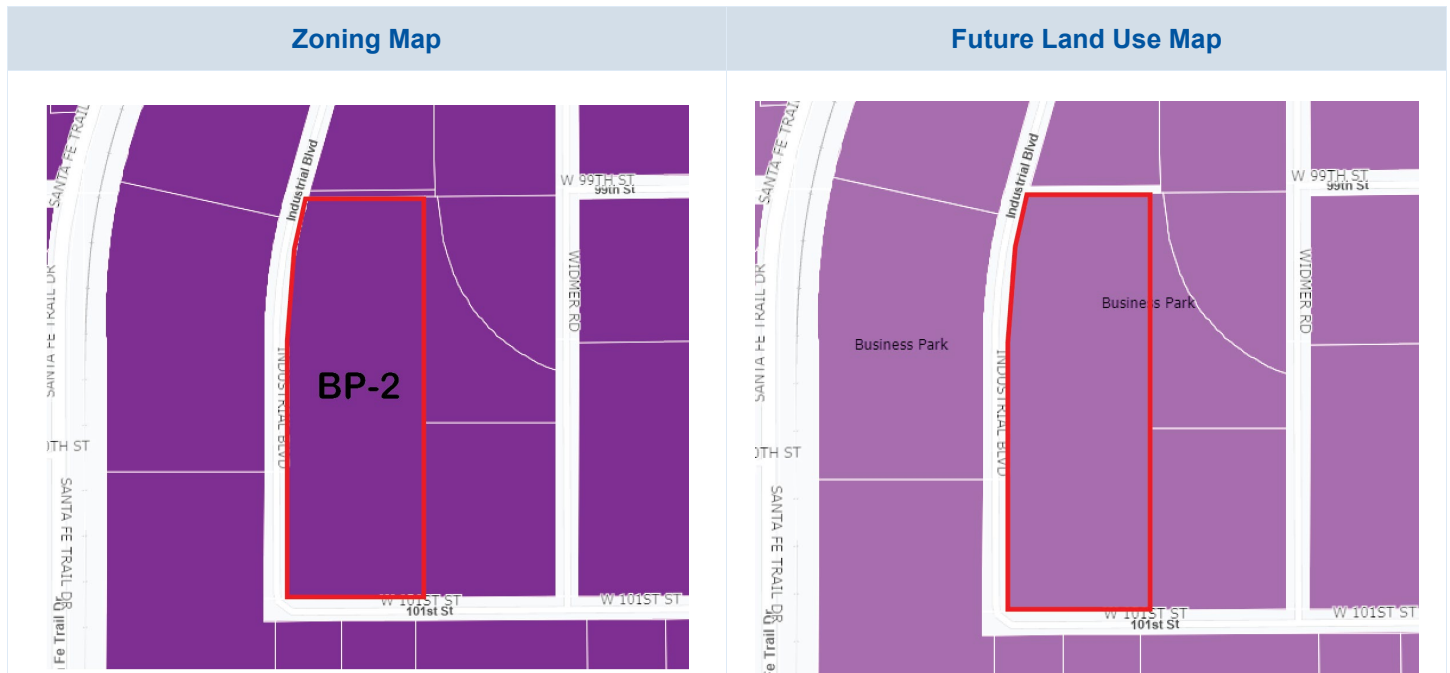
LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
8.8	189,500	BP-2	Business Park



**Exhibit 1: Aerial Image of Subject Site**

## LAND USE REVIEW

The existing building is a bottling and packaging facility for Coca-Cola beverages and is classified as a manufacturing use within the Unified Development Code. This use is allowed within the BP-2, Planned Manufacturing District.



**TABLE 1: COMPARISON OF SURROUNDING PROPERTIES**

Vicinity	Land Use Designation	Zoning	Current Use
<b>Subject Property</b>	Business Park	BP-2, Planned Manufacturing District	Industrial
<b>North</b>	Business Park	BP-2, Planned Manufacturing District	Industrial
<b>South</b>	Business Park	BP-2, Planned Manufacturing District	Office
<b>East</b>	Business Park	BP-2, Planned Manufacturing District	Commercial
<b>West</b>	Business Park	BP-2, Planned Manufacturing District	Industrial

The proposed use is aligned with the land use designation and zoning district. This site is within an industrial area with similar uses in the vicinity. The use of the site as a manufacturing facility has been previously approved and is not changing. The only change proposed with this final plan is the addition of more parking.

## FINAL PLAN REVIEW

The final plan includes additional passenger vehicle parking for employees, semi-truck parking, and landscaping. Heartland Coca-Cola previously had a parking agreement with an adjacent property that allowed them to park trucks in a parking lot across Industrial Boulevard. The owner of that lot has chosen not to continue this arrangement as they consider expansion of their own facilities. Heartland Coca-Cola proposes this 1.58-acre asphalt parking lot expansion to accommodate parking of the trucks that were previously kept across the street. The truck trailers are typically parked at the site for 24 to 48 hours between trips from other Heartland Coca-Cola distribution centers.

### DIMENSIONAL STANDARDS

Parking areas must allow adequate setback to accommodate required landscape buffers and open space. The proposed layout is in compliance with landscape buffer requirements; however, the applicant is requesting a deviation to the required open space, which is discussed in the *Deviations* section of the staff report. Parking stall dimension depth and width are in compliance with Section 4-1-D-1-O Vehicle Parking Area Design Standards of the Unified Development Code.

TABLE 2: SETBACK ANALYSIS		
Perimeter	Required Landscape Area	Proposed Setback
North (interior lot line)	10 feet	11.5 feet
East (interior lot line)	10 feet	41.6 feet
South	(N/A) No changes to south half of development site	No change
West (right-of-way)	20 feet	27.5 to 66.1 feet

### TRAFFIC, ACCESS, AND PARKING

A new drive approach is proposed along Industrial Boulevard for access to the truck trailer parking area. Staff would note that the entrance width shown slightly exceeds the City’s standards and will need to meet these standards at permit submittal.

This is an industrial area that experiences high volumes of truck traffic and often has semi-trucks parked on the side of the street to service various businesses in the area. There are not currently sidewalks along Industrial Boulevard and given the industrial nature of the area and with consideration to the relatively small scale of development proposed with this application, staff is not recommending new public sidewalks to be installed for this parking addition. The central part of the building along the west façade houses several overhead dock doors, which trucks access directly from Industrial Boulevard.

There are two areas for employee parking, which are located at the southwest and northwest corners of the building. The new employee parking stalls will add on to the northwest parking area. The site has an existing deficiency for passenger vehicle parking stalls. This parking lot expansion will not completely eradicate the deficit; however, it will bring the site closer to compliance.

<b>TABLE 3: PARKING ANALYSIS</b>						
<b>Land Use</b>	<b>Parking Formula</b>	<b>Required Parking</b>	<b>Existing Parking</b>	<b>Existing Deficit</b>	<b>Proposed Parking</b>	<b>Proposed Deficit</b>
Manufacturing	1 per 1,000 SF	190	67	123	85	105

**STORMWATER**

Stormwater management features are being added to the site to address the new impervious area created. These features include vegetated swales, native vegetation, and a dry detention basin.

**FIRE PREVENTION**

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal.

**LIGHTING**

The applicant is not proposing any additional lighting. The facility operates 24/7 and is comfortable that there is sufficient ambient light in the area so that there are no security issues. The applicant stated they have not experienced any safety or security issues at the site thus far.

**LANDSCAPING**

In exchange for a deviation from the open space requirements, the applicant will provide additional landscaping beyond what is required by code along the street frontage.

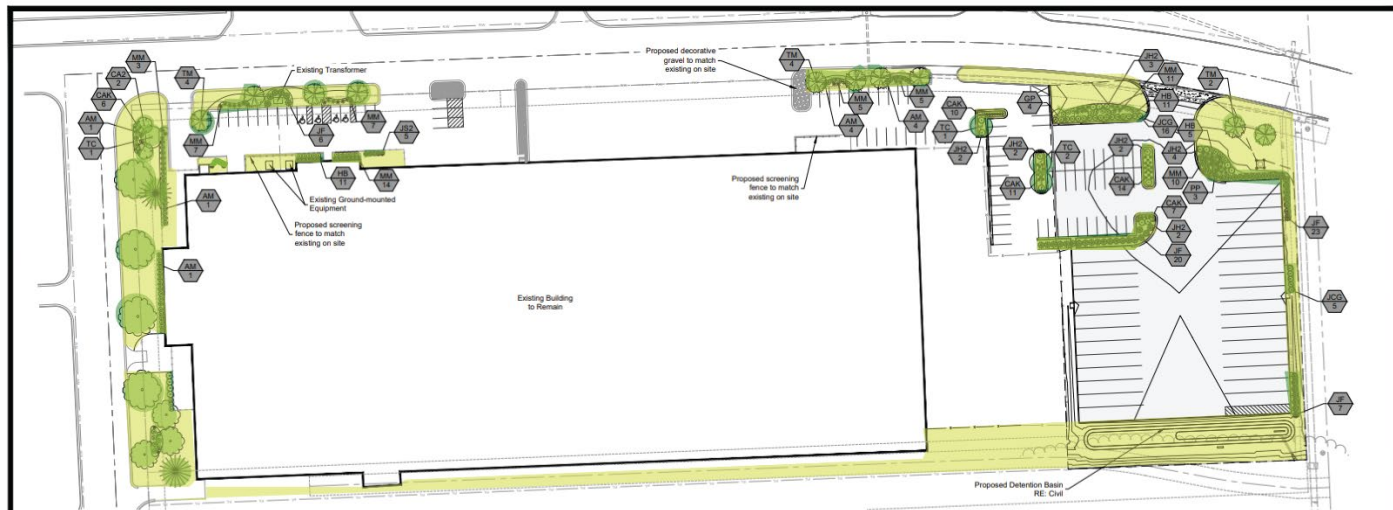
Additional landscaping beyond code requirements:

- A landscape area at the southwest corner with 1 shade tree, 2 ornamental trees, and 10 shrubs.
- 34 shrubs beyond required perimeter planting standard around the foundation on the west façade.
- 34 shrubs beyond required perimeter planting standard around the foundation on the south façade.

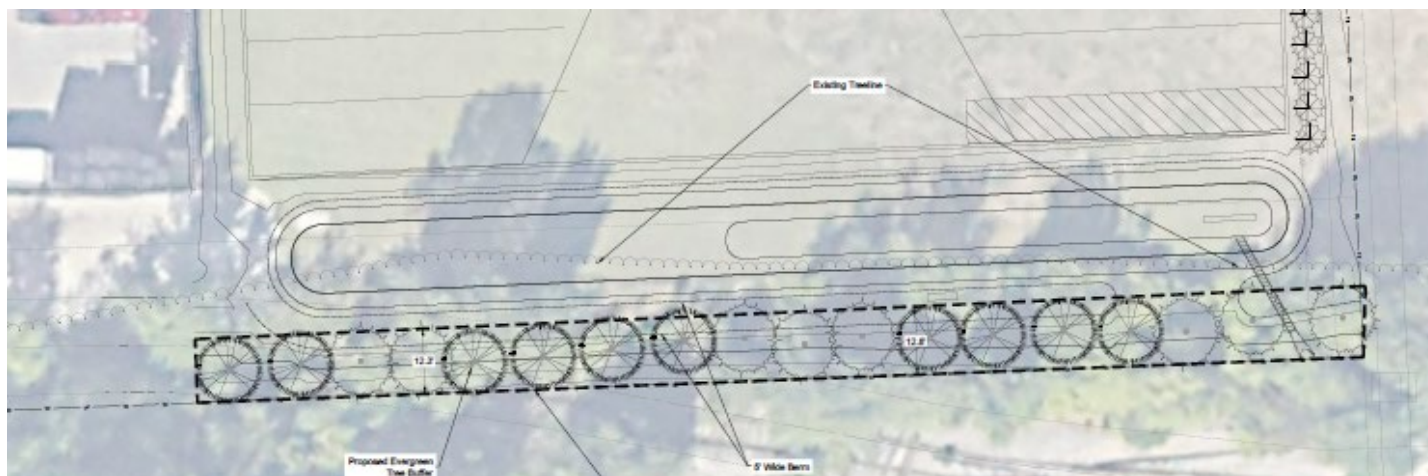
No Land Use Intensity (LUI) buffers are required given the industrial nature of surrounding uses. A ten-foot perimeter landscape buffer is required around interior lot lines that abut other lots; this would apply to the north and east property lines. An existing tree line along the east property line served as a buffer between the site and a rail spur. The tree line included low quality volunteer trees and scrub. The existing vegetation will be removed and replaced with a row of evergreen trees, as shown in Exhibit 3.

Although the work area for the parking lot is limited to the northern half of the site, the southern half will also receive some landscape enhancements to bring the full length of Industrial Boulevard and 101<sup>st</sup> Street into compliance with perimeter planting requirements.

Internal parking lot landscaping is provided in compliance with the Unified Development Code. Each landscape island is required to have one tree at a minimum. Staff is allowing the applicant to modify placement of the required trees so that landscape islands near truck drive aisles do not have trees out of concern that trees in these areas may be easily damaged by truck movements. The required number of trees are provided throughout other islands.



**Exhibit 2: Landscape Plan**



**Exhibit 3: Row of evergreens along east property line.**

## DEVIATIONS

The applicant is requesting a deviation from the BP-2 Zoning District open space requirement. To offset the deficiency of open space, the applicant agreed to provide additional landscaping on other areas of the site as discussed in the Landscaping section of this staff report. Staff supports the deviation with the proposed landscaping.

TABLE 4: OPEN SPACE ANALYSIS			
Zoning District	Required Open Space	Proposed Open Space	Difference
BP-2	25%	11.6%	- 13.4



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## REVIEW PROCESS

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- The Planning Commission is the final authority for approval of this project.
- The applicant should inquire about additional City requirements, such as permits and development fees.

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## RECOMMENDATION FROM PROFESSIONAL STAFF

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- ★ **Staff recommends approval of the proposed Final Plan for Heartland Coca-Cola Parking Lot Expansion.**
  - This is a request for a final plan for a parking lot expansion at the Heartland Coca-Cola facility.
  - The project is consistent with Lenexa's goals through ***Responsible Economic Development*** to create ***Thriving Economy***.
  - This final plan includes a deviation request to the open space requirement of the zoning district.

### FINAL PLAN

Staff recommends **approval** of the final plan for PL23-12F – **Heartland Coca-Cola Parking Lot Expansion** at 10001 Industrial Boulevard, to support the existing manufacturing use, with a deviation to allow 11.6% open space where 25% is required.

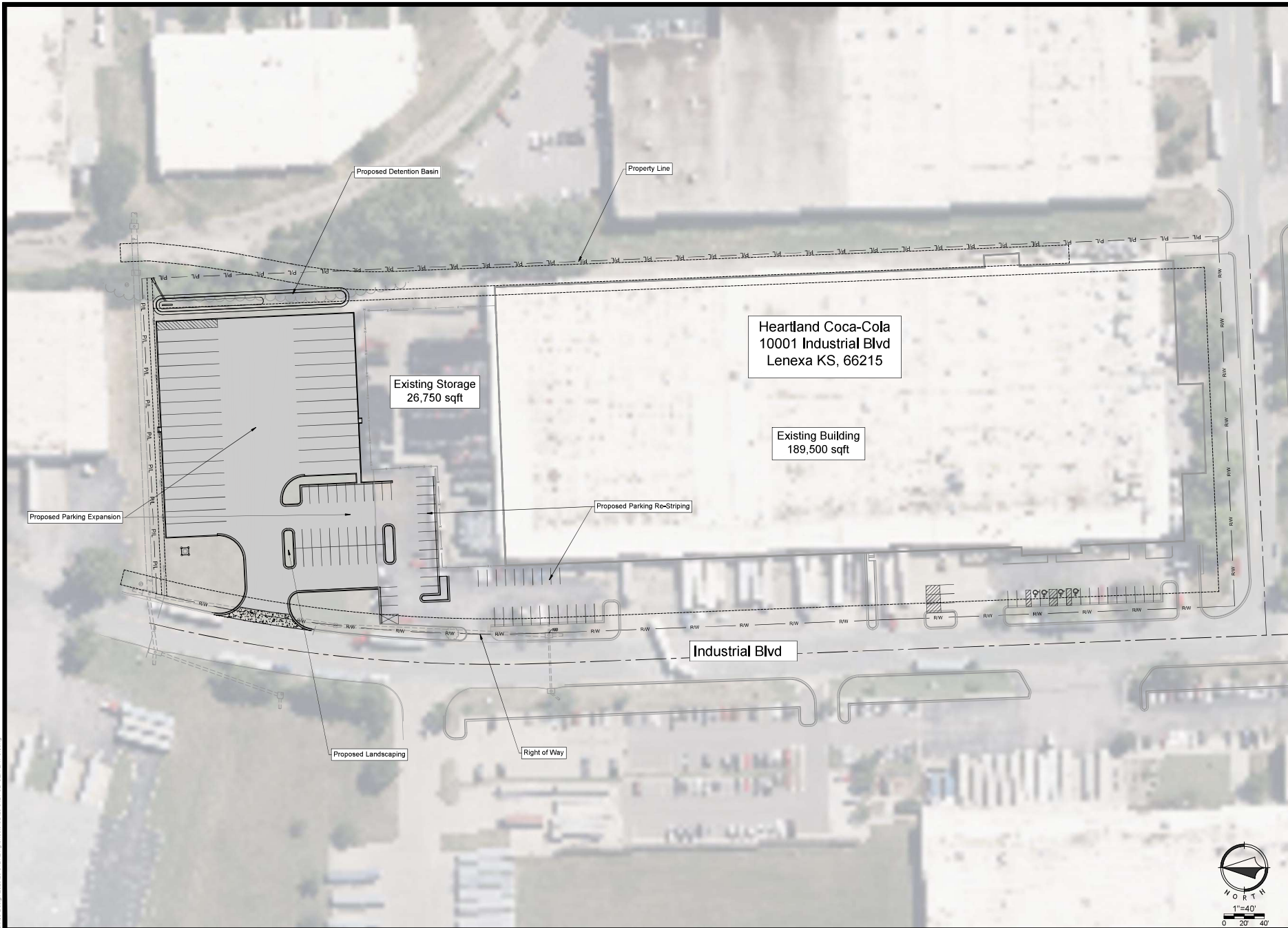


Data Source: City of Lenexa and Johnson County Kansas  
For further information, please call 913-477-7500

# Heartland Coca-Cola Parking Expansion PL23-12F



www.ricard  
May 22, 2023 at 10:00 AM  
C:\Users\jgibson\OneDrive\Documents\2023\23-0121 - 10001 Industrial Blvd.dwg



Final Development Plans

23-0121  
Heartland Coca-Cola Parking Expansion  
Lenexa, Johnson County, Kansas

General Layout

NO.	DATE	REVISION

DRAWN BY: ZJM  
CHECKED BY: NFM

**Renaissance Infrastructure Consulting**  
400 E 17th Street  
Kansas City, Missouri 64108  
816.800.0950  
www.ric-consult.com



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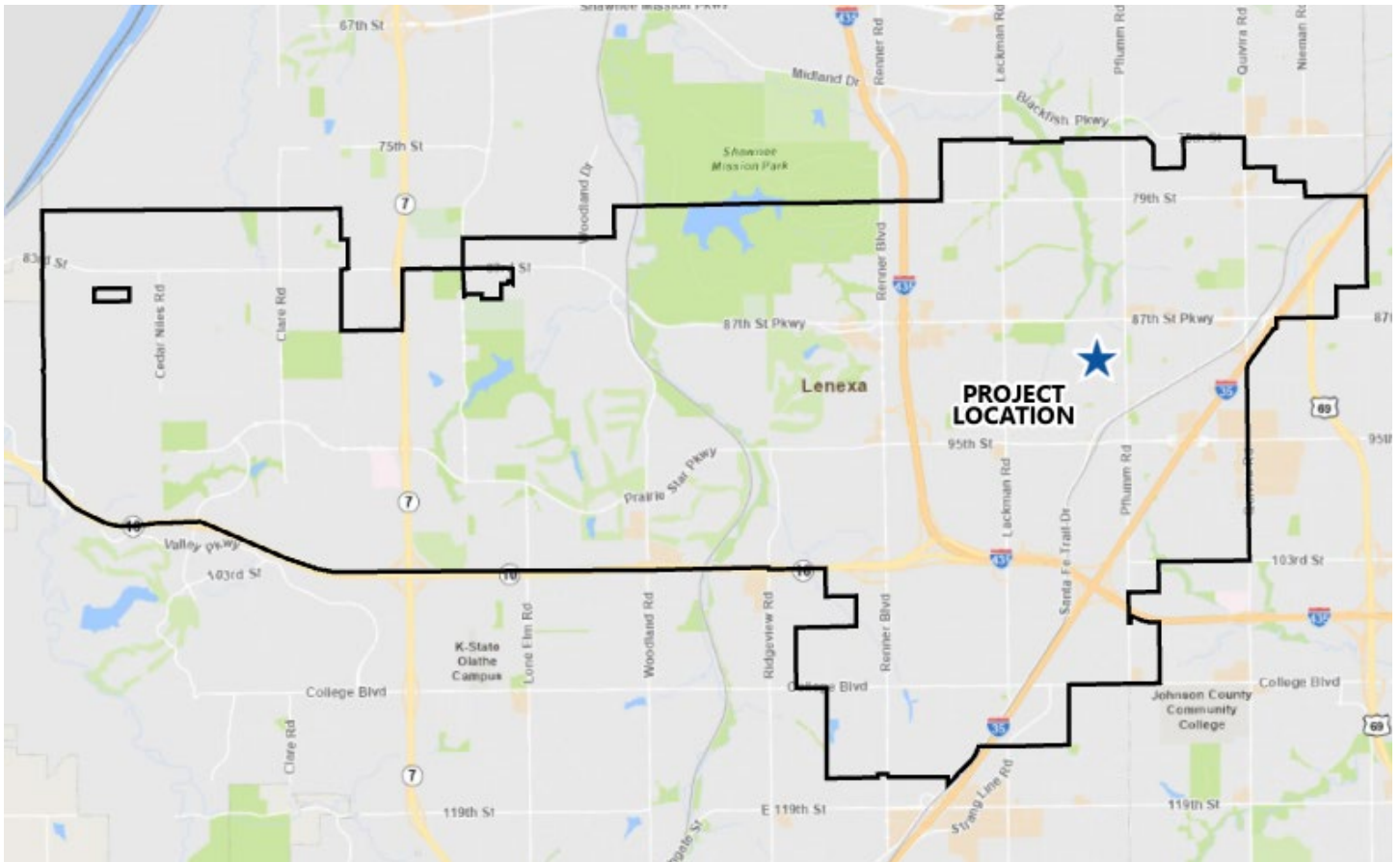






## SARAH'S BUSY BEES DAYCARE

<b>Project #:</b>	SU23-04	<b>Location:</b>	8909 Park Street
<b>Applicant:</b>	Sarah Shatzer	<b>Project Type:</b>	Special Use Permit
<b>Staff Planner:</b>	Dave Dalecky	<b>Proposed Use:</b>	Daycare, general



### PROJECT SUMMARY

The applicant is requesting approval of a special use permit to expand her in-home daycare operation at 8909 Park Street. The applicant has been operating a daycare for up to 6 children from her residence since February 2018. The applicant has a license from the State of Kansas to care for up to 12 children. She proposes to increase the daycare capacity from 6 children to up to 12 children. Per [Section 4-1-B-6-D](#) of the Unified Development Code (UDC), a special use permit is required to care for 7 to 12 children within a residence. This size of daycare is called a “*daycare, general*”. The special use permit request requires a public hearing at the Planning Commission meeting and approval by the Governing Body.

**STAFF RECOMMENDATION: APPROVAL FOR ONE YEAR**

## SITE INFORMATION

The applicant, Ms. Shatzer, currently operates a “*daycare, limited*” use, which allows her to care for up to 6 children in her home at 8909 Park Street. Ms. Shatzer has a State license that allows her to care for up to 12 children. The license has various age limits for the number of children. She is now requesting approval of a special use permit for a “*daycare, general*” use from the City to allow for her in-home daycare to provide care for up to 12 children, as the State license permits.

The residence is in the Tuxedo Park neighborhood south of 87<sup>th</sup> Street and west of Pflumm Road. The house is situated mid-block on Park Street and is surrounded by other single-family homes.

LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
0.24	N/A	R-1	Suburban Density Residential



**Exhibit 1: Aerial Image of 8909 Park Street**

## LAND USE REVIEW

The site is in the R-1, Residential Single-Family (Low-Density) District. A daycare operated from a residence may be one of two types of daycares:

1. "daycare, limited", which allows for care of up to 6 children; or
2. "daycare, general", which allows for care of 7 to 12 children.

The definitions of the different types of daycares are stated in [Section 4-3-C-2](#) of the UDC. A "daycare, limited" is allowed by-right in the R-1 and RP-1 Zoning Districts. A "daycare, general" requires a special use permit (SUP) in the R-1 and RP-1 Zoning Districts. Daycares, either limited or general, are uses that are commonly operated from a person's home as accessory uses. An in-home daycare is an appropriate use within a single-family residential area provided the supplementary use regulations for a daycare within [Section 4-1-B-23-E](#) are met and the use does not negatively impact the surrounding properties. Supplementary regulations include provisions for licensing, residency, employees, outdoor play areas, and traffic.



**TABLE 1: COMPARISON OF SURROUNDING PROPERTIES**

Vicinity	Land Use Designation	Zoning	Current Use
<b>Subject Property</b>	Suburban Residential	R-1, Residential Single-Family District	Residential – Single-Family Detached
<b>North</b>	Suburban Residential	R-1, Residential Single-Family District	Residential – Single-Family Detached
<b>South</b>	Suburban Residential	R-1, Residential Single-Family District	Residential – Single-Family Detached
<b>East</b>	Suburban Residential	R-1, Residential Single-Family District	Residential – Single-Family Detached
<b>West</b>	Suburban Residential	R-1, Residential Single-Family District	Residential – Single-Family Detached



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## SPECIAL USE PERMIT REVIEW

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The code allows for the initial special use permit term for a general daycare to be up to 10 years. Due to existing impacts to at least one neighbor related to parents using his driveway for turnarounds, explained further below and in the attached correspondence from the neighbor, Staff recommends approval of a special use permit for this request for only one year in order to gauge the impact of increasing the intensity of use given there is already an impact related to the daycare use.

Staff provides the following analysis to the review criteria within [Section 4-1-G-5](#) of the UDC.

### 1. The character of the neighborhood.

The neighborhood is an area comprised of all single-family residential homes. The Tuxedo Townhomes, a medium-density residential development, is a few blocks to the east, along Pflumm Road, and Lakeview Village, a convalescent care and retirement housing development, is a few blocks to the west. Daycare uses are compatible with a residential character provided all impacts from the daycare's operation, such as traffic, parking, noise, activity are mitigated to reasonable levels.

### 2. The zoning and use of properties nearby.

Surrounding zoning and uses are described in Table 1. The primary use of the subject property is a single-family home. The SUP for a "daycare, general" is an accessory use. It is Staff's opinion the proposed SUP is compatible with surrounding zoning and uses as long as the adverse externalities are mitigated to acceptable levels.

### 3. The suitability of the subject property for the uses to which it has been restricted.

In-home daycares are allowed in Lenexa provided the applicant meets the applicable regulations and ordinances. A "daycare, general" requires that the operator of the daycare obtain an SUP. It is Staff's opinion that this residence is adequately suited for an in-home daycare.

### 4. The extent to which the proposed use will detrimentally affect nearby property.

Staff received an email from the neighbor across the street from the daycare stating that clients of the daycare will back into his driveway to "turn around" as they leave the daycare. It is Staff's opinion that the requested SUP for a "daycare, general" has potential to detrimentally affect nearby properties since the existing allowed daycare already presents an impact. The applicant responded by acknowledging that she will instruct the clients to use her driveway or to park on the street and to not use any neighbor's driveway to turn around. Staff believes this issue is correctable by the applicant but recommends limiting the SUP to one year to provide an opportunity for the applicant to demonstrate that the daycare use can coexist with the neighboring residential uses. Should the clients continue to use the neighbor's driveway as a turnaround within the year the SUP is active, then Staff could initiate revocation of the SUP and the applicant would need to reduce the number of children to 6 if the SUP is, in fact, revoked.

### 5. The length of time the subject property has remained vacant as zoned.

The property is not vacant. The home was constructed in the early 1970's along with several other homes in this neighborhood.

**6. The relative gain to public health, safety, and welfare due to the denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.**

Given the existing issue of parents using a neighbor's driveway as a turnaround for the daycare, the gain by denying the request is that less people would use the driveway of this particular neighbor for a turnaround. The hardship to the applicant would be that the daycare use could not expand to up to 12 children. It is Staff's opinion that negative impacts to the neighbor outweigh the hardship to the applicant if the impacts are not mitigated by the applicant.

**7. Recommendation of City's permanent professional staff.**

See staff's recommendation at the end of this report.

**8. Conformance of the requested change to the adopted or recognized Master Plan being utilized by the City.**

The proposed in-home daycare will not change the primary land use as a single-family residential home. The land use is in conformance with the Future Land Use Map designation of Suburban Density Residential.

**9. The availability and adequacy of required utilities and services to serve the proposed use. These utilities and services include, but are not limited to, sanitary and storm sewers, water and electrical service, police and fire protection, schools, parks and recreation facilities, etc.**

The residence is in a developed subdivision. Adequate utilities and services are provided to the subject property.

**10. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the street network influenced by the use, or present parking problems in the vicinity of the property.**

It is Staff's opinion adequate parking for an in-home daycare is provided for dropping off and picking up children if the operator is able to direct parents to use the street and applicant's driveway and not the neighbor's driveway. The applicant has a driveway with space for two vehicles to park in line with each other, not side by side, and a garage stall space for a total of 3 parking stalls. If a child is to be dropped off or picked up and space is not available in the driveway, the driver may parallel park along Park Street.

**TABLE 2: PARKING STANDARDS**

Use	Standard	Required	Provided
<b>Daycare, general</b>	1 space, plus 1 space per employee	3	3

**11. The environmental impacts the proposed use will generate including, but not limited to, excessive stormwater runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting, or other environmental harm.**

The requested SUP will not include any new construction or additional pavement. Approval of the SUP will not have any environmental impacts.

**12. The extent to which the proposed development would adversely affect the capacity or water quality of the stormwater system, including without limitation, natural stream assets in the vicinity of the subject property.**

There are no proposed modifications to the stormwater system or increases to the overall amount of impervious area. All vehicles will be kept in working order and will not be leaking fluids. For these reasons the proposed development would not adversely affect the capacity or water quality of the stormwater system.

**13. The ability of the applicant to satisfy any requirements (e.g. site plan, etc.) applicable to the specific use imposed pursuant to the zoning regulations in this Chapter and other applicable ordinances.**

The operation of a residential daycare is regulated in [Section 4-1-B-23-E](#) of the UDC. The applicant is required to comply with regulations such as licensing and number of employees and children. The applicant has complied with applicable requirements to date, and it is Staff's opinion the applicant will be able to continue to adhere to all applicable regulations and ordinances.

## DEVIATIONS

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The applicant is not requesting any deviations.

## REVIEW PROCESS

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- This project requires a recommendation from the Planning Commission and final approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration from the City Council on June 20, 2023.
- The applicant should inquire about additional City requirements, such as permits and development fees.

## RECOMMENDATION FROM PROFESSIONAL STAFF

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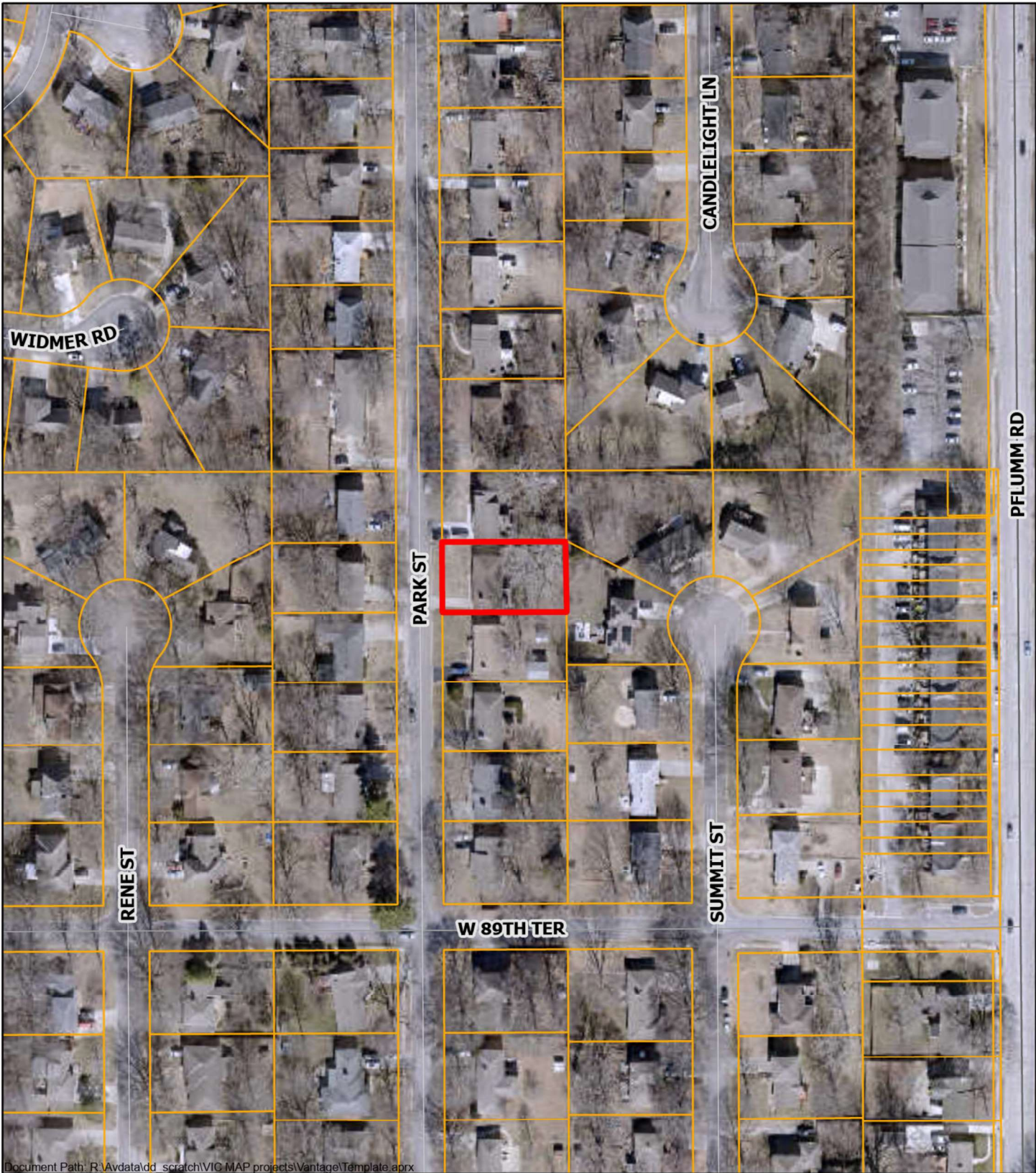
★ **Conduct a Public Hearing.**

★ **Staff recommends approval of the proposed Special Use Permit for Sarah's Busy Bees Daycare.**

- This is a special use permit for a "daycare, general" accessory to the single-family residence.
- The project is consistent with Lenexa's goals through **Strategic Community Investment** to create **Vibrant Neighborhoods**.

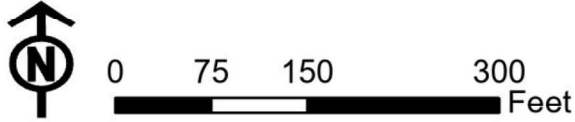
## SPECIAL USE PERMIT

Staff recommends **approval** of SU23-04 - a special use permit for a Daycare, general use for **Sarah's Busy Bees Daycare** located at 8909 Park Street for a period of one year.



Data Source: City of Lenexa and Johnson County Kansas  
For further information, please call 913-477-7500

# Sarah's Busy Bees PT23-11F



## Sarah's Busy Bees LLC

It has always been my dream to run my own daycare business. I am living my dream and I have had my home daycare for five years now. The reason why I need a Special Use permit is because my fiancé is now an additional provider and we want to add more children. Through the state we are allowed 12 children, Currently I have 6 children which includes my son. My hours of operation are from 8:00-5:00 Monday through Friday. My children in care get dropped off typically no later than 8:30 but typically come in staggered and leaves staggered as well. When parents pick up it's between 4, 4:30 and 5:00. I get the chance to talk with the parents each day about their child's day.

My schedule: 8:00 Greetings, breakfast served.

8:30-9:00- Free play

9:00-9:30- Circle Time, group activity, reading Etc..

9:30-10:00- Creative time (paints, crayons, Art activities)

10:00-10:45- Outside Play (weather permitting)

10:45-11:15- TV Time (as i prepare lunch)

11:15-12:00 Lunch

12:00-12:45- Nap Preparation, Storytime

12:45-3:15 Nap Time

3:15-3:45- Free Play

3:45-4:00 Snack Time

4:00-4:45-Outside Play (weather permitting)

4:45-5:00- Free Play, Pick up

Kansas Department of Health and Environment

Renewed License

Group Day Care Home  
Renewed License No. 0501572-007

Licensee: Sarah Kaye Shatzer

Facility: Sarahs Busy Bees

Located at: 8909 Park St  
Lenexa, KS 66215



02/29/2024

In the county of: Johnson

Having complied with the laws and regulations of the State of Kansas governing Group Day Care Homes, Sarah Kaye Shatzer is hereby authorized to care for a maximum of 12 children, under one of the following options:

MAXIMUM LICENSED CAPACITY IF ONE ADULT IS PRESENT WITH THE CHILDREN:

- 9 children, at least 2 ½ years but under 11 years of age\*; or
- 10 children, at least 3 years but under 11 years of age\*; or
- 12 children, at least 5 years but under 11 years of age; or refer to Table I in K.A.R. 28-4-114(e) if children under 2 ½ years of age are in attendance.

MAXIMUM LICENSED CAPACITY IF TWO ADULTS ARE PRESENT WITH THE CHILDREN:

- 12 children, infancy to 11 years of age\*, with not more than 9 children under 5 years of age, 3 of whom may be under 18 months of age; or
- 10 children, infancy to 11 years of age\*, with not more than 8 children under 5 years of age, 4 of whom may be under 18 months of age; or
- 12 children, at least 18 months but under 11 years of age\*, with not more than 5 children, 18 months to 2½ years of age.

\*Children five years of age and over may be substituted for younger children in the license capacity. Children under 11 years of age who are related to the applicant with a temporary permit, the licensee, or any other provider shall be included in the maximum number of children in each age group. Children at least 11 years of age but under 16 years of age who are unrelated to the provider shall be included in the license capacity if child care for this age group as a whole exceeds three hours a week.

This License is effective 03/01/2023 and remains in effect until the expiration date noted by the above sticker unless invalidated by a change of owner, operator, location or it is administratively closed.

Smoking is prohibited inside the day care home during hours of operation.

\*\* Local codes and ordinances may prescribe other requirements for the legal operation of this facility.

A handwritten signature in black ink that reads "Janet Stanek".

Janet Stanek, Secretary  
Kansas Department of Health and Environment

**From:** Brandon McElhiney <[brandonmcelhiney12@gmail.com](mailto:brandonmcelhiney12@gmail.com)>

**Sent:** Wednesday, May 31, 2023 5:24 PM

**To:** Stephanie Kisler <[skisler@lenexa.com](mailto:skisler@lenexa.com)>

**Subject:** SU23-05 Sarah's Busy Bees

Hi Stephanie,

Our names are Brandon and Sarah McElhiney and we are the owners of 8908 Park Street, the property directly across from Sarah's Busy Bees daycare which we understand is up for approval by the Planning Commission on June 5th. We have lived in our home for 3 and a half years now, and we have some concerns regarding the daycare facility across the street that we would like the Commission to consider prior to permit approval.

Our home is located directly across Park Street from the daycare and we have a flat, double-wide, concrete driveway. Over the years we have witnessed numerous daycare visitors and/or clientele using our driveway on a daily basis as a turnaround location during drop-off and pick-up times, which has become increasingly more irritating and a nuisance to us. Our location within the neighborhood is easily accessible from major roadways in all directions, so the use of our driveway by daycare visitors is likely more out of convenience than necessity. The drivers' behavior is an ongoing stress on us and it creates unnecessary wear and tear on our driveway. Attached is a map of our property to better visualize the close proximity of our driveway to the daycare property, as well as a recent (2 weeks ago) doorbell camera screenshot of a daycare visitor pulling fully into our driveway to turn around, despite the daycare driveway being open. This particular vehicle frequently uses our driveway to turn around.

We have confronted daycare visitors about their behavior in the past and been met with obscene gestures or disregard for our concerns. There have also been times when vehicles leaving the daycare have completely pulled into our driveway (onto our private property) and we have had to wait to back out due to them waiting for traffic to pass on Park Street. It's worth noting that the turning around will take place even when the one parking spot on the daycare's single-wide driveway is available, which adds to our frustration of the situation.

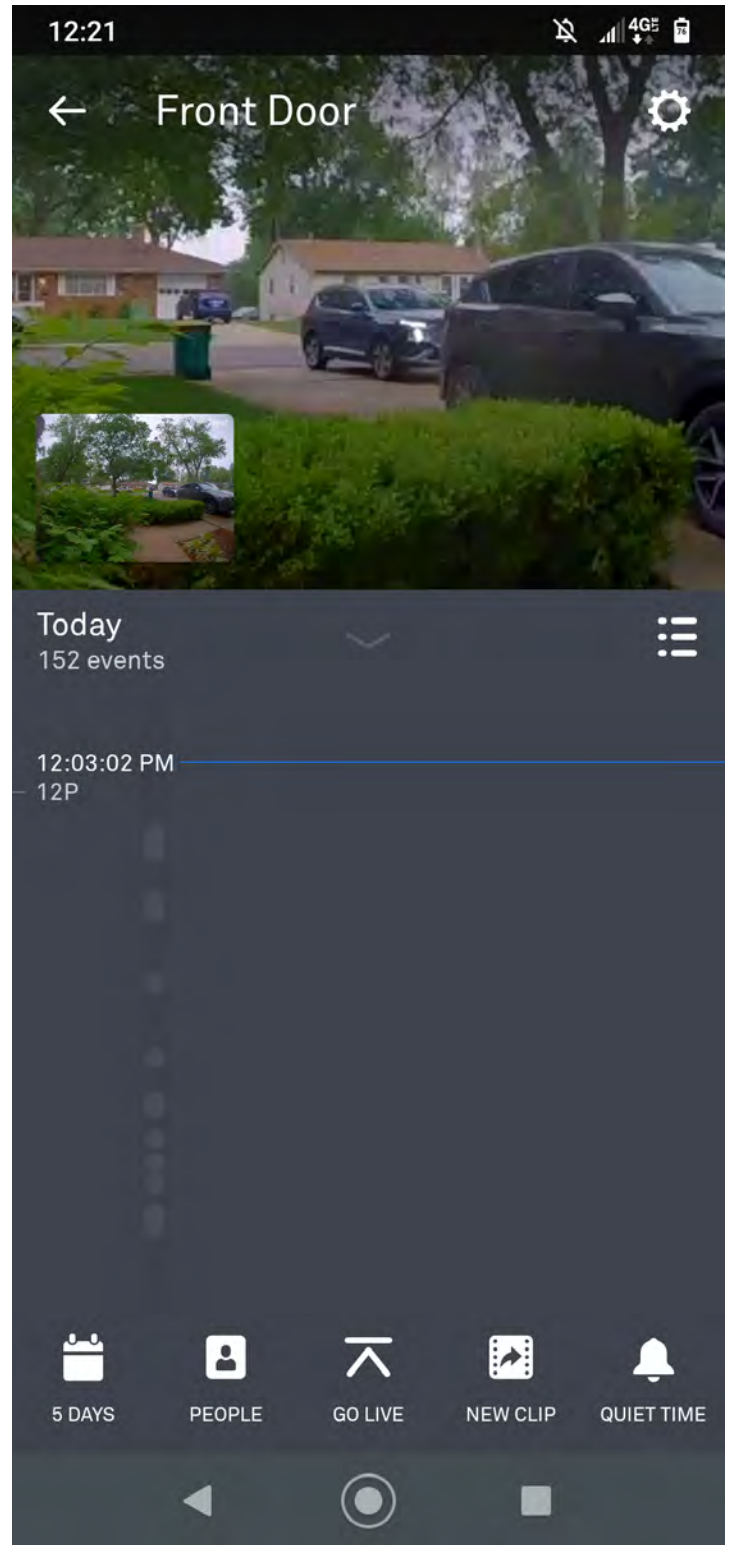
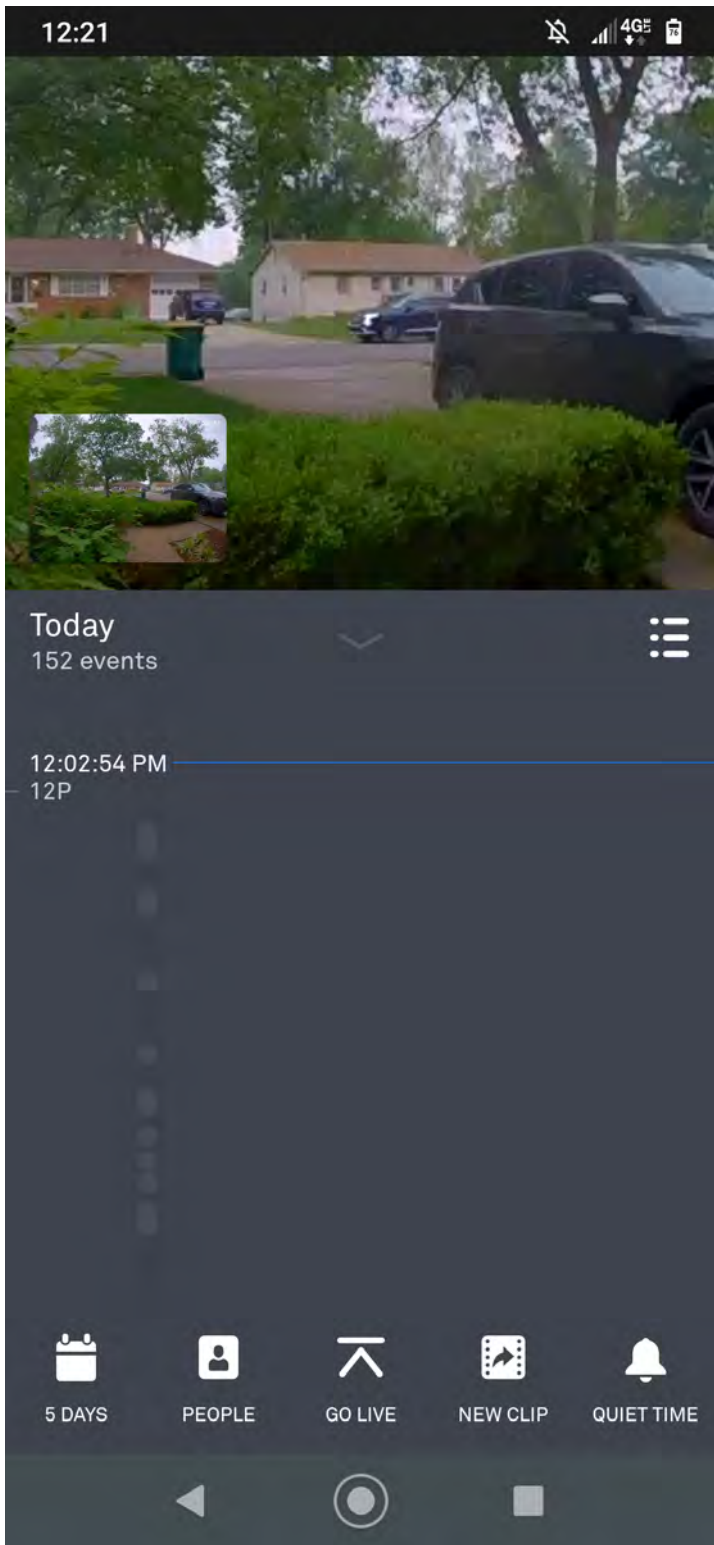
We are concerned that doubling the number of children allowed at the daycare will lead to an increased number of unwanted drivers turning around in our driveway as part of their daily routine, as others have already done in the past. We completely support the daycare and wish nothing but the most success for Sarah, we just don't want our property to be an extension of the business and create a bigger nuisance or inconvenience to us as a result of the proposed changes. It is our hope that the Commission will consider placing a condition for business operation on the permit that addresses a requirement for daycare visitors and/or clientele to not use neighboring driveways or property during any part of the pick-up or drop-off process. Because the nature of a daycare is to have new clients every few years as children grow older, we hope this will be a proactive approach to keeping business associated with the daycare solely within the daycare's property or public right-of-way. We greatly appreciate your consideration of our concerns on this matter.

Sincerely,

Brandon and Sarah McElhiney  
8908 Park Street  
Lenexa, KS 66215

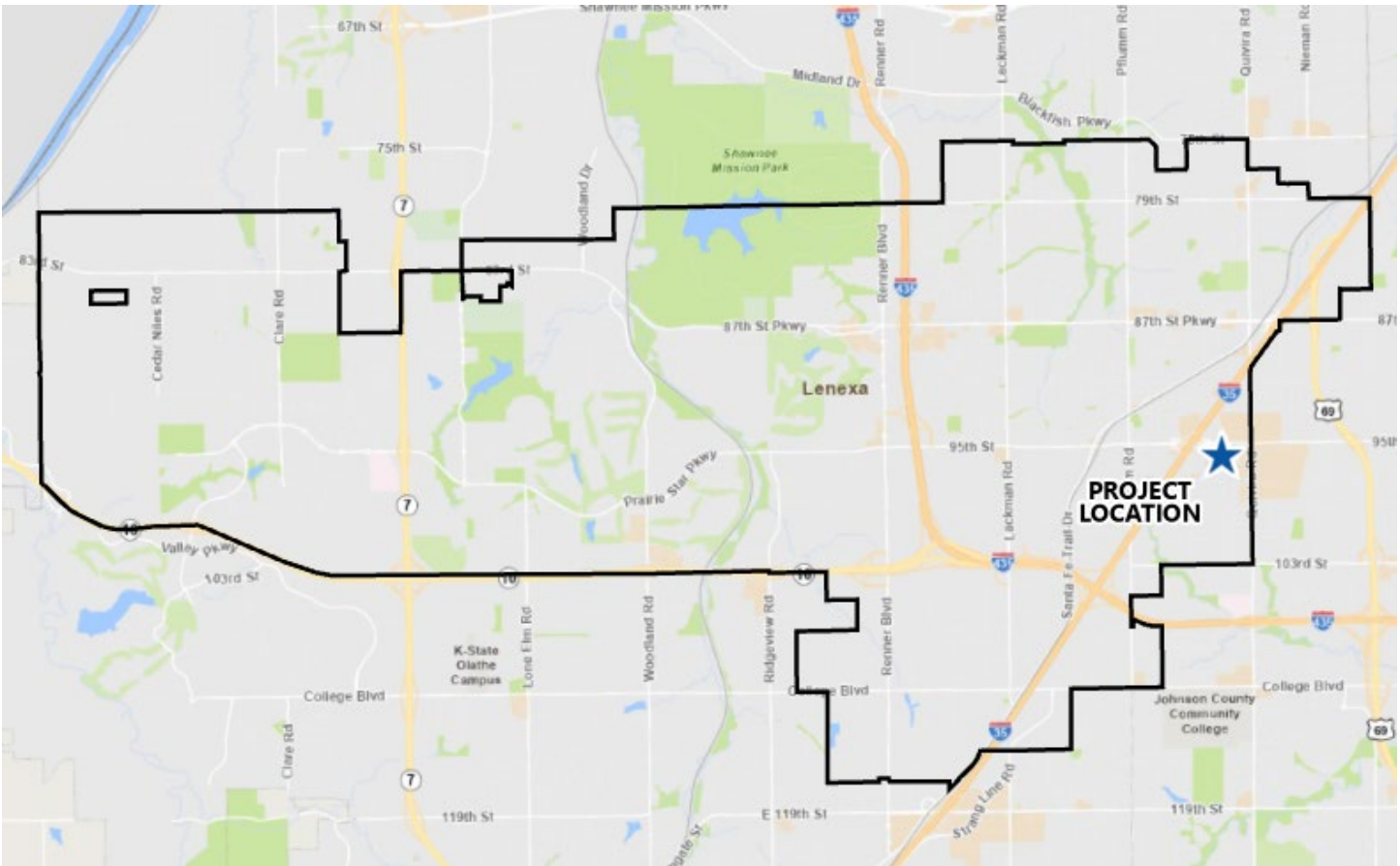






**THE MINT**

<b>Project #:</b>	RZ23-04 & PL23-13F	<b>Location:</b>	12345 W. 95 <sup>th</sup> Street
<b>Applicant:</b>	Henry Klover, Klover Architects	<b>Project Type:</b>	Rezoning & Final Plan
<b>Staff Planner:</b>	Dave Dalecky	<b>Proposed Use:</b>	Entertainment, indoor (banquet facility) and office uses



**PROJECT SUMMARY**

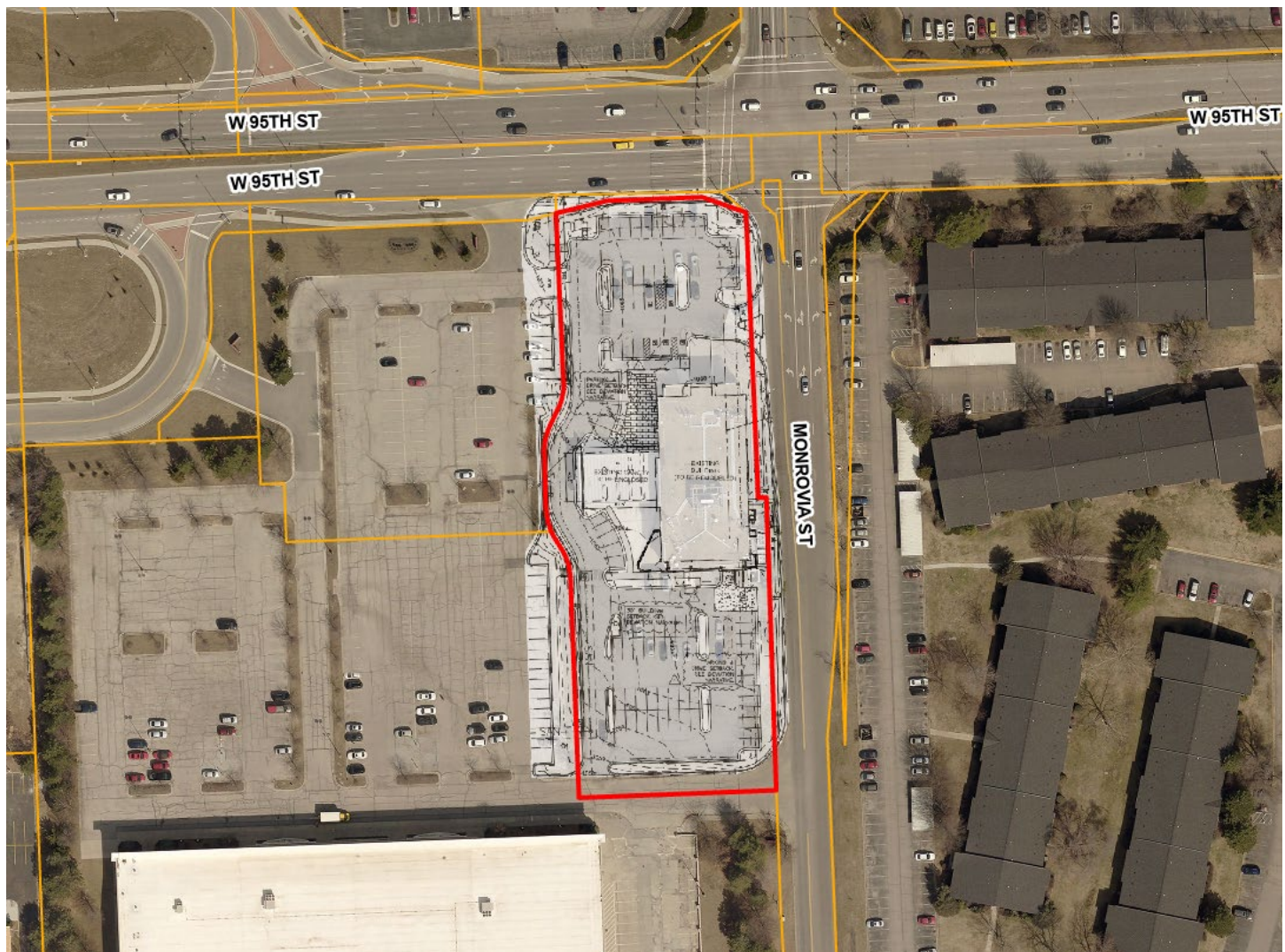
The applicant requests approval to rezone the property at 12345 W. 95<sup>th</sup> Street from CP-O, Planned General Office District, to CP-1, Planned Neighborhood Commercial District, and final plan approval to repurpose the existing building into a banquet facility. The building is a two-story office building with a basement level. The site is located at the southwest corner of 95<sup>th</sup> Street and Monrovia Street. The primary tenant is currently Bank of America on the ground floor and has various office tenants on the second floor. The project will include interior renovations, a conversion of the bank drive-thru structure to an enclosed space and reconfiguring the parking lot for improved circulation and more efficient distribution of the parking stalls. The development includes existing nonconforming site conditions. The companion final plan includes deviation requests to allow several of these existing site conditions to remain. A public hearing is required for the rezoning request.

**STAFF RECOMMENDATION: APPROVAL**

## SITE INFORMATION

This site is a two-story office building originally built in 1972. Bank of America is the primary tenant on the ground floor with additional office tenants on the second floor. The site is integrated with the neighboring retail development to the west and south but is not associated with the adjacent development as a contiguous commercial center. The subject property and adjacent development share access drives from the public streets. The owner of the subject property also has a shared parking agreement with the adjacent land owner to allow use of the parking lot to the west and south. The neighboring buildings are a QuikTrip convenience store and the recently renovated Living Spaces furniture store. The site has been zoned for office uses for several years, predating the system for maintaining development records.

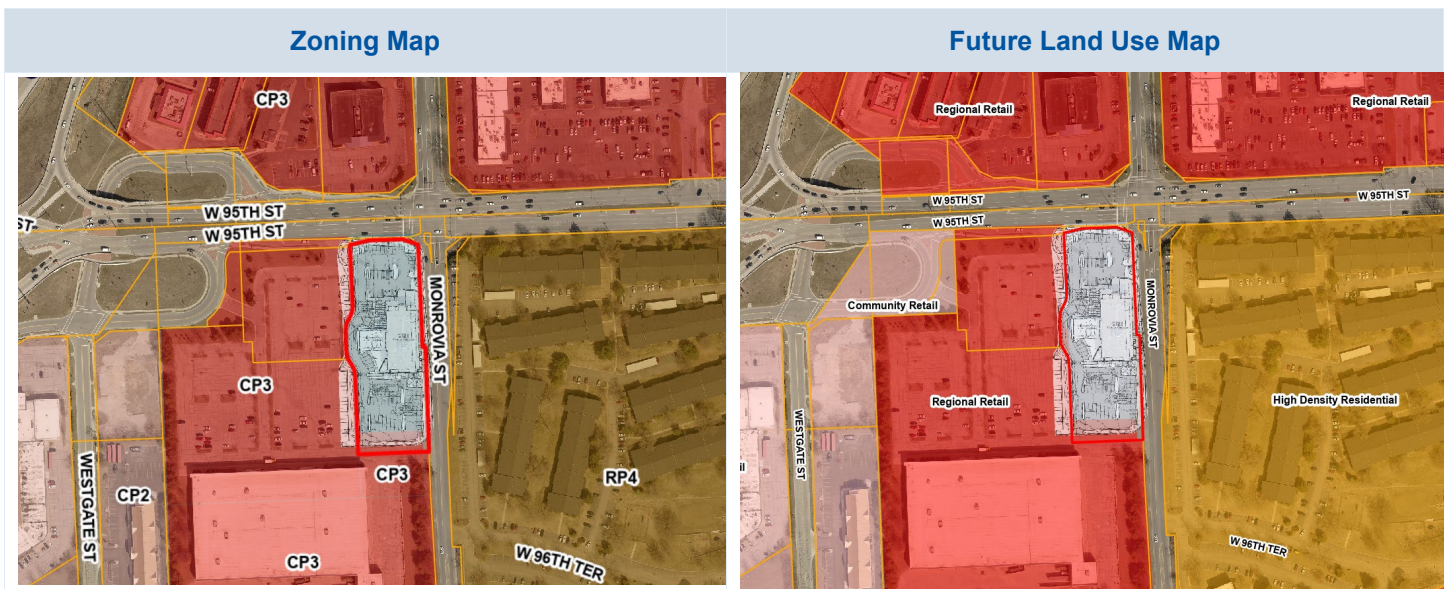
LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
1.93	33,396	CP-O	Office/Employment Center



**Exhibit 1: Aerial Image of Subject Site**

## LAND USE REVIEW

The proposed use is for a banquet facility, which falls within the definition of the “*Entertainment, indoor*” use category. This definition is within [Section 4-3-C-3](#) of the Unified Development Code (UDC). The *Entertainment, indoor* land use is allowed by right in the CP-1 Zoning District, but not allowed by right or by special use permit in the CP-O Zoning District. The site must be rezoned to a district that permits the banquet facility. The site is on 95<sup>th</sup> Street, between Quivira Road to the east and I-35 Interstate Highway to the west. This is a business corridor with a concentration of regional commercial centers and medium to medium-high density residential uses. The proposed commercial use is consistent in character to the zoning pattern and mix of uses along this corridor. The banquet facility will be on the ground floor of the building and will use rooms within the lower level. The second floor of the building will remain as tenant spaces for office uses.

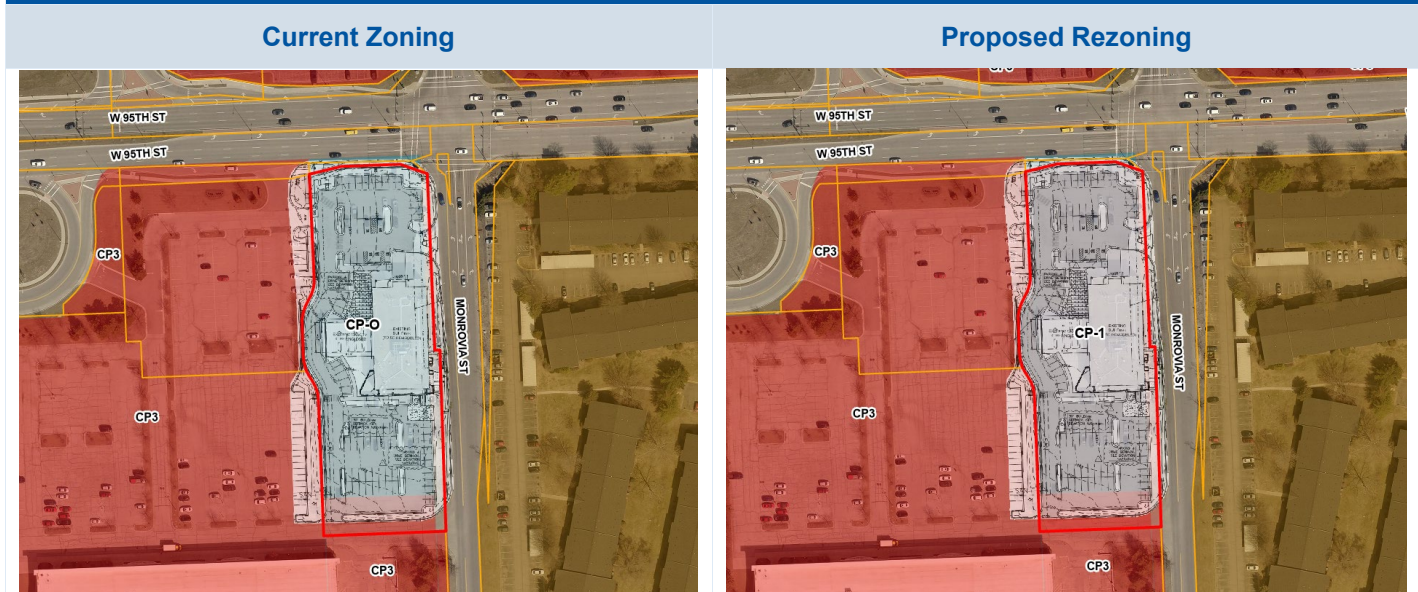


**TABLE 1: COMPARISON OF SURROUNDING PROPERTIES**

Vicinity	Land Use Designation	Zoning	Current Use
<b>Subject Property</b>	Office/Employment Center	CP-O, Planned General Office District	Office
<b>North</b>	Regional Retail	CP-3, Planned Regional Commercial District	Retail, & Auto Service, Limited
<b>South</b>	Regional Retail	CP-3, Planned Regional Commercial District	Retail
<b>East</b>	Medium Density Residential	RP-4, Planned Residential (High-Density) District	Multi-Family Residential
<b>West</b>	Regional Retail	CP-3, Planned Regional Commercial District	Convenience Store

## REZONING REVIEW

**TABLE 2: REZONING ANALYSIS**



Staff provides the following analysis for the review criteria within [Section 4-1-G-5](#) of the UDC.

**1. The character of the neighborhood.**

The character of the neighborhood is a predominantly commercial corridor with a multi-family residential development directly to the east. Commercial uses extend further north and south of the frontage along the 95<sup>th</sup> Street corridor. The multi-family development to the east is a 33-acre apartment development. Additional multi-family development is further south and southeast of the site.

**2. The zoning and use of properties nearby.**

The adjacent properties to the north, south and west are zoned for commercial uses. The property to the east is zoned for multi-family residential use.

**3. The suitability of the subject property for the uses to which it has been restricted.**

The property is suited for the existing CP-O zoning and for the proposed zoning district of CP-1, Planned Neighborhood Commercial District. The site is along a commercial corridor of relatively high intensity uses. The site has been the subject of several inquiries for a car wash use which would intensify traffic congestion in this area too greatly in Staff's opinion. The car wash use is not allowed in the CP-1 zoning district and so while the CP-1 zoning district is supported by Staff, any higher commercial zoning at this site would not be supported by Staff.

**4. The extent to which the proposed use will detrimentally affect nearby property.**

The proposed use will not detrimentally affect nearby property. The use is consistent with the uses of adjacent properties and is an appropriate transitional use to the multi-family development to the east.

**5. The length of time the subject property has remained vacant as zoned.**

The site has been developed with the existing office building since 1972.

**6. The relative gain to public health, safety, and welfare due to the denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.**

It is Staff's opinion that denial of this rezoning would have no gain to public health, safety, or welfare.

**7. Recommendation of City's permanent professional staff.**

See Staff's recommendation and the end of this report.

**8. Conformance of the requested change to the adopted or recognized Master Plan being utilized by the City.**

The Future Land Use designation for the site is Office/Employment Center, which is not fully consistent with the request to rezone to the CP-1, Planned Neighborhood Commercial District. The proposed commercial zoning district is the lowest intensity of the "family" of commercial districts. Sites which are zoned CP-1 will often contain office uses and this site is no different as the second floor of the building will continue to be office tenant spaces. It is Staff's opinion the proposed use is an appropriate use based on the context of the site, in association with the companion final plan for the building renovations and site modifications.

**9. The availability and adequacy of required utilities and services to serve the proposed use. These utilities and services include, but are not limited to, sanitary and storm sewers, water and electrical service, police and fire protection, schools, parks and recreation facilities, etc.**

The residence is in a developed region of the City. Adequate utilities and services are provided to the subject property.

**10. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the street network influenced by the use, or present parking problems in the vicinity of the property.**

It is Staff's opinion the proposed use will not adversely impact the capacity or the safety of the street network or present a parking problem in the vicinity of the site. The site contains 87 parking stalls. The applicant has a pre-established shared parking agreement with the adjacent retail development for an additional 55 stalls.

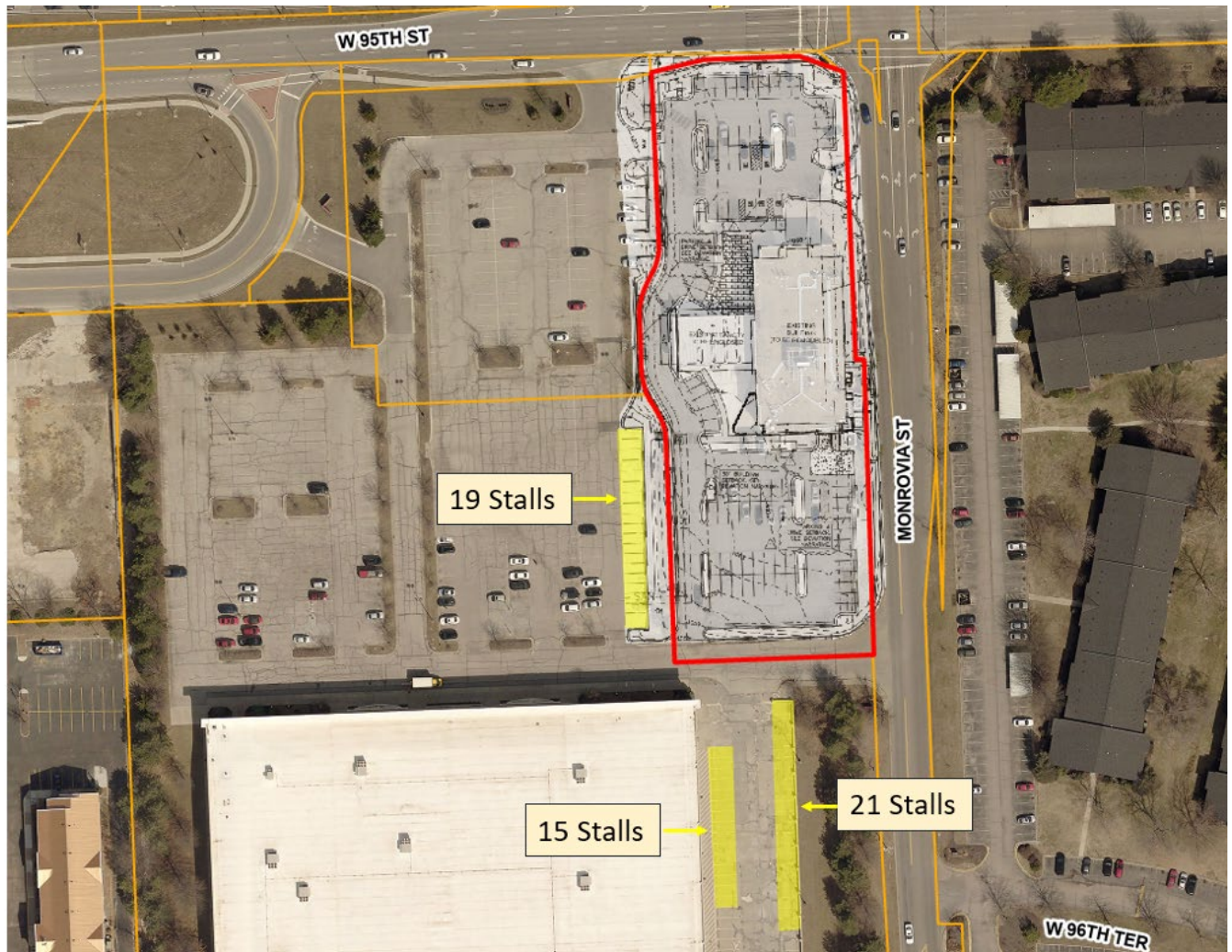


Exhibit 2: Shared Parking

This is a total of 142 parking stalls. The number of parking stalls required for the combined uses on-site is 158. The two uses, banquet facility and offices, will function in a complementary manner, as the banquet facility will not have a need for parking while the office use does and vice versa. The total number of 142 parking stalls provided for the uses does not meet the requirements for both uses together but exceeds the parking demand for either use during the times of the day that the demand for parking for either use will be occurring.

TABLE 3: PARKING STANDARDS

Use	Standard		Required	Provided
Entertainment, indoor	1 space per 200 square feet or 1 space per 3 seats, whichever is greater	23,094 square feet, 350 seats	117	
Office	1 space per 250 square feet	10,302square feet	41	
<b>TOTAL</b>		<b>with shared parking</b>	<b>158</b>	<b>142</b>

**11. The environmental impacts the proposed use will generate including, but not limited to, excessive storm water runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting or other environmental harm.**

The site is currently a developed lot with an office building and parking. The plan results in a reduction of paved surface area. The site is along a predominantly commercial corridor, next to a 24-hour convenience store, a large retail store and across Monrovia Street from multi-family residential. The proposed use of a banquet facility will likely generate more activity than the bank tenant, the increase in activity is not likely to be excessive or unreasonable.

**12. The extent to which the proposed development would adversely affect the capacity or water quality of the stormwater system, including without limitation, natural stream assets in the vicinity of the subject property.**

The site is currently a developed lot with an office building and parking. The plan results in a reduction of the paved surface area. The proposed modifications to the site will not adversely affect the capacity or water quality of the stormwater system.

**13. The ability of the applicant to satisfy any requirements (e.g. site plan, etc.) applicable to the specific use imposed pursuant to the zoning regulations in this Chapter and other applicable ordinances.**

The final plan includes requests for deviations from the Unified Development Code. The deviations will allow various nonconforming conditions. The proposed final plan will reduce the degree of some of the nonconformities, with modest increases to setbacks along the right-of-way, but will not bring the site into compliance of the minimum bulk and area requirements of the UDC.

## FINAL PLAN REVIEW

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The site is located at the immediate southwest corner of 95<sup>th</sup> Street and Monrovia Street. The site is a rectangular lot that has 160 feet of frontage onto 95<sup>th</sup> Street and 500 feet of frontage on Monrovia Street. The building is centrally located on the lot with parking on the north and south sides of the building. Access into the site is from a right-in-right-out only drive onto Monrovia Street. This drive has a median that directs drivers to make only a right turn and continue southbound on Monrovia Street. The other access locations into the site are from private drives on the west and south sides of the site. The two parking areas are linked by a drive aisle along the west side of the site. The drive aisle is curved around an addition to the building, which is the enclosed drive-thru canopy of the Bank of America canopy. A row of parking is provided along this drive.





The parking areas will be modified, and the pavement edges adjusted to improve circulation and be more efficient. New sidewalks will be provided from the site to the west and lead to the public sidewalk on 95<sup>th</sup> Street.

A sidewalk is not proposed to be provided on Monrovia Street, though Staff considers this to be an important link in the sidewalk system for the area. There are certain impediments that make it very costly to install a sidewalk along Monrovia, particularly the limited space between the existing building and the right-of-way line due to existing utility structures and private mechanical equipment within the sidewalk area. Because the proposed project is limited in scope, compared to a complete tear-down and rebuild, Staff does not recommend that the applicant expend significant costs to move the private equipment and public utilities and install the sidewalk along Monrovia. Instead, Staff recommends that a sidewalk easement be granted to the City so that a sidewalk may be constructed at some time in the future at the City's cost. The sidewalk easement is to be ten feet wide along the east property line to allow for the sidewalk and for room to complete construction. The landscape plan shows additional trees to be installed along Monrovia Street. The plans must be revised to account for a future sidewalk along the street.

The building is two stories with a basement. The enclosure of the drive-thru canopy increases the overall square footage of the building to 33,803, of which 23,094 square feet is for the banquet facility and 10,302 square feet is office space. The enclosed drive-thru canopy is 2,490 square feet. This space is referred to as the "Chapel" and will be used for wedding ceremonies and the remodeled ground floor will be used for the reception. A patio space is enclosed in a new privacy fence is provided on the north side of the Chapel. New overhead glass doors are along the north façade of the Chapel for direct access onto the patio.

The full ground floor of the building is space for the banquet facility. The remodeled lobby, former bank teller area, and vault will all be incorporated into the seating space and reception area. Other rooms will be used for preparation and support areas for the event. The basement level of the building will have rooms for support functions of the banquet facility and will have service areas for the overall building. The second floor of the building will remain office tenant spaces.

## DEVIATIONS

The site will remain very similar to the current configuration with modifications to the parking areas, cosmetic changes to the exterior of the building, and additional landscaping. The site has several nonconformities pertaining to setbacks and site area requirements. The proposed modifications to the site will not alleviate all the nonconformities. The following table lists the deviation requests.

<b>TABLE 4: DEVIATIONS</b>					
<b>Deviation</b>	<b>Code Section</b>	<b>Existing Nonconformity</b>	<b>Requirement</b>	<b>Proposed</b>	<b>Difference</b>
<b>Minimum Site Area</b>	4-1-B-13-F	Y	3 acres	1.93 (net area) 2.5 (gross area)	<b>0.5 acres</b>
<b>Building Setback (east)</b>	4-1-B-13-F	Y	30 feet	12.5 feet	<b>17.5 feet</b>
<b>Building Setback (west)</b>	4-1-B-13-F	Y	30 feet	28.8 feet	<b>1.2 feet</b>
<b>Parking Setback along Streets</b>	4-1-D-1-O-4-g	Y	20 feet	6 feet	<b>14 feet</b>
<b>Parking Setbacks Along Common Property Lines</b>	4-1-D-1-O-4-g	Y	10 feet	0 feet	<b>0 feet</b>
<b>Drive Aisle Width</b>	4-1-D-1-O	N	25 feet	24 feet	<b>1 foot</b>
<b>Minimum Parking Stalls</b>	4-1-D-1-C	N	188 stalls	142 stalls	<b>46 stalls</b>
<b>Minimum Sidewalk Width</b>	4-1-D-1-O-8	N	7 feet	5 feet	<b>2 feet</b>
<b>Minimum Parking Lot Landscaping</b>	4-1-D-2-M	Y	7.5 percent of parking lot area	2.8 percent	<b>4.7 percent</b>
<b>Minimum Perimeter Landscape Requirement</b>	4-1-D-2-L	Y	1 shade tree, and 9 shrubs per 100 feet of property line	1 tree, and 5 shrubs	<b>4 trees, 36 shrubs</b>
<b>LUI Buffer</b>	4-1-D-2-N	Y	1 shade tree, 2 evergreen trees, and 10 shrubs for every 100 feet	No evergreen trees	<b>9 evergreen trees</b>

Many of the deviations requested with the final plan application are a product of the existing nonconformities of the existing site. The deviations which are not due to preexisting nonconforming conditions are due to the limited size and space of the available on the property. The plan includes reductions of the degree of the nonconformities as much as possible while maintaining vehicular circulation through the site and reducing pavement and providing additional landscaping and open space. The list of deviations may appear extensive but are either existing nonconforming conditions of the site which are being brought closer to conformance to the code or are due to the limitations of the site.

The landscape deviations are requested because the site does not have adequate space to install the minimum landscaping without removing parking and drive aisles, by doing so, the operation of the site would be impacted and further reduce parking stalls available for the employees and visitors to the site.

The UDC has different standards for consideration of requests for deviations, depending on what the deviation is for. [Section 4-1-B-27-G](#) of the UDC lists criteria for specific code sections. The criteria are written to protect the rights of adjacent property owners and to not be construed as a privilege awarded to the applicant. It is Staff's opinion the proposed application satisfies the criteria stated in the UDC.

[Section 4-1-D-1-S](#) of the UDC lists criteria for review of off-street parking, bicycle parking, drive-thru queuing and loading standards. The criteria to be considered by the Planning Commission are:

- a. Purpose and intent of the Code.
- b. Impact on adjacent properties.
- c. Safety.
- d. Unique site conditions and constraints.
- e. Promotion of high quality or unique design.
- f. Character of the neighborhood.

The applicant provided a summary of the requested deviations. The applicant's summary of the request for the deviations are not verbatim as the two code sections listed above but are consistent with both sets of criteria. Staff supports the requested deviations and finds the criteria listed above are satisfactorily addressed by the proposed site plan.

## ARCHITECTURE

The office building is a precast concrete building with a stucco roof trim element and banks of windows. The building is very modern in character with a minimal level of detail. The windows are vertical features with trim elements continuing from ground level to the roof element. Both the north and south façade have a large storefront window feature which also contain the main entrances to the building.



**Exhibit 4: North Elevation Rendering**

The modifications to the building will be to enclose the drive-thru canopy as a building addition for a chapel space for the banquet facility. The enclosed space will be finished in a similar style to the existing building. The addition will use cast stone for the walls, new windows on the south façade, and operational overhead doors on the north façade. The colors will be similar to the current color scheme, using tan and gray colors for façade. The overhead doors are full glass doors and will open onto a patio space. A composite wood fence is installed around the patio space on the north side of the building addition.

To create more architectural character to the building, molded panels are proposed on the north and south façade of the building and on the façades of the addition. The molded panels are “Greek Revival” style elements with fluted relief lines both horizontal and vertical and a row of stars. The height of the panels will be taller on the two-story sections of the building. The taller panels will include a capital letter M. The panels are to reflect the imagery of currency to continue the theme of “The Mint.” The panels add relief to the building where the façade is otherwise relatively plain.

To enhance the decorative panels and the columns at the north façade, light fixtures will be used to highlight these architectural features. The colors of the light fixtures may be changed to coordinate with a specific event. [Section 4-1-C-4-I-10](#) of the UDC regulates the type of lighting that is used to highlight architectural features for buildings. The lighting is not intended to create a wash of lighting along the entire façade of a building. The light fixtures shall be controlled and shielded to limit the illumination to the detail or specific feature of the building. The light colors are not allowed to randomly change or change in a choreographed or patterned display.

The building currently has a series of cellular antennas mounted on the roof at all four corners of the building. The antennas will be moved to a roof structure in the middle of the building.

## LANDSCAPING

The site currently has limited landscaping around the perimeter and in the parking lot. The modifications to the site will increase the parking setbacks along both 95<sup>th</sup> Street and Monrovia Street and add parking lot islands to the south parking lot. The new islands in both the north and south parking areas will provide additional landscaping in these parking lots.

The plan shows additional trees and shrubs installed along 95<sup>th</sup> Street and Monrovia Street in the increased space provided by moving the curb line of parking areas further from the property line. The trees shown on the Monrovia Street frontage are to be installed so that adequate space is provided for a future sidewalk along the street. The landscape plan must be revised to reflect appropriate locations for the trees along the east side of the property. Permit plans will be reviewed to confirm the placement of the trees provides the appropriate space.

The drive aisle along the west property line is directly at the property line which results in no additional landscaping on the west property line. The site is adjacent to the QuikTrip store and the parking lot for Living Spaces. The QuikTrip site contains a narrow strip of landscaping with shrubs adjacent to the north side of the site and a sloped landscape area with existing trees is provided on the Living Spaces parking lot side of the site.

[Section 4-1-D-2-C](#) of the UDC allows for consideration of alternative design for the landscaping of a site. The reduced amount of landscaping is listed in the Deviations section of the Staff report. It is Staff’s opinion the reduced amount of landscaping is reasonable for this site due to the space constraints for the redevelopment of the site.

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## REVIEW PROCESS

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- This project requires a recommendation from the Planning Commission and approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration from the City Council on June 20, 2023.
- Approval of the Final Plan by the Planning Commission for The Mint is contingent on approval of the Rezoning by the City Council on June 20, 2023.
- The applicant should inquire about additional City requirements, such as permits and development fees.

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## RECOMMENDATION FROM PROFESSIONAL STAFF

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- ★ **Conduct a Public Hearing on the rezoning request.**
- ★ **Staff recommends approval of the proposed rezoning and final plan for The Mint.**
  - This application supports the following goal from Vision 2040:
    - Thriving Economy

### REZONING

Staff recommends **approval** for rezoning property from CP-O to CP-1 for **The Mint** located at 12345 W. 95<sup>th</sup> Street.

### FINAL PLAN

Staff recommends **approval** of the final plan for **The Mint** located 12345 W. 95<sup>th</sup> Street, for a banquet facility and office uses, with the deviations from the UDC as listed in the Staff Report and the following conditions:

1. The applicant shall provide to the City's benefit a 10-foot-wide public sidewalk easement along Monrovia Street prior to the issuance of a building permit; and
2. The landscape plan shall be revised prior to the issuance of a building permit to accommodate the public sidewalk easement and future sidewalk.

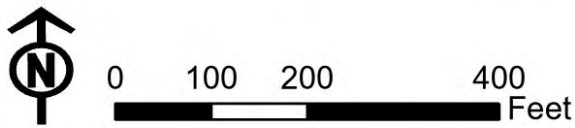


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For further information, please call 913-477-7500

# The Mint

## RZ23-04 & PL23-13F



# THE MINT

## LENEXA, KANSAS



### FINAL DEVELOPMENT PLAN SUBMITTAL

OWNER: STEVE BEAUMONT

A000	COVER SHEET
1	EXISTING CONDITIONS PLAN
2	OVERALL SITE PLAN
3	UTILITY PLAN
4	SITE PLAN 1
5	SITE PLAN 2
6	TURNING MOVEMENT PLAN
7	GRADING PLAN
8	LANDSCAPE & IRRIGATION PLAN
9	EROSION CONTROL PLAN
PH1	SITE PHOTOMETRIC PLAN

A100	EXISTING GROUND LEVEL FLOOR PLAN
A101	EXISTING BASEMENT FLOOR PLAN
A102	EXISTING LEVEL 2 FLOOR PLAN
A110	PROPOSED GROUND LEVEL FLOOR PLAN
A111	PROPOSED BASEMENT FLOOR PLAN
A200	ELEVATIONS
A201	EXTERIOR DETAILS

\*NEW FIRE SPRINKLER SYSTEM TO BE INSTALLED PER 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL FIRE CODE, AND ANY OTHER REQUIREMENTS PER THE A.H.J. ALL FIRE SPRINKLER AND FIRE ALARM DRAWINGS BY SEPARATE PERMIT AS A DEFERRED SUBMITTAL

#### PROJECT CONTACTS:

**ARCHITECT:**  
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POC: BRADEN TAYLOR  
T. 913.317.9390

**OWNER / TENANT:**  
BEKC, LLC  
12345 W 95TH ST, STE 200  
LENEXA, KS 66215  
POC: STEVE BAUMONT  
T. 913.894.8100



8813 PENROSE LANE, SUITE 400 • LENEXA, KS 66219  
PH: 913.649.8181 • FX: 913.649.7275 • www.kloverarchitects.com

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THE MINT  
STEVE BEAUMONT  
12345 95th Street  
Lenexa, KS 66215

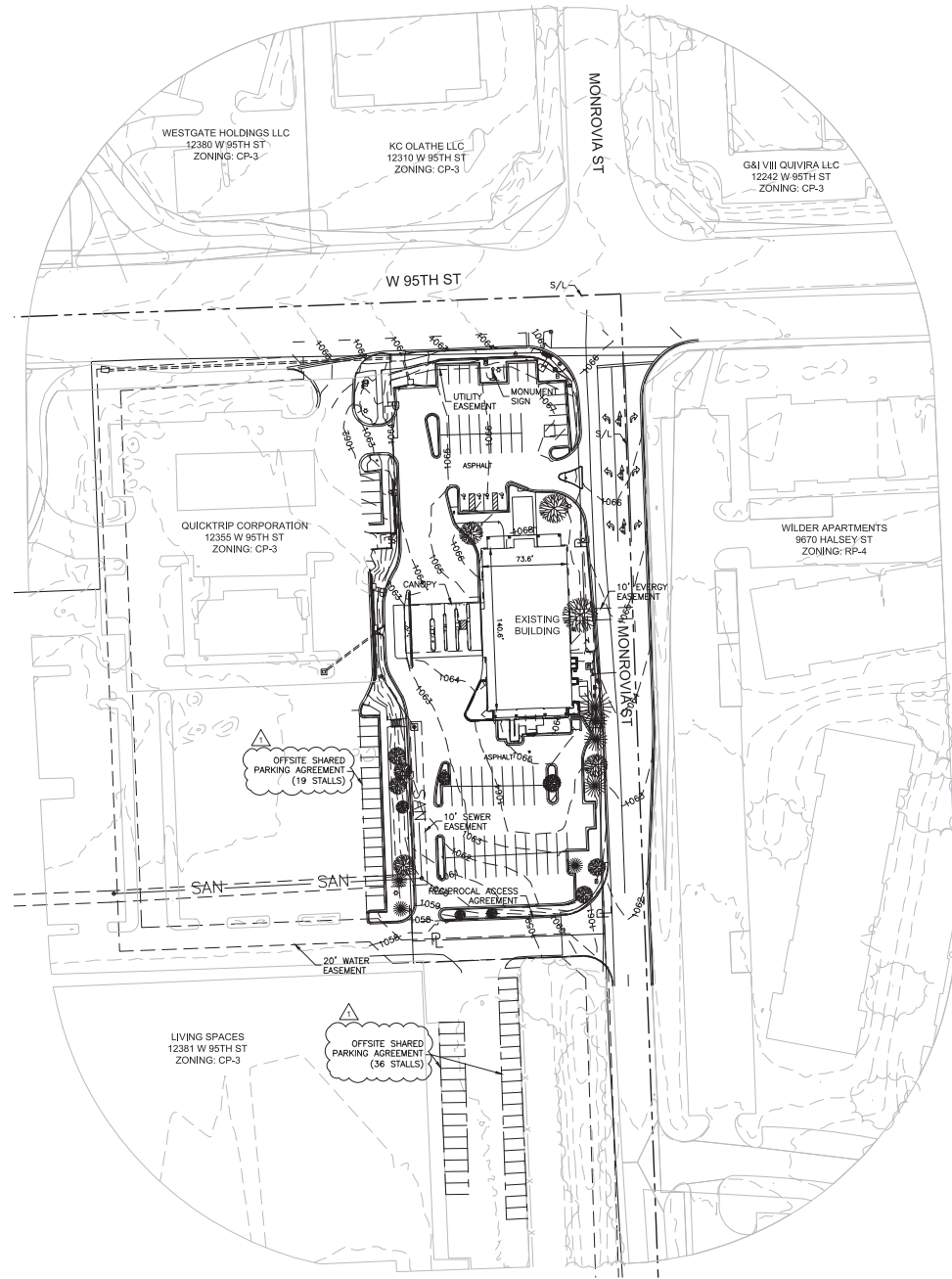
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drawing issuance  
FDP 05.01.23  
drawing revisions  
No. Description Date

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drawing title  
COVER SHEET

drawing number  
**A000**





**FEMA INFORMATION**

SITE IS NOT LOCATED IN A FLOOR HAZARD AREA PER FEMA FIRM MAP 20091C0051G, AUGUST 3, 2009.

**LEGAL DESCRIPTION**

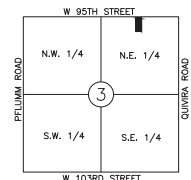
HOME QUARTERS LT 2 EX 80 NW CR LT 2 E 134.91' TO N NE CR SE 33.98' TO E NE CR NW 39.51' W 80.69' SW 44.51' TO W/L N 15.31' TO POB IN ST LEC 208 2A 2

**CONTACT INFORMATION**

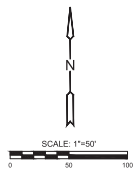
**DEVELOPER/OWNER**  
MONROE 95 LLC  
PO BOX 15207  
LENEXA, KS 66285

**ARCHITECT**  
KLOVER ARCHITECTS  
8813 FENROSE LN, #400  
LENEXA, KS 66219  
(913)649-8181

**ENGINEER**  
MKEC ENGINEERING, INC.  
11827 W 112TH ST, SUITE 200  
OVERLAND PARK, KS 66210  
(913)317-9390



**VICINITY MAP**



REZONING AND FDP FOR

**THE MINT**

12345 W 95TH STREET, LENEXA, KS 66215

0302  
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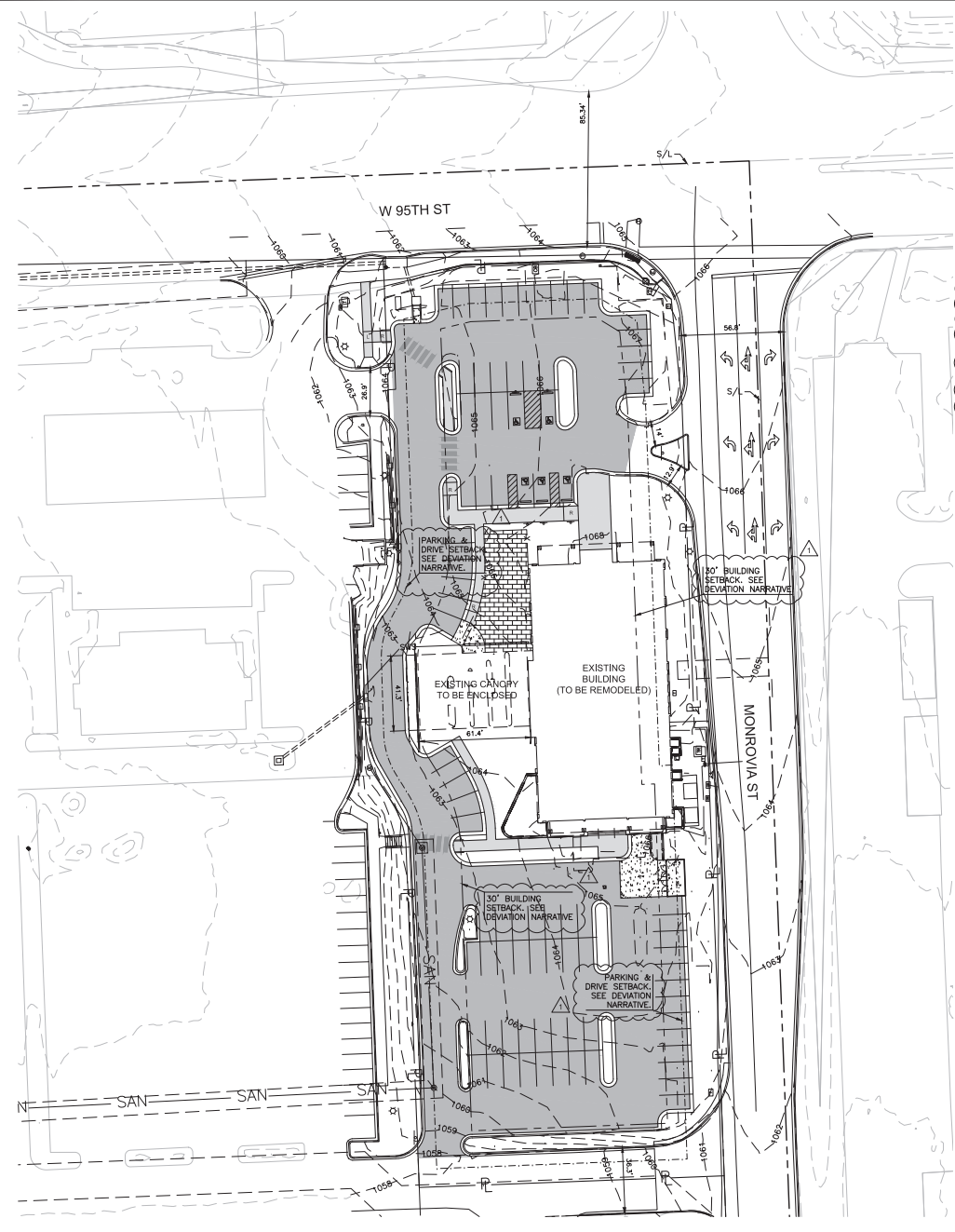
**EXISTING CONDITIONS PLAN**

PROJECT NO.	2302010306	
DATE	05.01.2023	
SCALE	1"=50'	
DESIGNED	SEK	
DRAWN	SEK	
CHECKED	BLT	
1	KEY COMMENTS	05/21/23
N/A	REVISION	DATE

SHEET NO. 1 OF 9

PROJECT: 2302010306 - THE MINT - LEVENA, KS. SHEET: 2302010306-02 (REV. 05/2023)

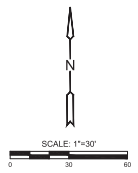
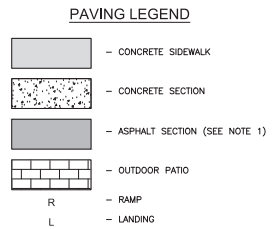
DATE: 05/01/2023



ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	ASPHALT MILL & OVERLAY	1,200.00	SQ. YD.	1.50	1,800.00
2	CONCRETE SIDEWALK	1,500.00	SQ. YD.	1.00	1,500.00
3	CONCRETE DRIVE	500.00	SQ. YD.	1.00	500.00
4	ASPHALT DRIVE	1,000.00	SQ. YD.	1.00	1,000.00
5	LANDSCAPING	1,000.00	SQ. YD.	1.00	1,000.00
6	PAVING TOTAL				5,800.00
7	CONCRETE DRIVE	500.00	SQ. YD.	1.00	500.00
8	ASPHALT DRIVE	1,000.00	SQ. YD.	1.00	1,000.00
9	LANDSCAPING	1,000.00	SQ. YD.	1.00	1,000.00
10	PAVING TOTAL				2,500.00
11	CONCRETE SIDEWALK	1,500.00	SQ. YD.	1.00	1,500.00
12	CONCRETE DRIVE	500.00	SQ. YD.	1.00	500.00
13	ASPHALT DRIVE	1,000.00	SQ. YD.	1.00	1,000.00
14	LANDSCAPING	1,000.00	SQ. YD.	1.00	1,000.00
15	PAVING TOTAL				3,000.00
16	CONCRETE SIDEWALK	1,500.00	SQ. YD.	1.00	1,500.00
17	CONCRETE DRIVE	500.00	SQ. YD.	1.00	500.00
18	ASPHALT DRIVE	1,000.00	SQ. YD.	1.00	1,000.00
19	LANDSCAPING	1,000.00	SQ. YD.	1.00	1,000.00
20	PAVING TOTAL				3,000.00
21	CONCRETE SIDEWALK	1,500.00	SQ. YD.	1.00	1,500.00
22	CONCRETE DRIVE	500.00	SQ. YD.	1.00	500.00
23	ASPHALT DRIVE	1,000.00	SQ. YD.	1.00	1,000.00
24	LANDSCAPING	1,000.00	SQ. YD.	1.00	1,000.00
25	PAVING TOTAL				3,000.00
26	CONCRETE SIDEWALK	1,500.00	SQ. YD.	1.00	1,500.00
27	CONCRETE DRIVE	500.00	SQ. YD.	1.00	500.00
28	ASPHALT DRIVE	1,000.00	SQ. YD.	1.00	1,000.00
29	LANDSCAPING	1,000.00	SQ. YD.	1.00	1,000.00
30	PAVING TOTAL				3,000.00

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	CONCRETE SIDEWALK	1,500.00	SQ. YD.	1.00	1,500.00
2	CONCRETE DRIVE	500.00	SQ. YD.	1.00	500.00
3	ASPHALT DRIVE	1,000.00	SQ. YD.	1.00	1,000.00
4	LANDSCAPING	1,000.00	SQ. YD.	1.00	1,000.00
5	PAVING TOTAL				3,000.00

- NOTES:**
- ASPHALT SHOWN ON PLAN WILL EITHER BE FULL DEPTH OR MILL AND OVERLAY OF THE EXISTING ASPHALT.
  - SEE SHEETS 4 & 5 FOR ADDITIONAL PAVING DIMENSIONS AND NOTES.



REZONING AND FDP FOR

**THE MINT**

12345 W 95TH STREET, LEVENA, KS 66215

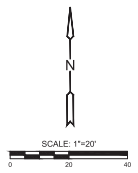
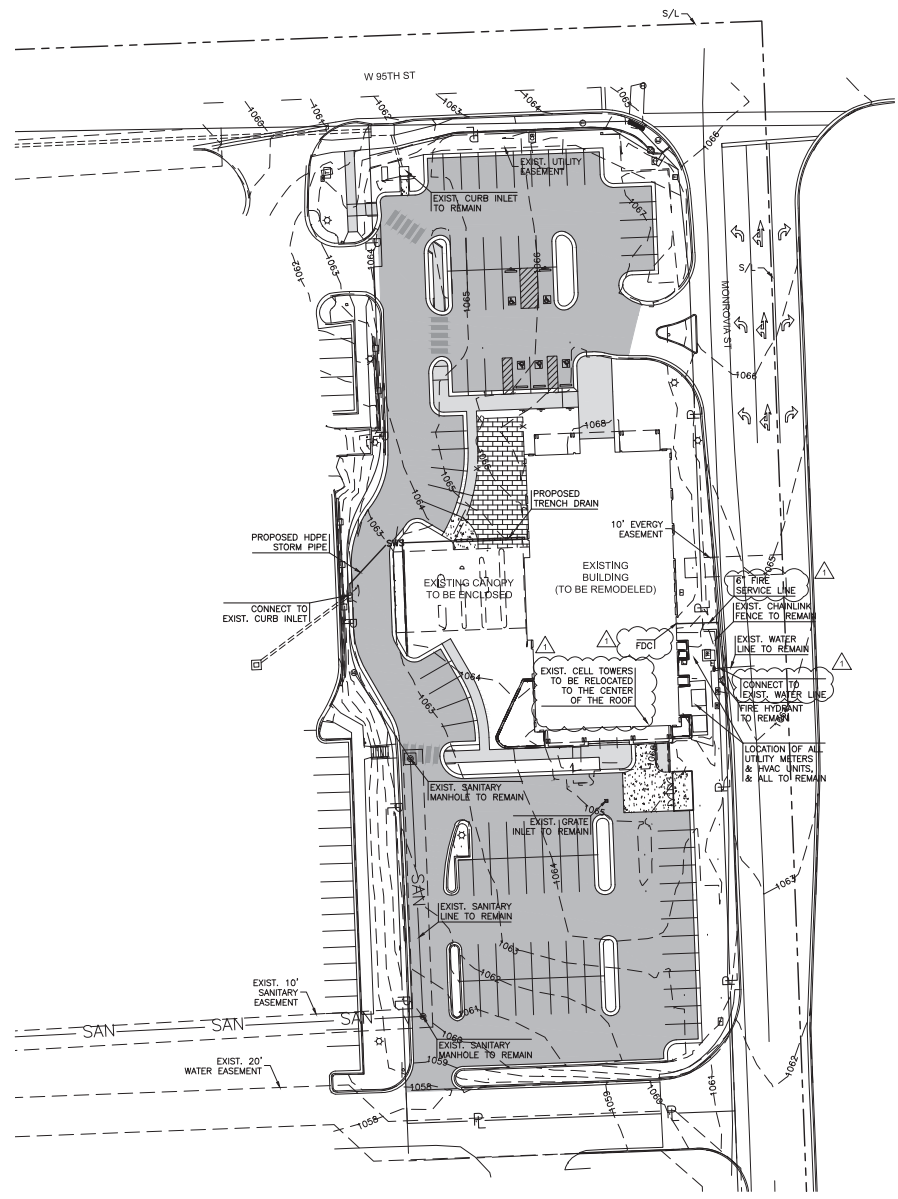
0502  
MKEC Engineering  
141414  
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**OVERALL SITE PLAN**

PROJECT NO.	2302010306	
DATE	05.01.2023	
SCALE	1"=30'	
DESIGNED	DRAWN	CHECKED
SEK	SEK	BLT
1	2	3
REV	DATE	DATE

UTILITY PLAN - 12345 W 95TH ST, LENEXA, KS 66215

PROJECT: 2302010306\_UTILITY\_PLAN - THE MINT - EXIST. SANITARY & WATER EASEMENTS - 12345 W 95TH ST, LENEXA, KS 66215



REZONING AND FDP FOR

# THE MINT

12345 W 95TH STREET, LENEXA, KS 66215

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 Lenexa, KS 66215  
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## UTILITY PLAN

PROJECT NO.	2302010306	
DATE	05.01.2023	
SCALE	1"=30'	
DESIGNED	SEK	
DRAWN	SEK	
CHECKED	BLT	
NO.	REVISION	DATE
SHEET NO.		

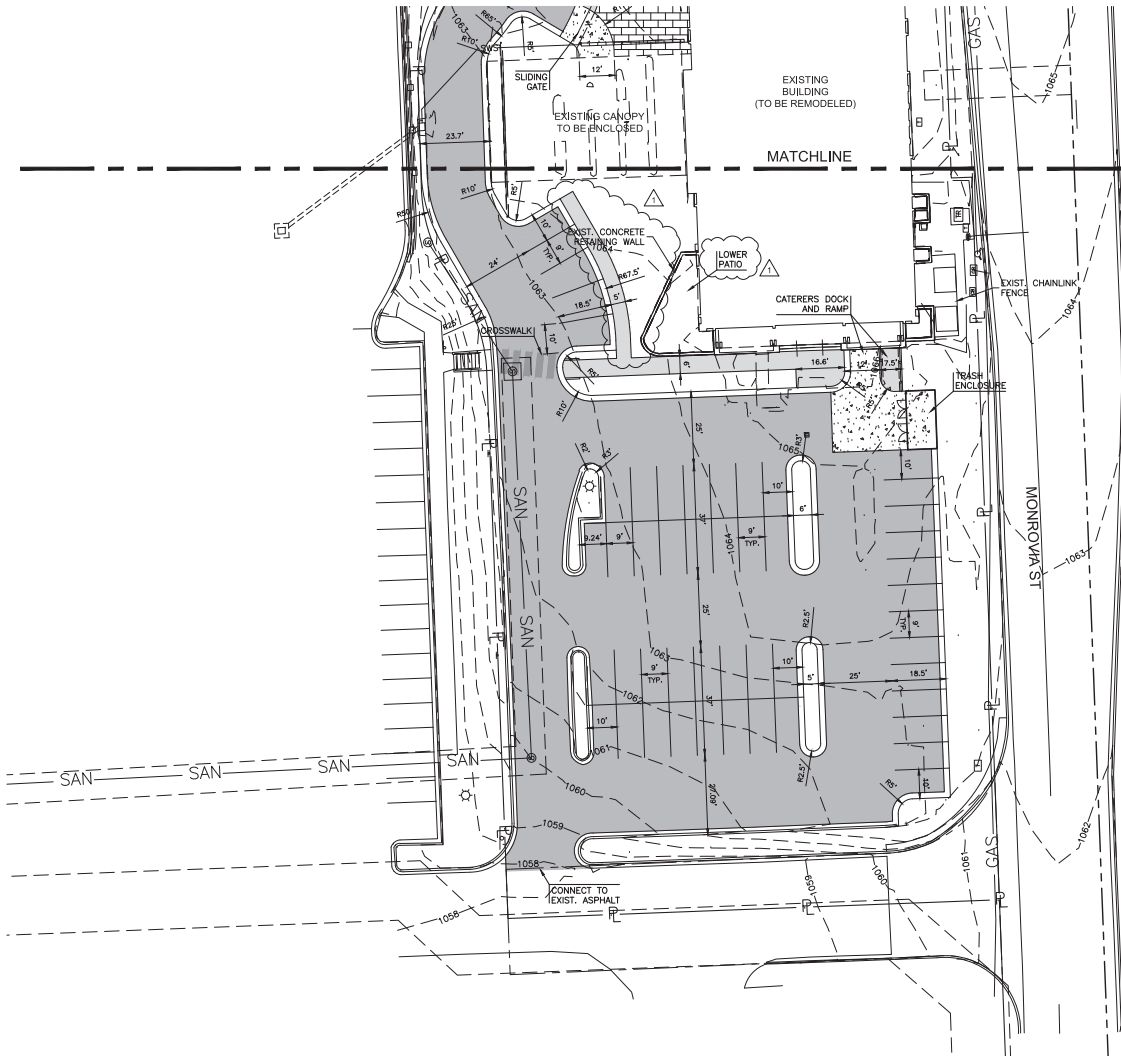




REZONING AND FDP FOR

# THE MINT

12345 W 95TH STREET, LENEXA, KS 66215



ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	ASPHALT PAVING	1,200	SQ. YD.	12.00	14,400.00
2	CONCRETE PAVING	500	SQ. YD.	15.00	7,500.00
3	LANDSCAPING	100	SQ. YD.	10.00	1,000.00
4	UTILITIES	100	LINEAL FT.	10.00	1,000.00
5	DEMOLITION	100	SQ. YD.	10.00	1,000.00
6	CONCRETE	100	CY	100.00	10,000.00
7	STEEL	100	TON	100.00	10,000.00
8	LABOR	100	HOUR	10.00	1,000.00
9	EQUIPMENT	100	HOUR	10.00	1,000.00
10	PERMITS	1	SET	100.00	100.00
11	DESIGN	1	SET	100.00	100.00
12	CONSTRUCTION	1	SET	100.00	100.00
13	INSURANCE	1	SET	100.00	100.00
14	TRAVEL	1	SET	100.00	100.00
15	MEALS	1	SET	100.00	100.00
16	PHONE	1	SET	100.00	100.00
17	POSTAGE	1	SET	100.00	100.00
18	CONTINGENCY	1	SET	100.00	100.00
19	TOTAL				40,000.00

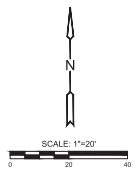
ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	ASPHALT PAVING	1,200	SQ. YD.	12.00	14,400.00
2	CONCRETE PAVING	500	SQ. YD.	15.00	7,500.00
3	LANDSCAPING	100	SQ. YD.	10.00	1,000.00
4	UTILITIES	100	LINEAL FT.	10.00	1,000.00
5	DEMOLITION	100	SQ. YD.	10.00	1,000.00
6	CONCRETE	100	CY	100.00	10,000.00
7	STEEL	100	TON	100.00	10,000.00
8	LABOR	100	HOUR	10.00	1,000.00
9	EQUIPMENT	100	HOUR	10.00	1,000.00
10	PERMITS	1	SET	100.00	100.00
11	DESIGN	1	SET	100.00	100.00
12	CONSTRUCTION	1	SET	100.00	100.00
13	INSURANCE	1	SET	100.00	100.00
14	TRAVEL	1	SET	100.00	100.00
15	MEALS	1	SET	100.00	100.00
16	PHONE	1	SET	100.00	100.00
17	POSTAGE	1	SET	100.00	100.00
18	CONTINGENCY	1	SET	100.00	100.00
19	TOTAL				40,000.00

**NOTES:**

- ASPHALT SHOWN ON PLAN WILL EITHER BE FULL DEPTH OR MILL AND OVERLAY OF THE EXISTING ASPHALT.

**PAVING LEGEND**

- CONCRETE SIDEWALK
- CONCRETE SECTION
- ASPHALT SECTION (SEE NOTE 1)
- OUTDOOR PATIO
- RAMP
- LANDING



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**SITE PLAN 2**

PROJECT NO.	2302010306	
DATE	05.01.2023	
SCALE	1"=20'	
DESIGNED	DRAWN	CHECKED
SEK	SEK	BLT
1	REV COMMENTS	05/01/23
2	REV COMMENTS	05/22/23
NO.	REVISION	DATE

SHEET NO.

PLANNING AND DESIGN DIVISION  
 2024.03.15.10.00

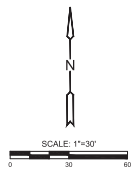
PROJECT: 2302010306 - THE MINT - EXISTING CANOPY TO BE ENCLOSED - 12345 W 95TH ST



**GRADING LEGEND**

— 1060 — PROPOSED MAJOR CONTOUR

— 1061 — PROPOSED MINOR CONTOUR



REZONING AND FDP FOR  
**THE MINT**  
 12345 W 95TH STREET, LENEXA, KS 66215

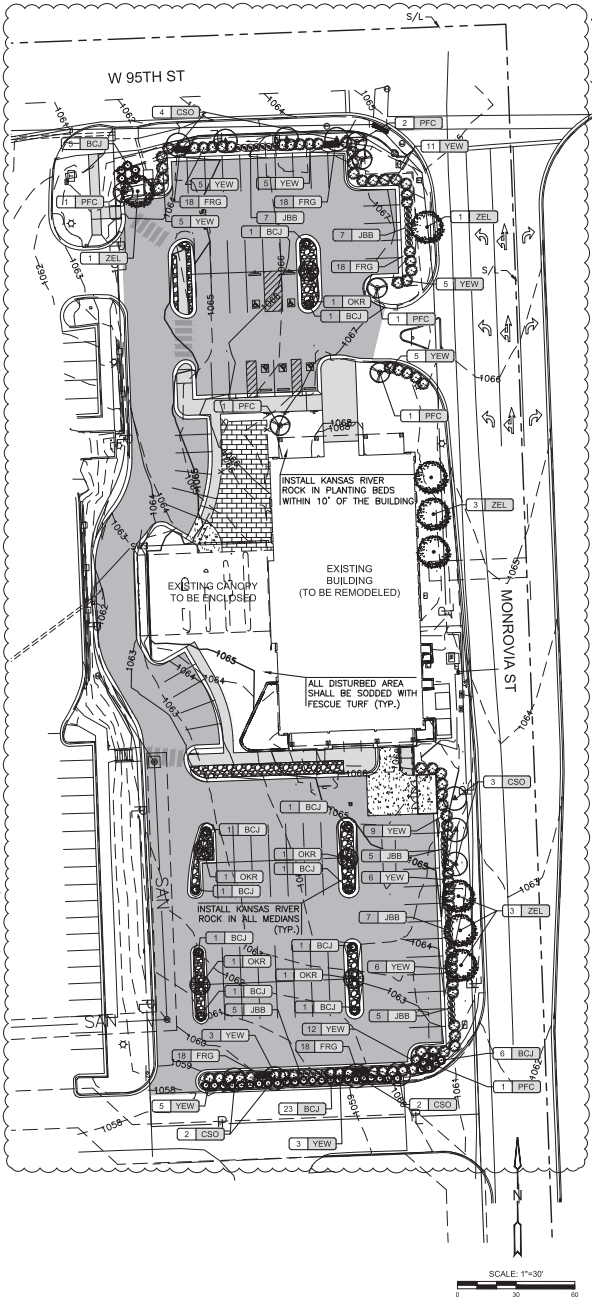
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**GRADING PLAN**

PROJECT NO.	2302010306	
DATE	05.01.2023	
SCALE	1"=30'	
DESIGNED	DRAWN	CHECKED
SEK	SEK	BLT
NO.	REVISION	DATE

**GENERAL LANDSCAPE NOTES**

- THE LANDSCAPE CONTRACTOR SHOULD READ ALL LANDSCAPE PLANS, SPECIFICATIONS AND VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. IF A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON PLANS AND WITHIN THE PLANT SCHEDULE EXIST THE PLANT QUANTITIES SHALL BE USED. PLANT SCHEDULE QUANTITIES FOR INFORMATION ONLY.
- ANY AND ALL QUESTIONS CONCERNING THE LANDSCAPE PLANS AND SPECIFICATIONS SHALL BE DIRECTED TO THE OWNER AND / OR MKEC LANDSCAPE ARCHITECT AT 913-317-9390.
- THE LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WEEDING, MULCHING, AND OTHER REQUIREMENTS OF PLANT MATERIALS WHILE THEY ARE TEMPORARILY STORED ON OR OFF SITE.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE LAYOUT OF PLANTING BEDS, PLANT MASSING, STAKED LOCATION OF TREES AND INSTALLATION OF PLANT MATERIAL WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANT MATERIAL, (EXCEPT SHADE TREES) IS DELINEATED AT MATURE SIZE OF PLANT MATERIAL. SHADE TREES ARE DELINEATED AT 85% OF ACTUAL MATURE SIZE.
- ALL PLANT MATERIALS MEET THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-11999) PER THE AMERICAN ASSOCIATION OF NURSEYMEN.
- PER OWNER'S DIRECTION, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIAL AT THE NURSERY, PRIOR TO DIGGING.
- AREAS DISTURBED AREAS SHALL BE 'FESCUE TURF' ARE TO RECEIVE SOD AS FOLLOWS:  
SOD: FESCUE TURF  
FERTILIZER: HAVE SOIL TESTED TO OBTAIN RECOMMENDED SOIL AMENDMENTS FOR THE GRASSES LISTED. REPORT RECOMMENDATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE ANY APPLICATION OF FERTILIZER IS MADE.
- CONDUCT PLANTING UNDER FAVORABLE WEATHER CONDITIONS DURING EITHER THE SPRING PLANTING SEASON, MARCH 1ST TO JUNE 1ST, OR THE FALL PLANTING SEASON, SEPTEMBER 30TH UNTIL FREEZING OF THE GROUND, DURING THE FALL PLANTING SEASON, CONIFEROUS MATERIAL PLANTING SHALL BE CONDUCTED AUGUST 15TH TO OCTOBER 1ST. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
- THE PLANTING SOIL MIXTURE FOR ALL TREE PLANTINGS SHALL INCLUDE SOIL EXCAVATED FROM THE HOLE. RATIO: 50% VIRGIN SOIL + 50% AMENDED TOP SOIL.
- ROOT STIMULATOR SHALL BE APPLIED TO ALL PLANT MATERIALS WITH THE EXCEPTION OF LAWN AREAS. APPLY AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- THE LANDSCAPE CONTRACTOR SHALL RESTORE FINISH GRADES IN ALL PLANTING AREAS (PER GRADING PLANS) WHICH MAY HAVE BEEN DISTURBED DURING PLANTING OPERATIONS.
- ALL TREE SAUCERS AND PLANTING BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4" DOUBLE-GROUND OAK MULCH (COLOR DIED). COLOR TO BE JAVA BROWN. WHERE PLANTING BEDS ARE ADJACENT TO WALKS AND CURBS THE SOIL LEVEL SHALL BE 4" LOWER TO ALLOW FOR MULCH LAYER, WHERE SOIL IS INDICATED, ITS THICKNESS SHALL ALSO BE ACCOUNTED FOR SO THAT THE SOIL SURFACE IN THE SOD IS 3/4" BELOW THE HARDSCAPE SURFACE.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TREFLAN OR EQUAL. APPLY AS PER MANUFACTURER'S RECOMMENDATION. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING WITHIN THESE AREAS IS COMPLETE, BUT BEFORE THESE AREAS ARE MULCHED. DO NOT DISTURB AREAS AFTER APPLICATION. WATER AS DIRECTED.
- MULCH, STAKES, GUY WIRE, PRE-EMERGENT HERBICIDES, ETC. SHALL BE SUBSIDIARY TO INDIVIDUAL PLANTS.
- LANDSCAPE EDGING: ALL PLANTING BEDS ADJUTING LAWN AREAS SHALL BE EDGED WITH BLACK STEEL EDGING.
- ALL SLOPES THAT EXCEED A 3:1 GRADE SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET - NORTH AMERICAN GREEN S150. INSTALL AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- LABEL EACH TREE AND SHRUB WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. LABEL EACH ORNAMENTAL GRASS, GROUNDCOVER, PERENNIAL AND ANNUAL WITH THE LABEL PROVIDED BY THE ORIGINAL GROWER OF THE PLANT. LABELS SHALL NOT BE REMOVED UNTIL AFTER PROVISIONAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
- STAKES AND GUYING SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
- ALL PLANTING BEDS SHALL BE OVER EXCAVATED TO A DEPTH OF 2". ALL AREAS DENOTED WITH SOD (LAWN AREAS) SHALL HAVE A 6" MINIMUM TOPSOIL LAYER. TOPSOIL SHALL BE LAD IN 3" LIFTS. IN AREAS WHERE CONSTRUCTION GRADING HAS NOT OCCURRED AND THE VIRGIN GRADE YET EXIST, THE TOPSOIL LAYER MAY NOT BE REQUIRED BASED ON THE DECISION OF THE LANDSCAPE ARCHITECT.
- TOPSOIL SHALL BE FERTILE NATURAL TOPSOIL, TYPICAL OF THE LOCALITY. FOLLOWING MAJOR GRADING OPERATIONS THE FINAL 6" LIFT SHALL BE HIGH QUALITY TOPSOIL. SOIL SHALL BE OBTAINED FROM WELL DRAINLED AREAS. STOCKPILED TOPSOIL MAY BE USED. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOIL OR SLAG AND SHALL BE FREE OF STONES, LUMPS, STICKS, PLANTS OR THEIR ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR WOULD INTERFERE WITH FUTURE MAINTENANCE. TOPSOIL PH RANGE SHALL BE 5.5 TO 7.0).
- THERE SHALL BE NO ADDITIONS, DELETIONS OR SUBSTITUTION OF PLANT MATERIAL SPECIES WITHOUT THE WRITTEN APPROVAL BY THE OWNER AND / OR MKEC LANDSCAPE ARCHITECT. ANY SUBSTITUTION WHICH HAS NOT BEEN APPROVED SHALL BE REMOVED AND IMMEDIATELY REPLACED WITH THE CORRECT PLANT AT LANDSCAPE CONTRACTOR'S EXPENSE.
- IN THE CONDITION WHERE THE PLANT MATERIAL HAS BEEN SUPPLIED BY THE OWNER THROUGH A PLANT PROCUREMENT PROGRAM WITH A MKEC PRO 2 YEAR WARRANTY, THE LANDSCAPE CONTRACTOR'S WARRANTY OF PLANT MATERIAL SHALL BEGIN FROM THE TIME OF HANDLING PLANT MATERIAL AT TIME OF DELIVERY THROUGH INSTALLATION AND END AT THE SUBSTANTIAL COMPLETION AND FINAL PUNCH-LIST APPROVAL BY LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THE LANDSCAPE CONSTRUCTION.
- COORDINATE WITH THE OWNER AND GENERAL CONTRACTOR FOR SLEEVE LOCATIONS AND TIMING OF SLEEVE INSTALLATION. ALL SLEEVING REQUIRED UNDER HARDSCAPE SURFACES FOR THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
- THE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. REFER TO SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTING SOIL MIX.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY A PERMANENT IRRIGATION SYSTEM. IRRIGATION DESIGN SHALL BE DELEGATED DESIGN TO THE LANDSCAPE CONTRACTOR. SYSTEM SHALL IRRIGATE TURF AREAS WITH ROTOR HEADS AND ALL BEDS WILL BE IRRIGATED BY DRIP IRRIGATION OR POP UP HEADS. ALL TREES SHALL BE IRRIGATED WITH A TREE RING AROUND EACH INDIVIDUAL TREE. CONTRACTOR SHALL SUBMIT PLANS, DETAILS AND SPECIFICATIONS DETAILING THE DESIGN OF THE SYSTEM TO THE LANDSCAPE ARCHITECT FOR REVIEW. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR INSTALLED PLANT MATERIAL FOR A MINIMUM OF 90 DAYS. TO ESTABLISH PLANT MATERIALS, WATER FROM SOURCES AND KEEP LAWN UNIFORMLY MOIST TO A DEPTH OF 4 INCHES. WATER LAWN AT A MINIMUM RATE OF 1) ONE INCHES PER WEEK OR AS NECESSARY TO PROVIDE A HEALTHY GREEN APPEARANCE. INSTALLATION, MAINTENANCE, AND MONITORING OF THE IRRIGATION SYSTEM WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR THE FIRST 90 DAYS. AT THE END OF THE ESTABLISHMENT PERIOD, CONTRACTOR IS TO ADJUST WATER CYCLING FOR MAINTENANCE OF PLANT MATERIAL. CONTRACTOR TO PROVIDE TRAINING TO OWNER IN THE OPERATION OF NEW IRRIGATION SYSTEM.
- IRRIGATION SYSTEM TO BE INSTALLED BY LANDSCAPE CONTRACTOR FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT. SYSTEM SHALL BE INSTALLED TO LIMIT OVER SPRAY ONTO PAVEMENT AREAS. CONTRACTOR SHALL NOT INSTALL ANY PLANT MATERIAL UNTIL IRRIGATION IS IN PLACE. IRRIGATION SYSTEM CONTRACT SHALL INCLUDE INITIAL WINTER SHUT DOWN AND BLOW OUT. CONTRACTOR TO PROVIDE (1) ONE YEAR WARRANTY FOR IRRIGATION SYSTEM TO THE OWNER.
- THE PLANTING SOIL MIX SHALL BE APPROVED BY THE LANDSCAPE CONTRACTOR PRIOR TO ANY BACKFILLING.
- THE TYPICAL PLANTING SOIL MIX FOR ALL PLANTING BEDS (SHRUBS, ORNAMENTAL GRASS AND PERENNIAL BED AREAS) SHALL CONSIST OF THE FOLLOWING MAKE-UP UNLESS OTHERWISE INDICATED IN THESE PLANS:  
80% TOPSOIL AS SPECIFIED  
-20% PREPARED ADDITIVES (BY VOLUME AS FOLLOWS):  
- 2 PARTS HUMUS AND/OR PEAT  
- 1 PART STERILIZED COW MANURE  
- 1 PART SHREDED PINE BARK (BARK PIECES BETWEEN 1/2" IN LENGTH/DIAMETER.  
- COMMERCIAL FERTILIZER AS RECOMMENDED BY SOIL REPORT.  
- LIME AS RECOMMENDED BY SOIL REPORT.



**PLANT SCHEDULE**

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE & METHOD OF HANDLING
<b>DECIDUOUS TREES</b>				
CSO	11	CRIMSON SPIRE OAK	QUERCUS ROBUR X ALBA 'CRIMSCHMIDT'	2" CAL, 12' MIN. HT.
ZEL	8	MUSASHINO ZELKOVA	ZELKOVA SERRATA 'MUSASHINO'	2" CAL, 5' MIN. HT.
PFC	7	RAIRIE FIRE CRABAPPLE	MALUS SP. 'RAIRIE FIRE'	2" CAL, 5' MIN. HT.
OKR	5	OKLAHOMA REDBUD	CERCIS CANADENSIS VAR. 'TEXENSIS'	1.5" CAL, 5' MIN. HT.
<b>SHRUBS</b>				
BCJ	44	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	1 GAL.
JBB	36	JAPANESE BARBERRY	BERBERIS THUNBERGII	3 GAL.
YEW	80	DENSIFORMIS YEW	TAXUS X MEDIA 'DENSIFORMIS'	3 GAL.
<b>PERENNIALS / ORNAMENTAL GRASSES</b>				
FRG	72	FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GALLON
<b>GROUND COVER</b>				
TURF	N/A	FESCUE TURF GRASS	SEE LAWN NOTES	SOD

**SOIL TEST REPORT**

DATE: 05/01/2023

PROJECT: 2302010306

SCALE: 1"=30'

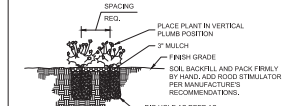
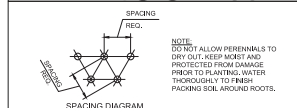
DESIGNED: B.J.H. DRAWN: B.J.H. CHECKED: B.J.H.

DATE: 05/01/2023

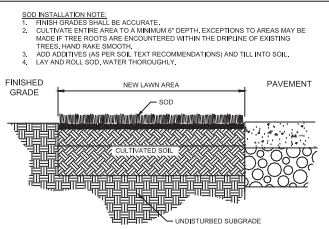
1.00 COMMENTS: 05/22/23

MKEC REVISION: DATE

SHEET NO. 8 OF 9



**PERENNIALS PLANTING**  
N.T.S.



**SOD INSTALLATION**  
N.T.S.



**DECIDUOUS TREE PLANTING**  
N.T.S.



REZONING AND FDP FOR  
**THE MINT**  
12345 W 95TH STREET, LENEXA, KS 66245

**LANDSCAPE & IRRIGATION PLAN**

PROJECT NO. 2302010306

DATE 05.01.2023

SCALE 1"=30'

DESIGNED: B.J.H. DRAWN: B.J.H. CHECKED: B.J.H.

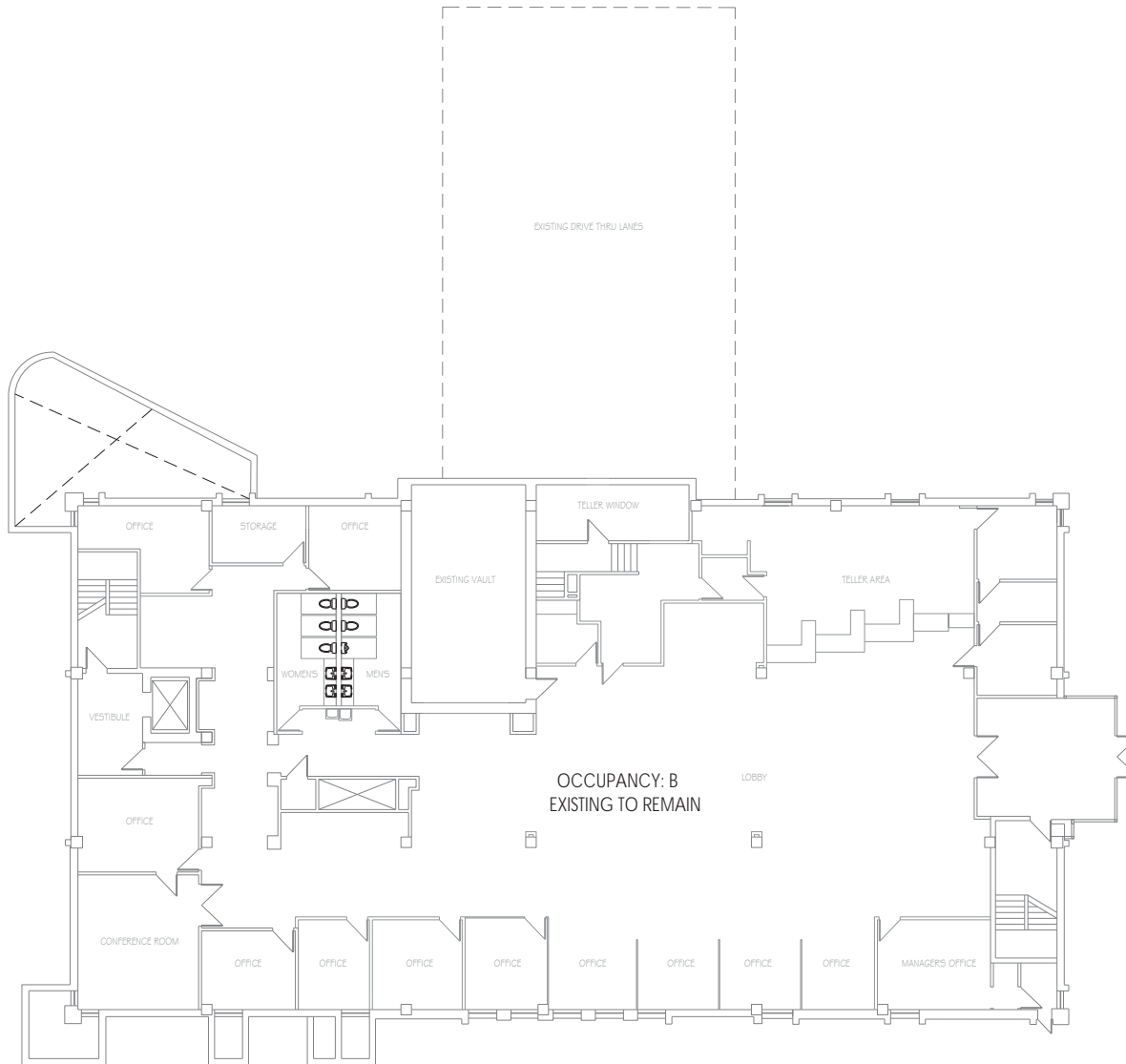
DATE: 05/22/23

1.00 COMMENTS

MKEC REVISION: DATE







EXISTING GROUND LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"

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THE MINT  
 STEVE BEAUMONT  
 12345 95th Street  
 Lenexa, KS 66215

project number  
23013.001

drawing issuance  
RDP 05.01.23

No.	Description	Date

professional seal

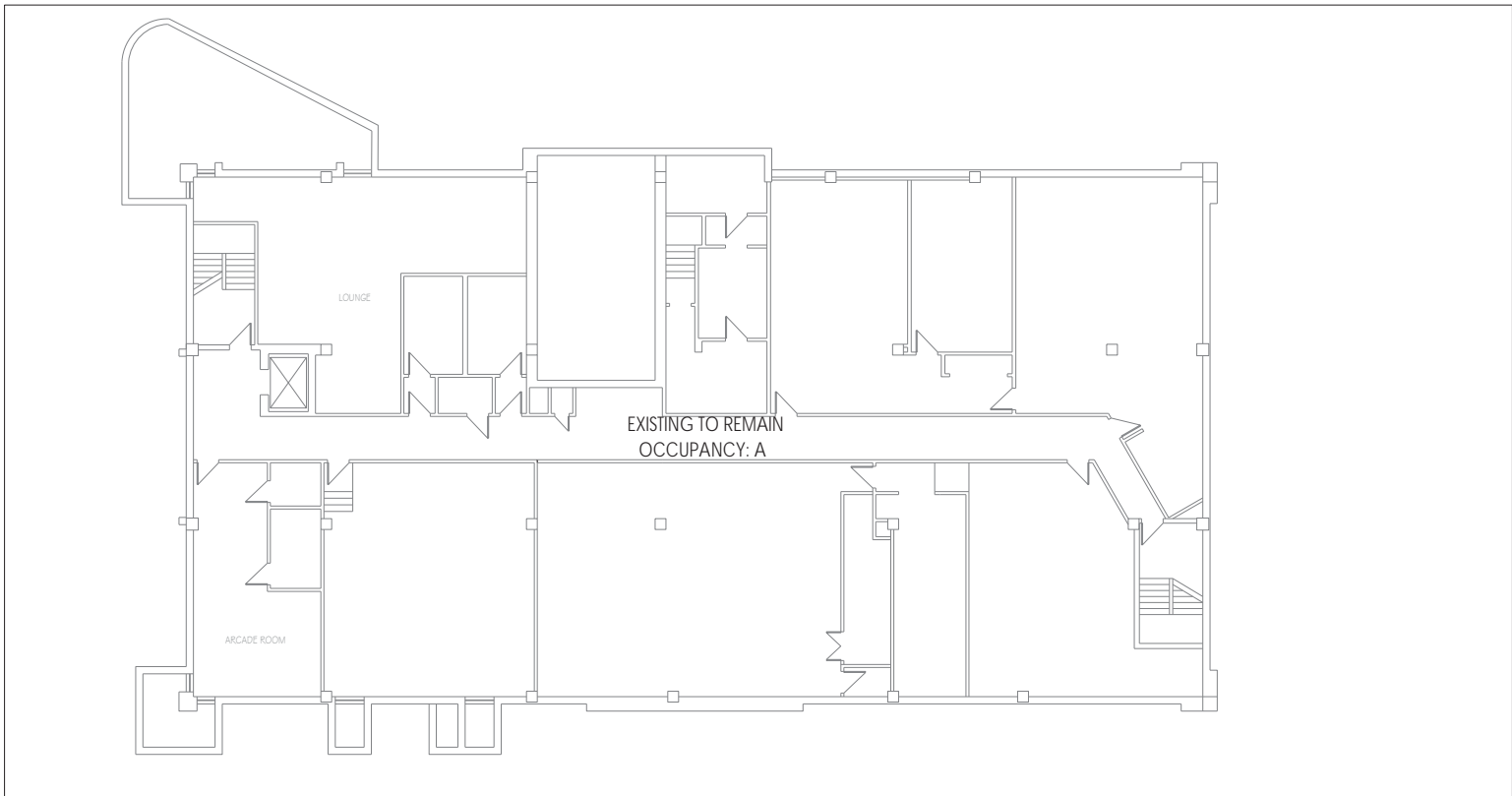
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drawing title  
EXISTING FLOOR PLAN

drawing number  
**A100**

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EXISTING BASEMENT FLOOR PLAN  
 SCALE: 1/8"=1'-0"

THE MINT  
 STEVE BEAUMONT  
 12345 95th Street  
 Lenexa, KS 66215

project number	23011.001	
drawing issuance	FOR 05.01.23	
drawing revisions		
No.	Description	Date

professional seal

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drawing title

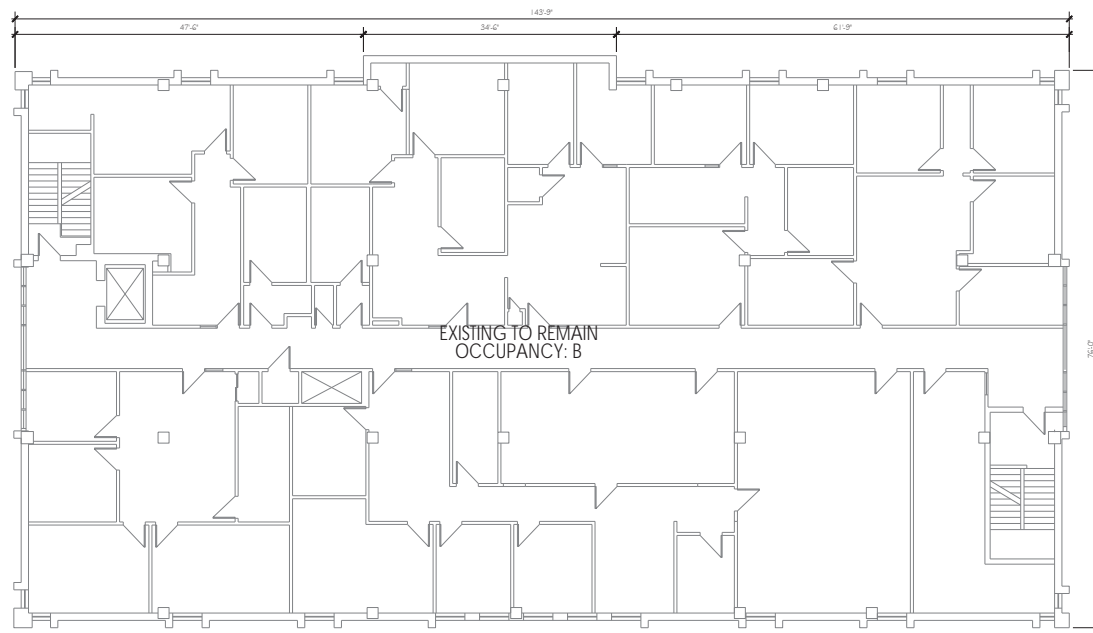
EXISTING FLOOR PLAN

drawing number

**A101**

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EXISTING SECOND LEVEL FLOOR PLAN  
 SCALE: 1/8"=1'-0"

THE MINT  
 STEVE BEAUMONT  
 12345 95th Street  
 Lenexa, KS 66215

project number	23013.001
drawing issuance	FOR 05.01.23
drawing revisions	No. Description Date

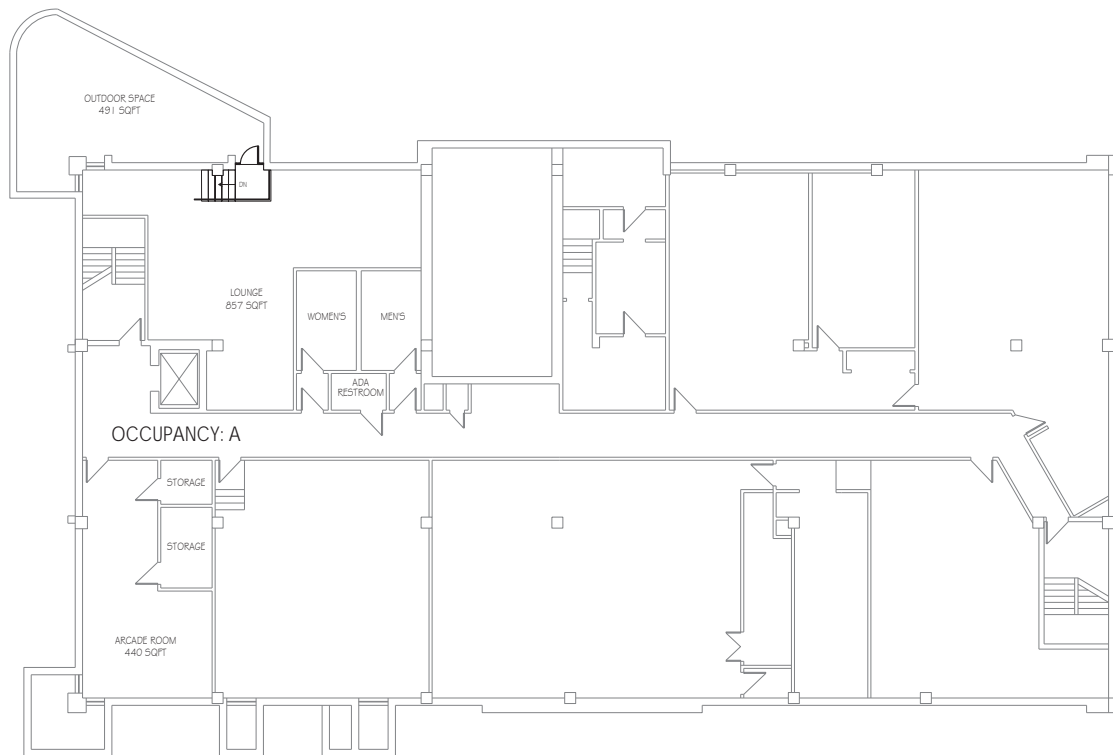
professional seal

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drawing title  
 EXISTING  
 FLOOR PLAN

drawing number  
**A102**





PROPOSED BASEMENT FLOOR PLAN  
SCALE: 1/8"=1'-0"

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THE MINT  
STEVE BEAUMONT  
12345 95th Street  
Lenexa, KS 66215

project number  
23011.001

drawing issuance  
RFP 05.01.23

No.	Description	Date

professional seal

U:\Henry Seal.PNG

drawing title  
PROPOSED  
FLOOR PLAN

drawing number  
**A111**

# FINISH LEGEND

ITEM	DESCRIPTION	MANUF / COLOR	REMARKS
CSK.1	EXISTING CAST CONCRETE	EXISTING TILT UP PREFORMED PANEL TO REMAIN, TAN FINISH COLOR TO BE PATCHED / REPAIRED AS REQUIRED TO MATCH EXISTING	
CSK.2	EXISTING CAST CONCRETE	FRAM EXISTING TILT UP PREFORMED PANEL TO REMAIN, LIGHT GRAY FINISH COLOR TO BE PATCHED / REPAIRED AS REQUIRED TO MATCH EXISTING	
CSK.3	EXISTING STUCCO	EXISTING STUCCO TO REMAIN, GRAY FINISH COLOR TO BE PATCHED / REPAIRED AS REQUIRED TO MATCH EXISTING	
CSK.4	STOREFRONT	DARK BRONZE	COLOR TO MATCH EXISTING WINDOWS / DOORS
CSK.5	CAST STONE	MIDWEST CAST STONE COLOR: 16AC	FINAL COLOR SELECTION TO MATCH CSK.2
CSK.6	STUCCO	DRYVIT - COLOR TO MATCH SW 91-10 MALIBAR	FINAL COLOR SELECTION TO MATCH CSK.1
CSK.7	FENCE	COLOR: BLACK, SUPPORTS & COMPOSITE WOOD PLANKS	FIBERON COMPOSITE WOOD COLOR: ASTIR, FRAME: WHEAT

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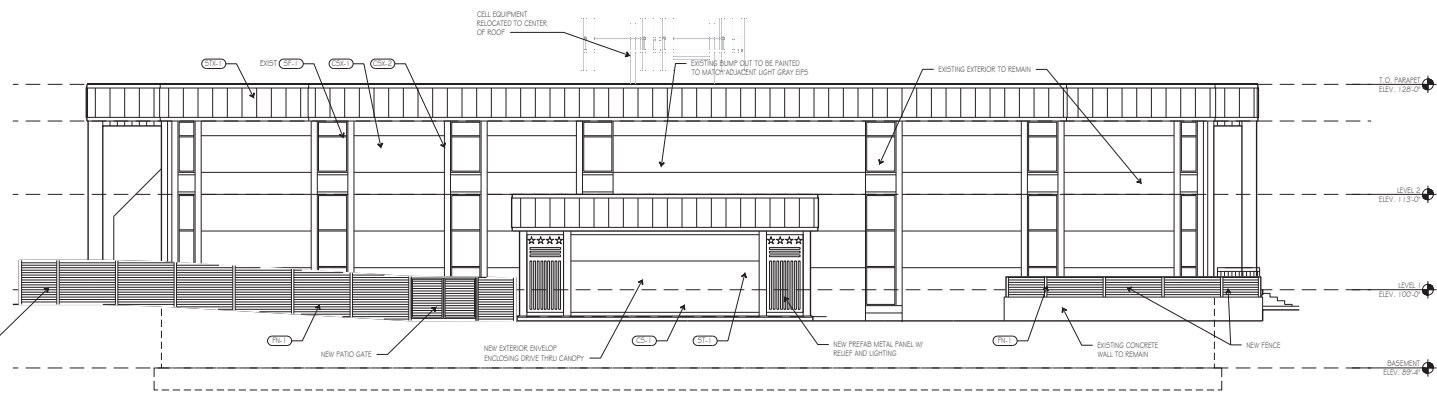
project title

THE MINT  
 STEVE BEAUMONT  
 12345 96th Street  
 Lenexa, KS 66215

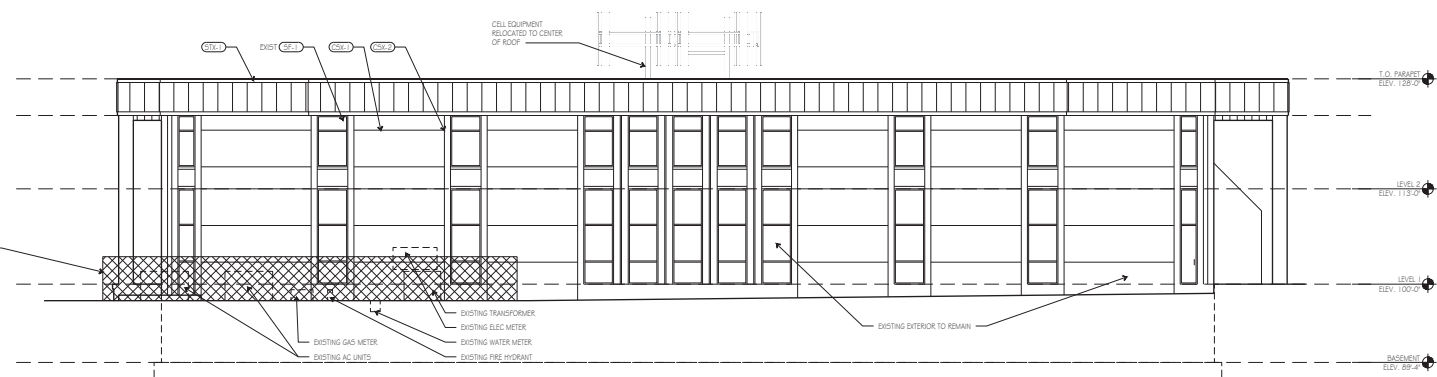
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 drawing issuance FDP 05.01.23  
 drawing revisions  
 No. Description Date

professional seal

drawing title EXTERIOR ELEVATIONS  
 drawing number A200

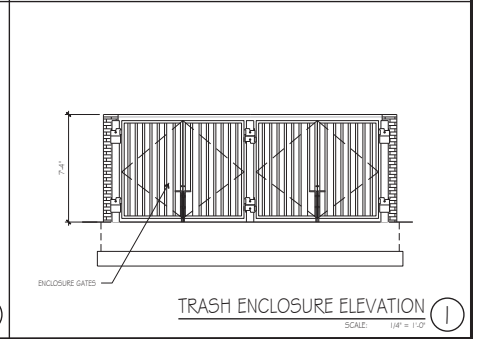
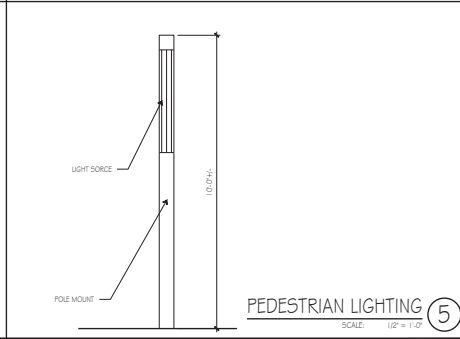
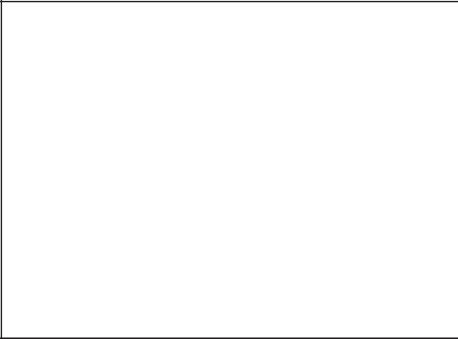
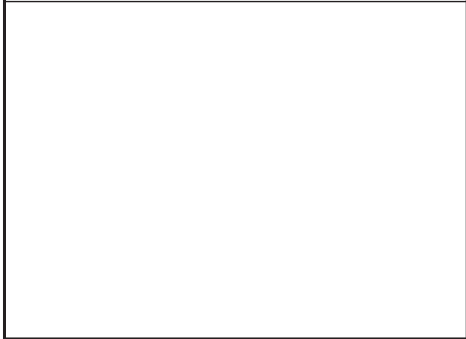
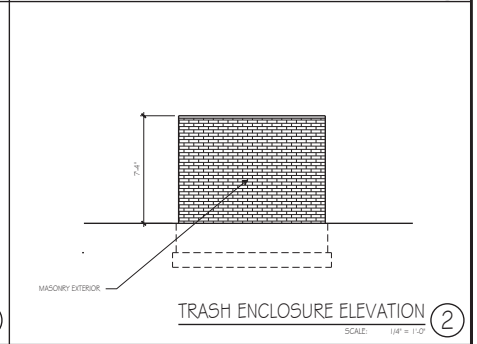
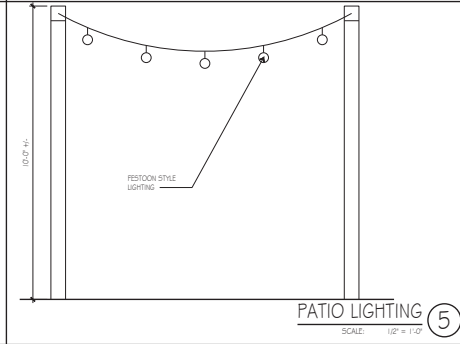
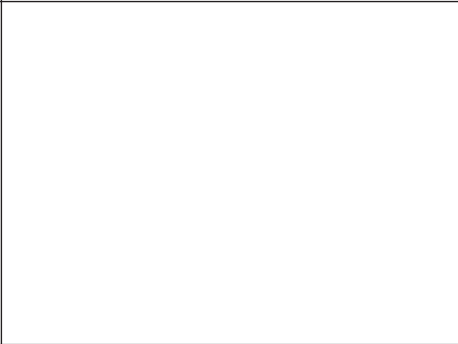
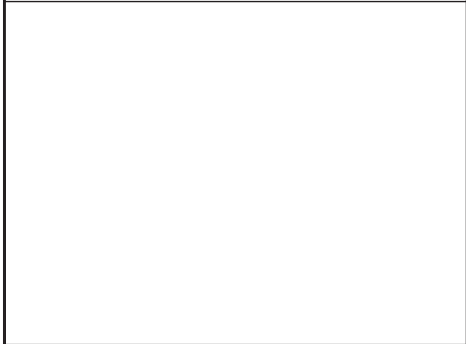
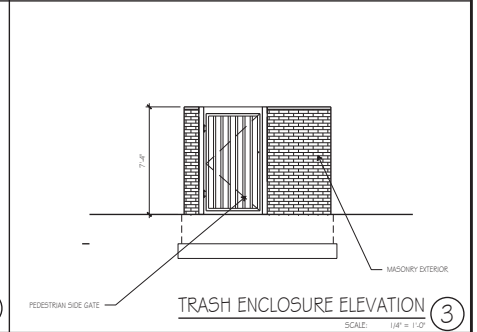
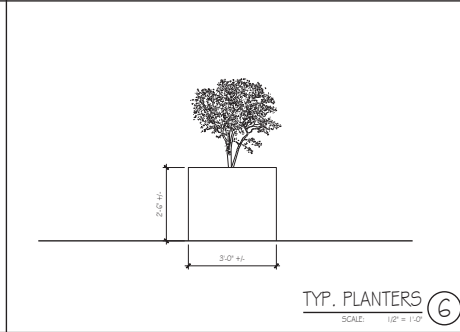
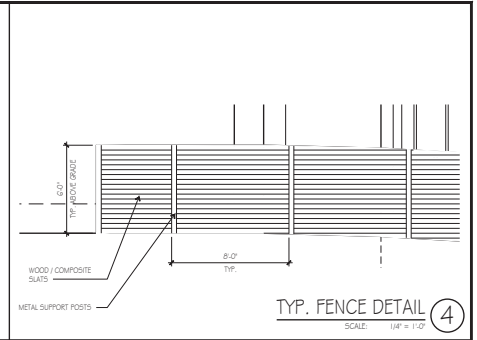
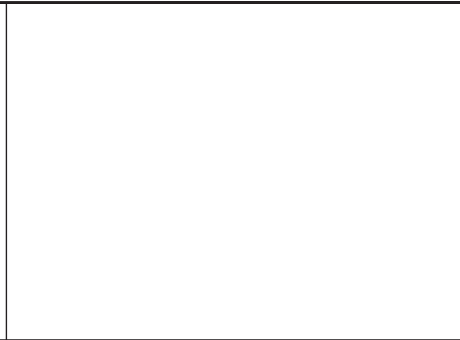
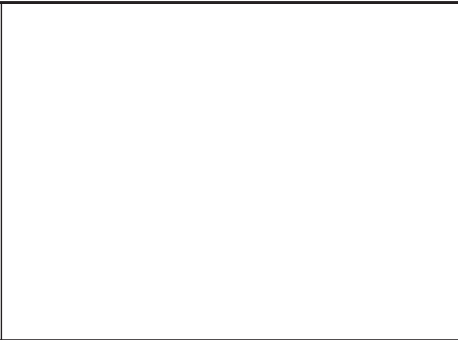
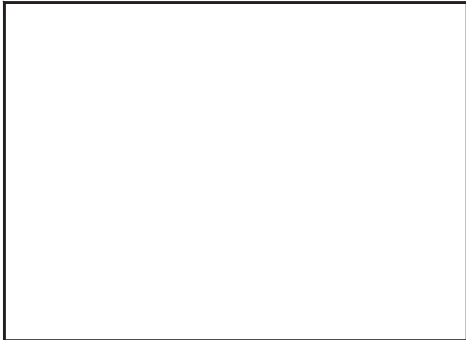


WEST ELEVATION ②  
 SCALE: 1/8" = 1'-0"



EAST ELEVATION ①  
 SCALE: 1/8" = 1'-0"





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project title

THE MINT  
 STEVE BEAUMONT  
 12345 96th Street  
 Lenexa, KS 66215

project number  
 23011.001

drawing issuance  
 FDP 05.01.23

drawing revisions  
 No. Description Date

professional seal

drawing title  
 EXTERIOR DETAILS

drawing number  
**A202**















May 22, 2023

City of Lenexa  
Department of Community Development  
17101 W 87<sup>th</sup> Street Parkway  
Lenexa, KS 66219

Re: RZ23-04 & PL23-13F - The Mint  
12345 W 95<sup>th</sup> Street  
Deviation Requested

The following deviations are being requested for RZ23-04 & PL23-13F – The Mint – 12345 W 95<sup>th</sup> Street.

We are requesting a deviation to allow for a minimum setback of 30-feet between parking and right of way from Article 4.1.B 13 of CP.1 F) Property Development Regulations:

1. Building Setback
2. Parking Setback
3. Parking Dimensions
4. Open Space
5. Minimum Site Area

Further, we request a deviation from the Article 4-1-D-2 Landscaping Buffer and Site Designer:

1. Perimeter Plantings Along West Property Line
2. Internal Parking Lot Landscaping
3. Land Use Buffer

The purpose for the rezoning from CPO to CP-1 is to permit, with the departure of Bank of America, the second-floor office space to remain, but renovate and re-purpose the ground floor level and the drive-through to create a wedding event space. The owner strongly feels there is a hole in the market in this area and will be extremely successful. The Site Development requirements of the existing CP-O zoning are not met by the existing site layout and building configuration today. With this rezoning and renovation, the previously required and new zoning district requirements will be improved upon as noted below.

### **Building setback**

The building configuration and site constraint are existing on the site and are to remain and renovated. The East building setback of 30 feet is not met due to the proximity to Monrovia. This is an existing site restraint and existing conditions that do not currently meet city ordinance for CP-O. Perimeter landscaping will be installed on the east property line to meet primary planning requirements and they will assist with the buffering.

**Parking setback**

Existing parking does not meet the current city setback requirements of CP-O zoning. This has also been exacerbated by right of way that has been taken in the past. City codes require that setback be 20 feet from public right of way and 10 feet separation from interior lot lines. The reconfiguration of the parking lot has increased the setback distances from the east property line and the north property line. This reconfiguration allows significant additional plantings for the majority of the parking lot and will exceed 10 foot setback from the north and east property lines which is consistent with zoning on the opposite side of the streets and improves the overall image of the property while still allowing the parking to meet code.

**Parking dimensions:**

The existing drive that is located west of the overhang canopy currently does not meet City code requirements for a 25ft wide drive minimum. In proposed conditions the width of the drive will remain at 24ft due to site constraints with the west property line and the existing building to remain. The remainder of the reconfigured parking lot will be updated to meet City code requirements for parking space/drives minimum required dimensions.

**Open space:**

The existing open space requirement is not met. The proposed open space provided is increase to 26.5%, which is significantly better than existing conditions. Additional patio, sidewalk, and landscaping will be provided with this project for less impervious area.

**Minimum site area:**

Minimum District site area for CP-1 is 3 acres. The existing lot size is 1.93 acres and is not changing. The deviation is required for this proposed zoning.

**Perimeter Plantings along West Property Line:**

Due to the existing parking lots and drives to remain, there is not space for perimeter plantings along the west property line. There is currently around 2'-2.5' maximum between the existing west curb line and the west property line, making it infeasible to provide perimeter plantings along the west property line. The existing slopes at the west property line are not conducive to landscape plantings. Perimeter plantings will be provided at the north, south, and east property lines, meeting City code requirements.

**Internal Parking Lot Landscaping:**

Due to the existing size of the parking lots that will remain, the required percentage of internal parking lot landscaping is not feasible. The internal parking lot landscaping percentage will increase from 1.9% in the existing condition, to 2.8% in the proposed condition, providing a better overall condition.

**Land Use Buffer:**

Due to the existing site conditions and the existing building setback, there is no space to create a land use buffer on the east side of the property. The required perimeter plantings will be provided along the east side of the property, meeting City code requirements.



The request is being made in accordance with the Lenexa Development Ordinance, Percent requirements of article 4-1-B-27 Planning Development Regulations G,4-f:

The Planning Commission shall have the authority to approve other deviations from the property development standards only if it is determined that all of the following conditions are met;

1. That the deviation requested arises from a condition that is unique to the subject property, is not ordinary, found in the same zoning district, and it's not been created by the actions of the landowner or applicant.

The site is currently zone CP-O and to use the first level and basement area as a wedding event space rezoning to CP-1 is required. The development standards for the existing CP-O District are very similar to CP-1 and are not met today and are not created by this request and will be improved. Being these are existing conditions, it is not created by the developer and is unique to this site.

2. That the granting a deviation will not adversely affect the rights of adjacent Landowners or residence.

As noted above, the deviations requested are existing today with the current zoning and will therefore not adversely affect the rights of adjacent landowners or residence.

3. That the strict application requirements this Chapter would constitute an unnecessary hardship upon the landowner represented in this in the application,

As the requested deviations are existing today, denying the application would make any reuse of the building difficult and possibly force the building to remain vacant or other uses that would be less desirable for the landowner and the city.

4. That the deviation requested will not adversely affect the public health, safety or general welfare.

As this is an existing site condition today and will be improved upon with this rezoning, it will improve the public health, safety or general welfare.

5. That the deviation will not conflict with the purpose and intent of this code.

As the site conditions are existing and the Unified Development Code anticipates necessary adjustments for existing conditions. This request is not in conflict with the intent of the code.

Sincerely,

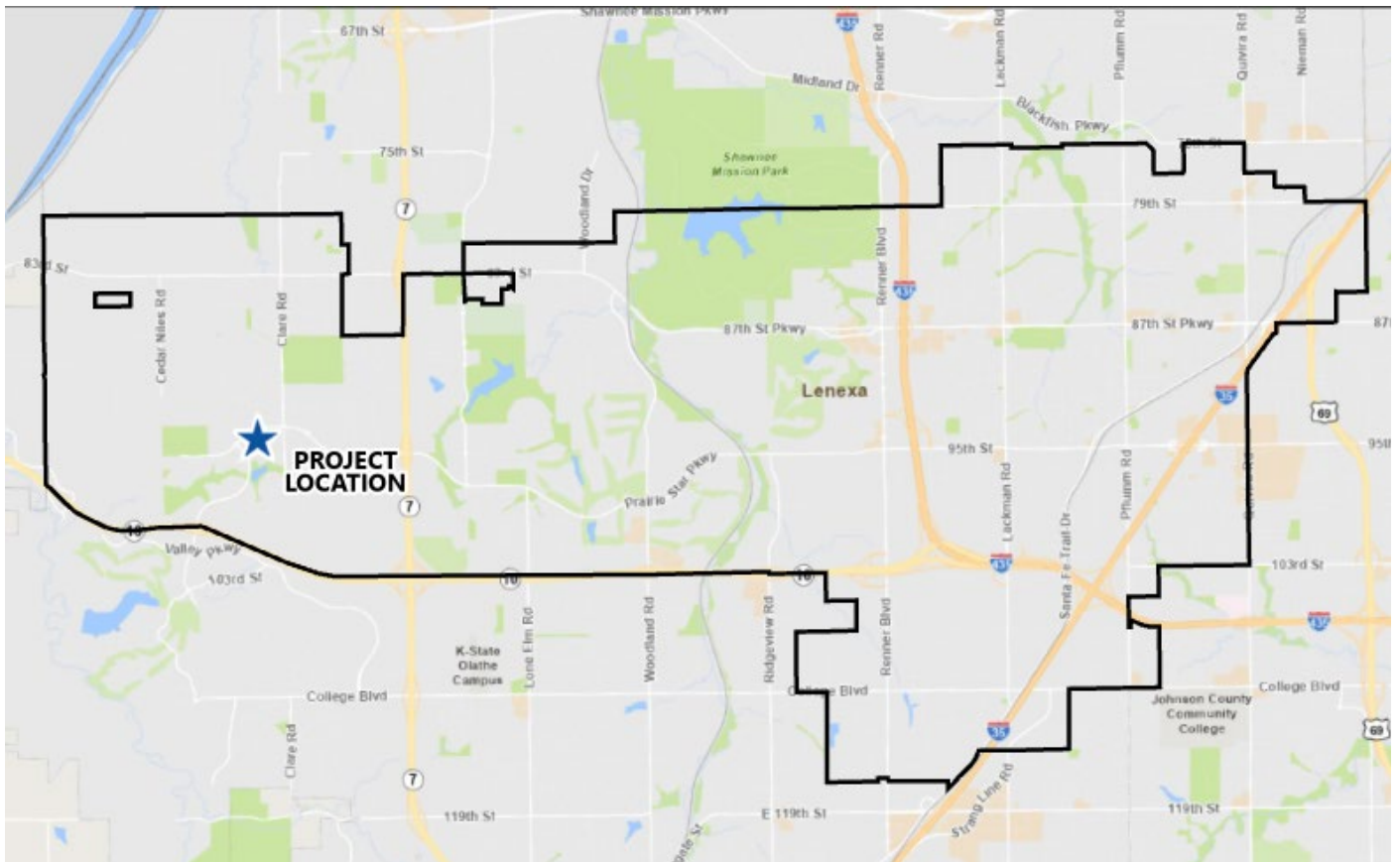


Henry C. Klover  
Klover Architects, Inc.

Cc: Steve Beaumont, Brian Hill, Braden Taylor

## CANYON CREEK COMMERCIAL

<b>Project #:</b>	PL23-04P	<b>Location:</b>	Southwest corner of Prairie Star Parkway and Shady Bend Road
<b>Applicant:</b>	Andrew Gribble, Kimley Horn	<b>Project Type:</b>	Preliminary Plan
<b>Staff Planner:</b>	Dave Dalecky	<b>Proposed Use:</b>	Retail and Daycare



### PROJECT SUMMARY

The applicant proposes a neighborhood commercial center at the southwest corner of Prairie Star Parkway and Shady Bend Road. This site was zoned CP-1 in late 2001 (RZ01-07) as part of a conceptual development known as Canyon Creek. This rezoning and conceptual plan included several hundred acres of land and included both residential and nonresidential development. In 2020, a portion of the property south of Prairie Star Parkway was rezoned to RP-2 to accommodate a duplex development known as Mize Hill. The proposed commercial center is 4.21 acres and contains three buildings totaling 24,085 square feet of floor area. Access to the site is from a right-in-right-out drive on Prairie Star Parkway and a drive on Shady Bend Road. This development is a neighborhood center complimentary to the Mize Hill residential development to the south and east of this site.

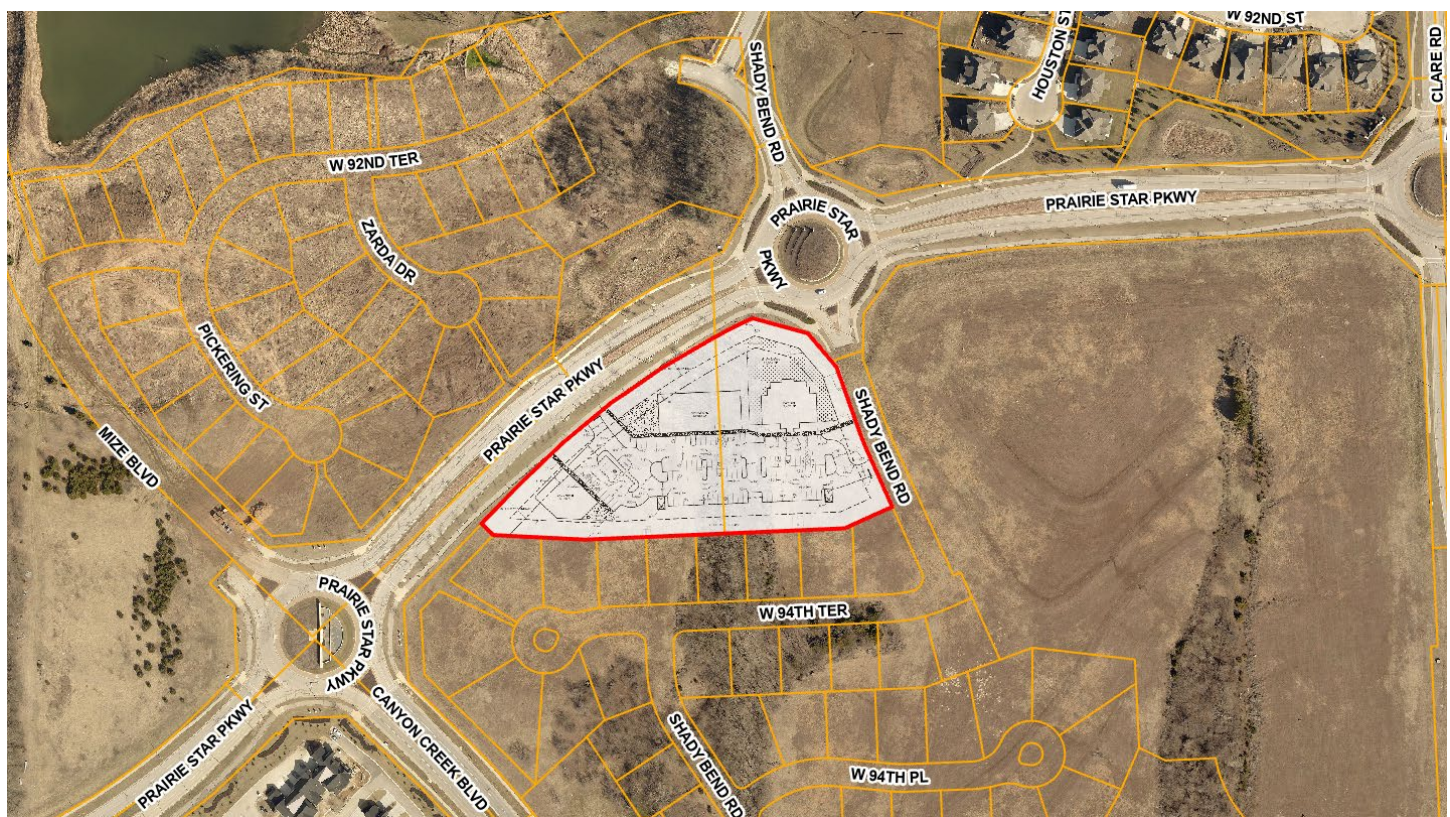
**STAFF RECOMMENDATION: APPROVAL**

## SITE INFORMATION

The site is a triangular shaped, 4.21-acre parcel at the southwest intersection of Prairie Star Parkway and Shady Bend Road. This parcel, along with the two parcels at the northeast and northwest quadrant of the intersection, are zoned for nonresidential development for the purpose of establishing an “activity node” along Prairie Star Parkway. The site is zoned CP-1, which will allow for retail and office uses including a sit-down restaurant, an in-line multi-tenant group of shops, and most office uses. The plan shows a daycare is proposed for the easterly building.

The site abuts a two-family residential development directly to the south and is across a local street from a two-family residential development to the east. The proposed development will include buffers from the adjacent development per [Section 4-1-D-2-N](#) of the UDC.

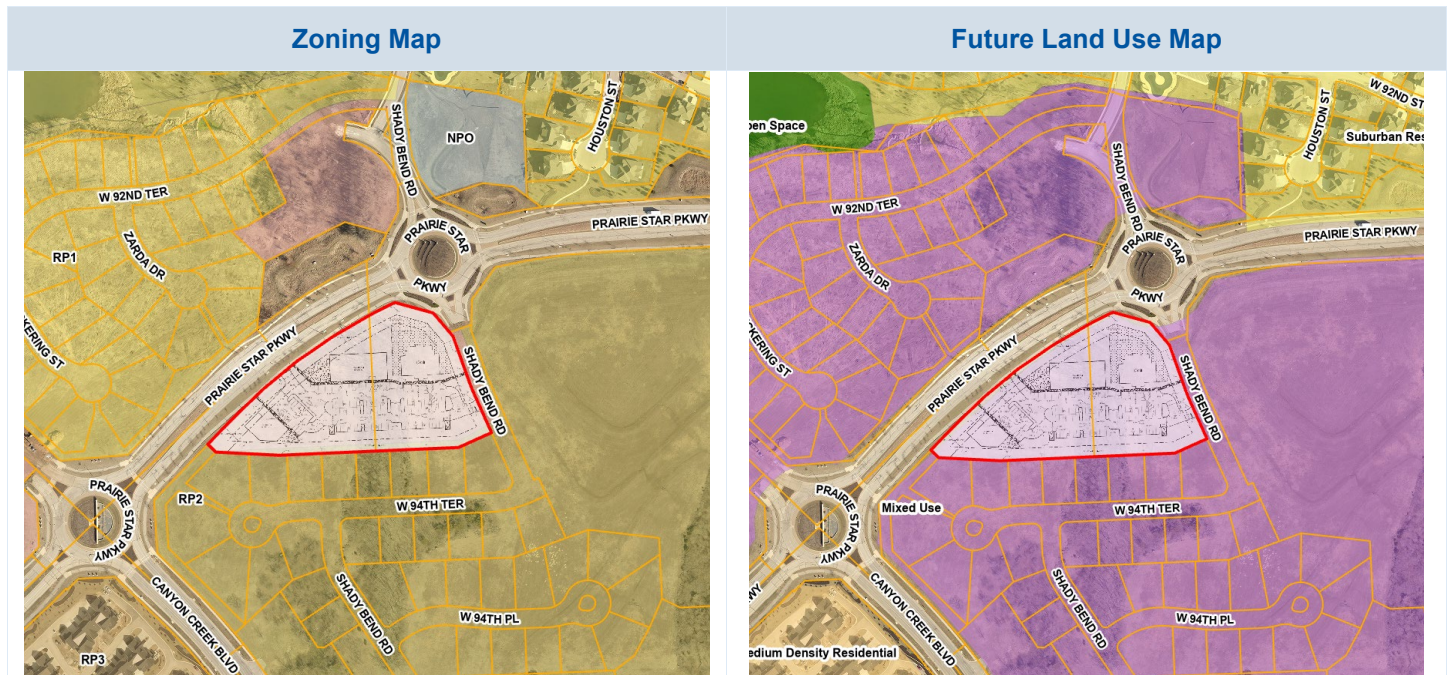
LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
4.21	24,085	CP-1	Mixed Use



**Exhibit 1: Vicinity Aerial Image of Subject Site**

## LAND USE REVIEW

The plan shows a new daycare building on the east side of the site. The other two buildings are not identified but are in the configuration of in-line multi-tenant buildings. Per [Section 4-1-B-13](#) of the UDC, the CP-1 Zoning District allows sit-down restaurants but not drive-thrus. Daycares, offices, restaurants, and small retail shops are all common uses in the CP-1 Zoning District.



**TABLE 1: COMPARISON OF SURROUNDING PROPERTIES**

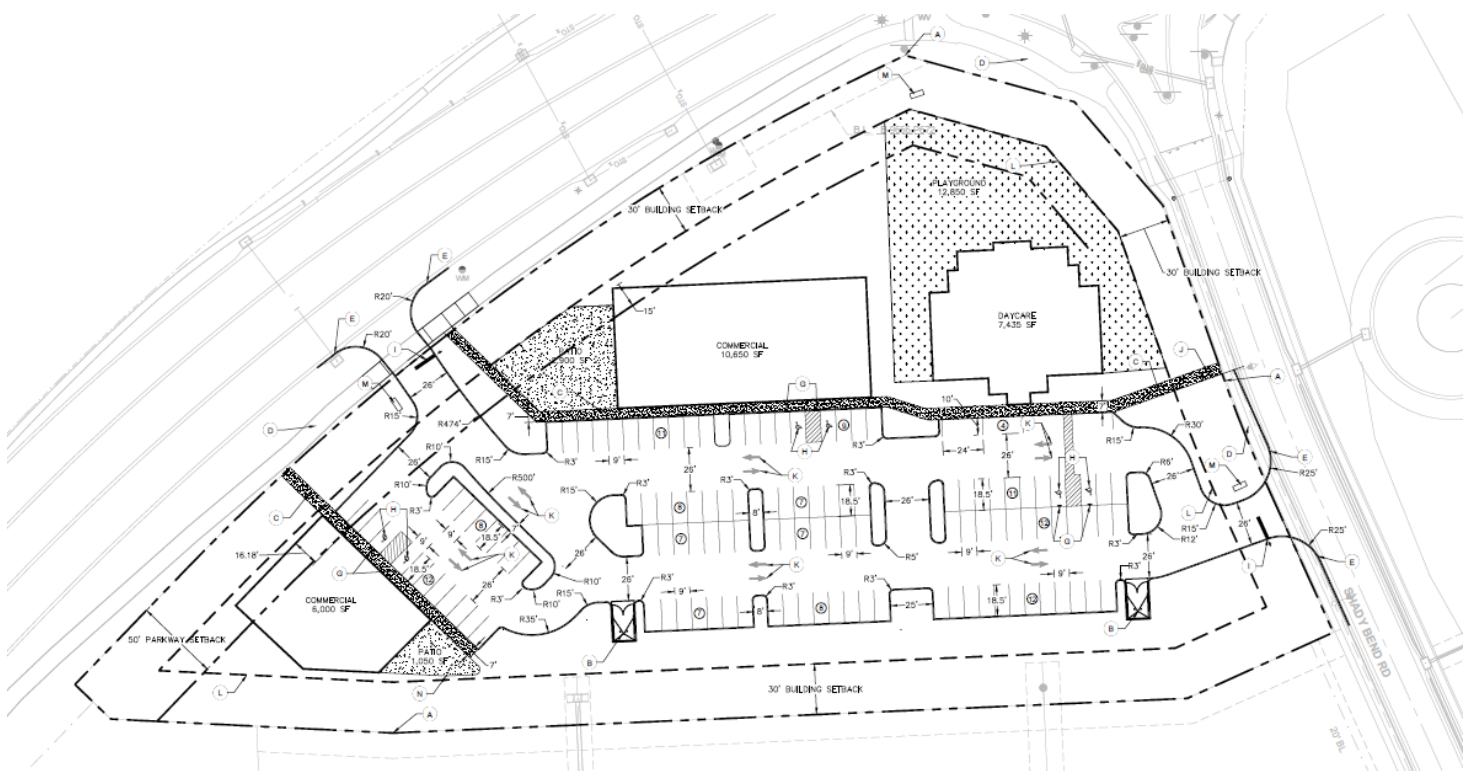
Vicinity	Future Land Use Designation	Zoning	Current Use
<b>Subject Property</b>	Mixed Use	CP-1, Planned Neighborhood Commercial District	Undeveloped land
<b>North</b>	Mixed Use	CP-1, Planned Neighborhood Commercial District & RP-1, Planned Residential Single-Family (Low-Density) District	Undeveloped land
<b>South</b>	Mixed Use	RP-2, Residential Planned (Intermediate-Density) District	Two-family residential development
<b>East</b>	Mixed Use	RP-2, Residential Planned (Intermediate-Density) District	Two-family residential development
<b>West</b>	Mixed Use	RP-1, Planned Residential Single-Family (Low-Density) District	Undeveloped land

## PRELIMINARY PLAN REVIEW

The plan shows three one-story buildings with a cumulative 24,085 square feet. The buildings are situated to be along Prairie Star Parkway with the parking area between the buildings and the residential development to the south. Access to the site is from a right-in-right-out drive entrance on Prairie Star Parkway and a drive entrance on Shady Bend Road. The plan shows a total of 123 parking stalls. The parking area is a single parking field for the three buildings, with drive aisles that create three pods of parking associated with each of the three buildings. The site is a single lot where parking is available for all buildings throughout the parking area. Four parallel parking stalls are provided directly in front of the daycare to allow for safe drop-off and pick-up of children.

A sidewalk is provided from the from the street into the site and along the entrances of the daycare and middle building. This sidewalk will continue from Prairie Star Parkway to Shady Bend Road. A second sidewalk will connect the west building to the sidewalk on Prairie Star Parkway. The developer of the Mize Hill two-family subdivision has constructed Shady Bend Road from the roundabout to the south. The public sidewalk along Shady Bend Road has been installed with the street. The two street frontages have existing sidewalks that this project will connect to.

Bicycle parking (bike racks) are not shown on the preliminary plans. The site provides for multiple locations where bike racks can be installed and additional paved paths to connect to bicycle parking. These are required to be shown with the final plans for any buildings within the development.



**Exhibit 2: Site Plan.**

## TRAFFIC, ACCESS, AND PARKING

- Sidewalks are provided from the parking lot to the entrance into the building.
- Access to the site is from a right-in-right-out on Prairie Star Parkway and a full access drive on Shady Bend Road.
- The site plan meets parking requirements.

**TABLE 2: PARKING ANALYSIS**

Land Use	Parking Formula	Required Parking	Proposed Parking	Difference
Retail	1 space per 250 square feet, 1 space per 300 square feet for a single tenant building greater than 100,000 square feet	85	123	+38

## STORMWATER

The overall stormwater management for this site has been previously constructed; however, some minor upgrades (basin grading/resizing) are currently proposed to appropriately accommodate this project.

## FIRE PREVENTION

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward.

## LIGHTING

The preliminary plan includes a photometric plan for the overall development. A photometric plan is not required for preliminary plans. The plan shows parking lot lighting installed around the overall parking area and in the parking lot islands. The fixtures along the south edge of the parking lot shall include a glare shield to reduce the visibility of the light fixture from the rear of the residential lots. The specific lighting plan for each building will be reviewed with the final plan submittal for that building.

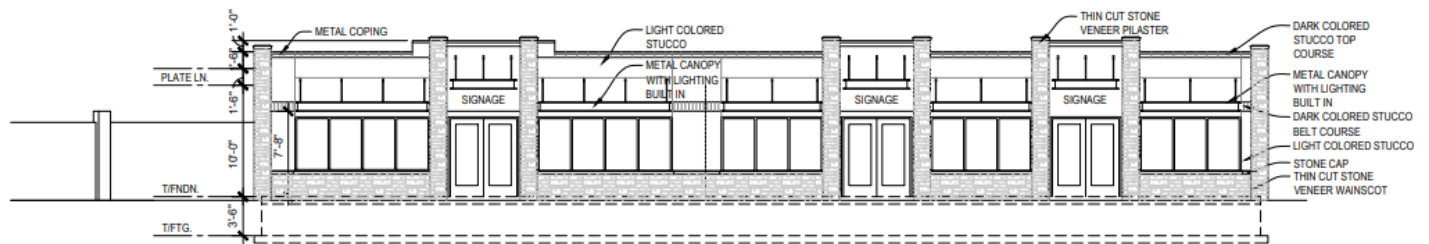
## LANDSCAPING

Landscaping will be installed around the perimeter of the lot and throughout the parking lot. The landscape plan for a preliminary plan shows the number of plant materials but does not identify the specific species of the trees or shrubs. Per [Section 4-1-D-2-N](#) of the UDC, a Land Use Intensity (LUI) buffer requirement applies to the northwest, south and east property boundary of the site. The plan shows the minimum setback requirement and the minimum number of plant materials along these boundaries to account for the LUI buffer requirements. The preliminary landscape plan complies with the UDC requirements for the number of plant materials required.

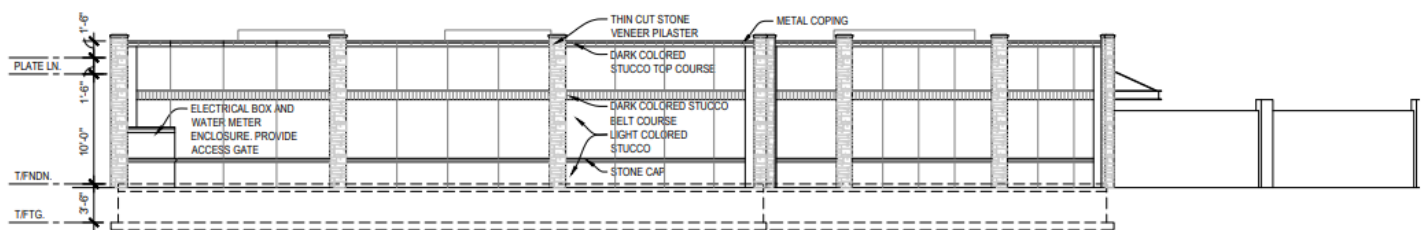
## ARCHITECTURE

The buildings are all one-story buildings with parapet roofs. The preliminary plan shows the buildings will use stucco materials as the primary field with stone accents. A band with a score pattern detail is shown along the façade, which replicates a brick soldier pattern. Groups of windows are shown in alternating bays of the building created by the pattern of pilasters. Flat metal awnings are to be placed above the windows and above the entrances.

The buildings are of a minimal level of architectural detail and feature. The side and rear façades of each building are less detailed than the front façade. Per [Section 4-1-C-5-D](#) of the UDC, the buildings are to implement the same degree of detail on all sides and to use details and design features to add visual interest. Staff will continue to coordinate the architectural character of each building with the developer. The building elevations are acceptable for the preliminary plan, with the understanding that additional details and features are to be provided with the final plan submittal.



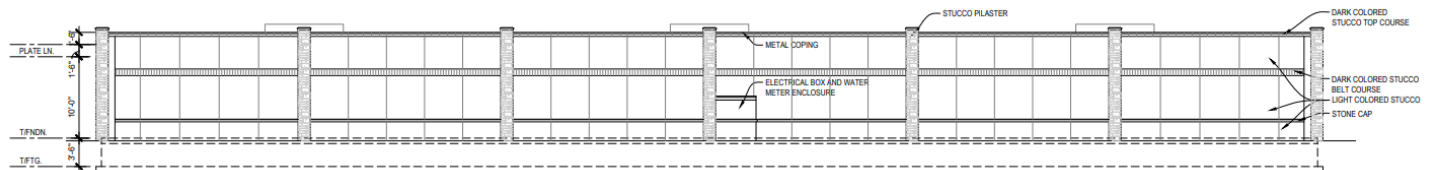
**Exhibit 3: Daycare – Front Elevation.**



**Exhibit 4: Daycare – Rear Elevation.**



**Exhibit 5: Middle Building – Front Elevation.**



**Exhibit 6: Middle Building – Rear Elevation.**

## DEVIATIONS

Exhibit 7 shows various setback deviations requested with the proposed preliminary plan. The CP-1 Zoning District has a building setback requirement of 30 feet from the street. Prairie Star Parkway also has a special setback requirement of 50 feet. [Section 4-1-B-26-C-1](#) requires a setback of 50 for all improvements along a Parkway. The westerly building encroaches into the required setback 16.18 feet and the northwest corner of the middle building encroaches 15 feet. Parking stalls for the west building and the patio at the west end of the middle building encroach 20 feet.

The outdoor playground space encroaches 20 feet into the setback. The playground will be fenced space. The type of fence will be reviewed with the final plan. The fence should be of a decorative design such as a wrought iron metal type fence. If the fence is a privacy fence, the design should be consistent with the building and use masonry columns between fence panels.

It is Staff’s opinion the proposed encroachments into the special setback along Prairie Star Parkway are reasonable. Staff requested the developer of the Mize Hill two-family residential development reserve a part of the overall project for nonresidential uses at the intersection of Prairie Star Parkway and Shady Bend Road to provide for neighborhood retail and services to the community as the region continues to develop with residential development. The proposed development provides for the appropriate building placement and scale for a neighborhood commercial development. Due to the shape of the site and placement of the buildings, the setback along Prairie Star Parkway at the easterly part of the plan is in excess of 50 feet, up to 118 feet to the corner of the daycare building and 107 feet from the northeast corner of the middle building to Prairie Star Parkway. The encroachments into the 50-foot setback are non-continuous and the effect on the aesthetic of the parkway should not be diminished.

**TABLE 3: DEVIATIONS**

Deviation	Code Section	Requirement	Proposed	Difference
<b>Prairie Star Parkway Special Setback</b>	4-1-B-26-C-1	50 feet	33.82 feet (building) 35 feet (building) 30 feet (parking) 30 feet (patio) 30 feet (daycare fence and playground)	<b>16.18 feet to 20 feet</b>



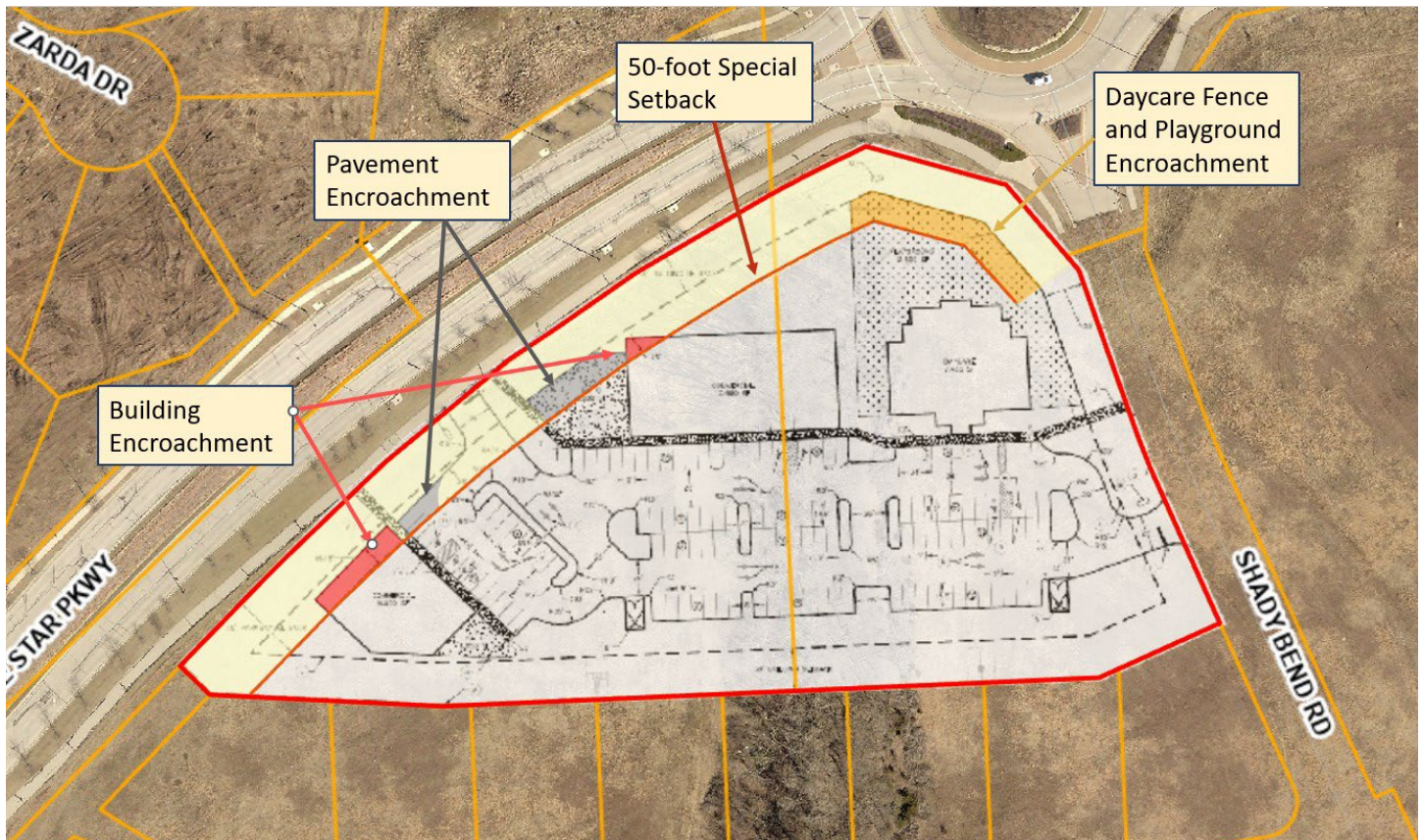


Exhibit 7: Deviation Diagram.

## REVIEW PROCESS

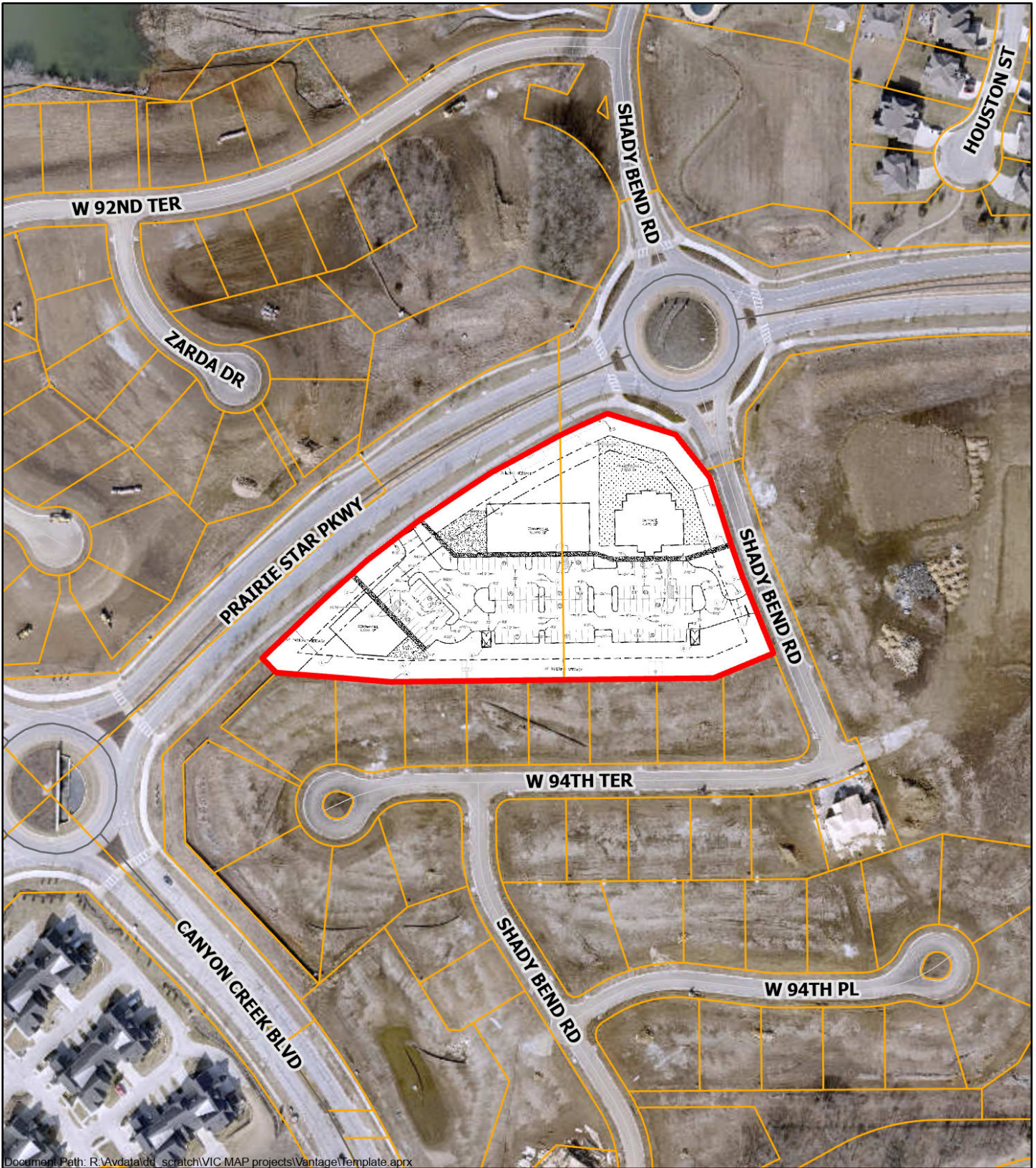
- This project requires a recommendation from the Planning Commission and approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration by the City Council on June 20, 2023.
- The applicant should inquire about additional City requirements, such as permits and development fees.

## RECOMMENDATION FROM PROFESSIONAL STAFF

- ★ **Staff recommends approval of the proposed Preliminary Plan for Canyon Creek Commercial.**
  - This project is consistent with Lenexa’s goals through **Responsible Economic Development** to promote **Vibrant Neighborhoods** and **Healthy People**.

## FINAL PLAN

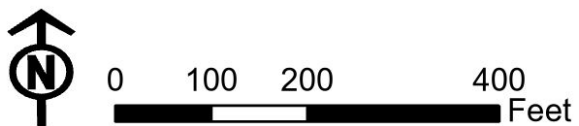
Staff recommends **approval** of the preliminary plan (PL23-04P) for **Canyon Creek Commercial** located at the southwest corner of Prairie Star Parkway and Shady Bend Road, for neighborhood retail uses.



Document Path: R:\vdata\ldg\_scratch\WIC MAP projects\Wantage\Template.aprx

Data Source: City of Lenexa and Johnson County Kansas  
For further information, please call 913-477-7500

# Canyon Creek Commercial PL23-04P





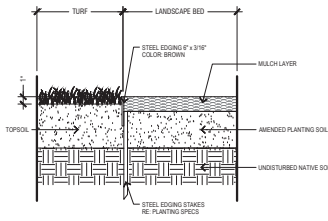




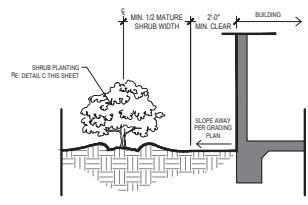


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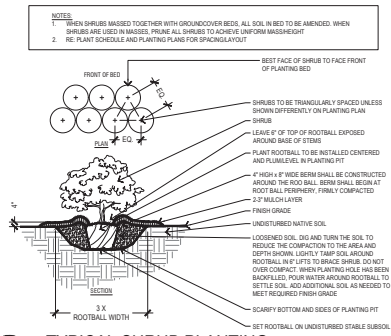
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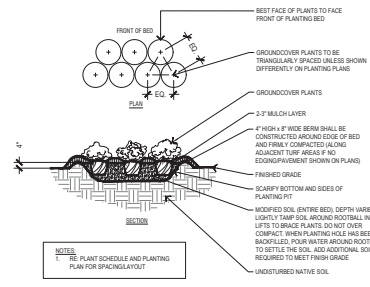
**F SHRUB PLANTING AT BUILDING FACE**  
3' x 1"



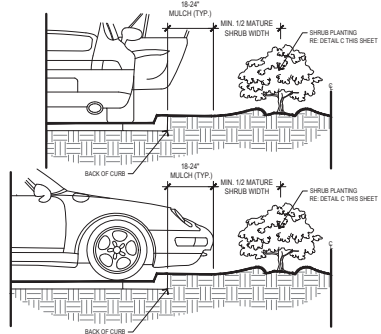
**C TYPICAL SHRUB PLANTING**  
3' x 1"



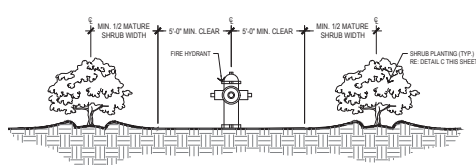
**B TYPICAL GROUNDCOVER PLANTING**  
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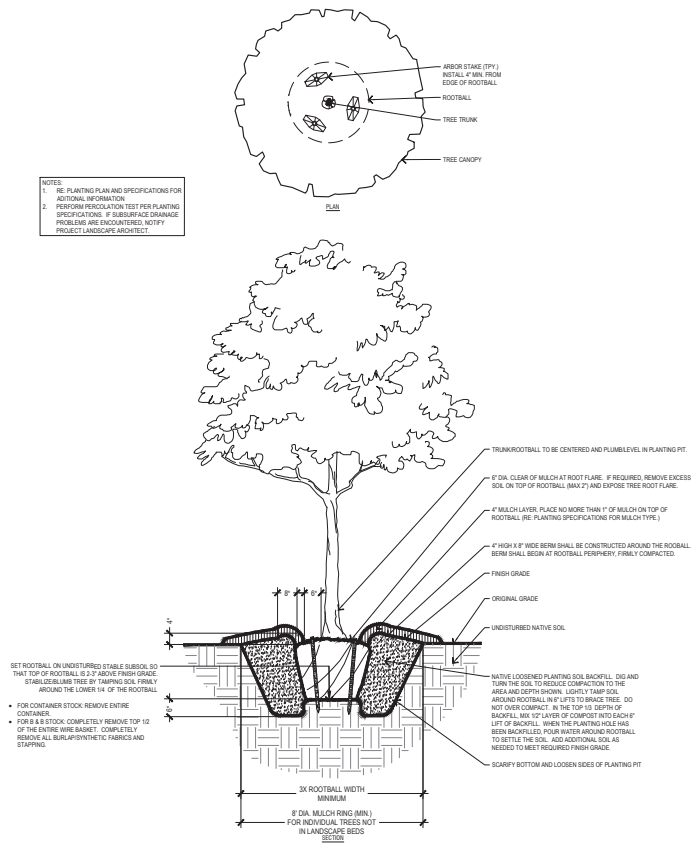
**H SHRUB PLANTING AT CURB**  
3' x 1"



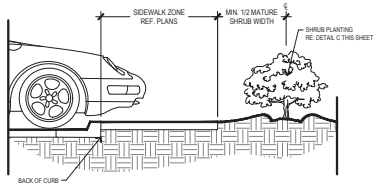
**E SHRUB PLANTING AT FIRE HYDRANT**  
3' x 1"



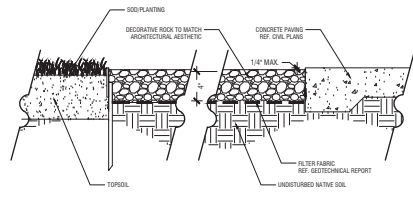
**A TYPICAL TREE PLANTING**  
1' x 20' x 0"



**G SHRUB PLANTING AT SIDEWALK**  
3' x 1"



**D DECORATIVE ROCK MULCH**  
1-1/2" x 1"



SHEET NUMBER	L-200	
	CANYON CREEK PREPARED FOR STONEBRIDGE OUTDOOR	LENEXA, KS
LANDSCAPE DETAILS	KIMLEY-HORN & ASSOCIATES, INC.	
	805 PENNSYLVANIA AVENUE, SUITE 150, KANSAS CITY, MO 64105 PHONE: (816) 234-7700 FAX: (816) 234-7701 WWW.KIMLEY-HORN.COM CA 00152	
PROJECT NO.	KHA PROJECT 2023-010	
	DATE	05/07/2023
SCALE	AS SHOWN	
	DESIGNED BY	AMS
DRAWN BY	CNS	
	CHECKED BY	JDK
NO.	REVISONS	
DATE	BY	







Light Colored Stucco:



Dark Colored Stucco:



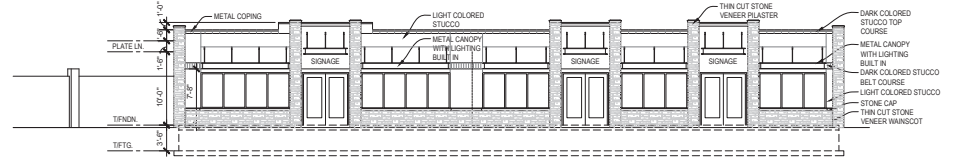
Thin Cut Stone Veneer & Cap:



Metal Canopy:

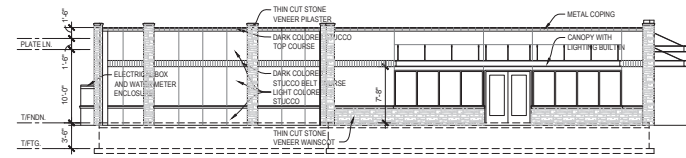


Metal Coping:



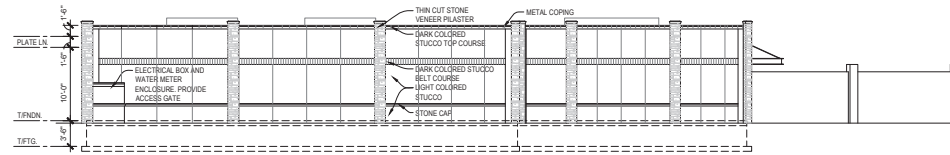
FRONT (NE) ELEVATION

1/8" = 1'-0"



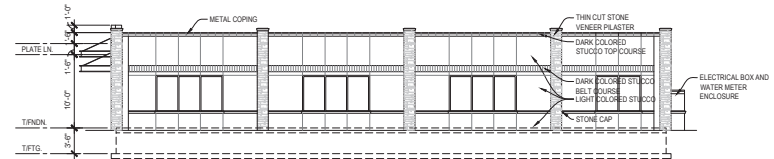
SIDE (SE) ELEVATION

1/8" = 1'-0"



REAR (SW) ELEVATION

1/8" = 1'-0"



SIDE (NW) ELEVATION

1/8" = 1'-0"

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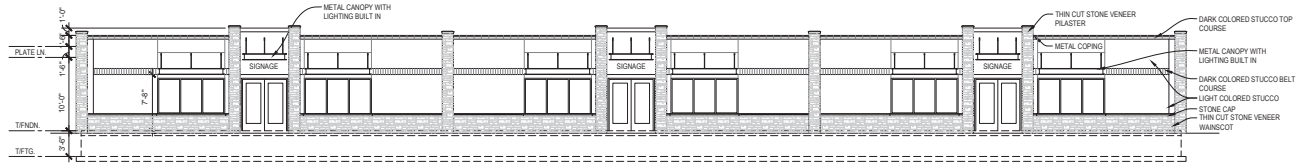
A NEW COMMERCIAL BUILDING AT:  
**CANYON CREEK**  
PRAIRIE STAR PKWY. & SHADY BEND RD.  
LENEXA, KANSAS

DRAWING DATE: 05.22.23  
LOG # 2023-05-22-01

JOB NO: 739823 DATE: 05.22.23  
DRAWN BY: PS / CR

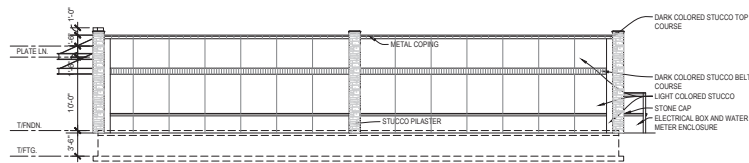
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ELEVATIONS -  
COMMERCIAL 1  
SHEET NO.

**A2.10**



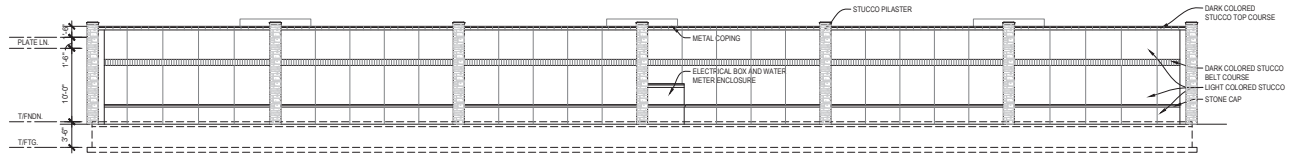
**FRONT (SOUTH) ELEVATION**

1/8" = 1'-0"



**SIDE (EAST) ELEVATION**

1/8" = 1'-0"



**REAR (NORTH) ELEVATION**

1/8" = 1'-0"



**SIDE (WEST) ELEVATION**

1/8" = 1'-0"

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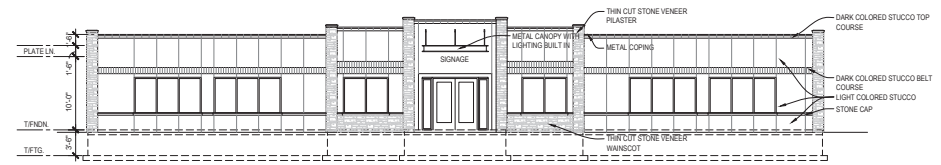
A NEW COMMERCIAL BUILDING AT:  
**CANYON CREEK**  
PRAIRIE STAR PKWY. & SHADY BEND RD.  
LENEXA, KANSAS

DRAWING CHECK/EASE LOG  
2023 BY PRELIMINARY PLANS

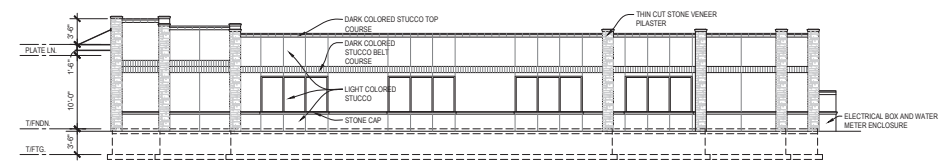
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SHEET NO.

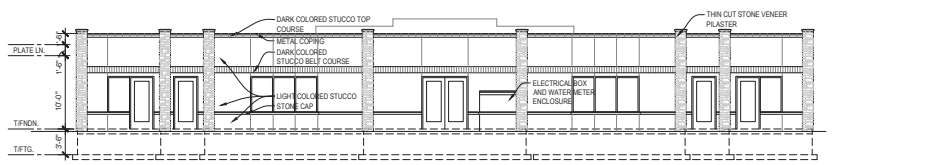
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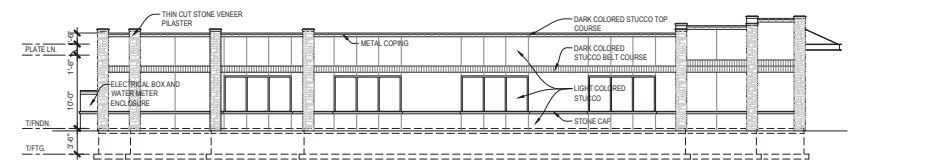
**FRONT (SOUTH) ELEVATION**  
1/8" = 1'-0"



**SIDE (EAST) ELEVATION**  
1/8" = 1'-0"



**REAR (NORTH) ELEVATION**  
1/8" = 1'-0"



**SIDE (WEST) ELEVATION**  
1/8" = 1'-0"

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## CALL TO ORDER

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Chairman Poss called the regular meeting of the Lenexa Planning Commission to order at 7:00 p.m. on Monday, May 1, 2023. The meeting was held in the Community Forum at Lenexa City Hall at 17101 W. 87<sup>th</sup> Street Parkway, Lenexa, Kansas.

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## ROLL CALL

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### COMMISSIONERS PRESENT

Commissioner Ben Harber  
Commissioner Don Horine  
Commissioner Curt Katterhenry  
Commissioner Brenda Macke  
Vice-Chairman Mike Burson  
Commissioner David Woolf  
Commissioner John Handley  
Chairman Chris Poss

### COMMISSIONERS ABSENT

Commissioner Jason Leib

### STAFF PRESENT

Scott McCullough, Director of Community Development  
Stephanie Kisler, Planning Manager  
Tim Collins, Engineering Construction Services Administrator  
Andrew Diekemper, Assistant Chief – Fire Prevention  
Steven Shroul, Assistant City Attorney  
Dave Dalecky, Planner II  
Kim Portillo, Planner III  
Gloria Lambert, Senior Administrative Assistant

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## APPROVAL OF MINUTES

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The minutes of the April 3, 2023 meeting were presented for approval.

Chairman Poss entertained a motion to **APPROVE** the minutes as amended. Moved by Commissioner Horine, seconded by Commissioner Burson, and **APPROVED** by a majority voice vote.

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## **CONSENT AGENDA**

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- 1. Cottonwood Canyon, 14<sup>th</sup> Plat - Consideration of a revised final plat for a single-family residential lot located at 9309 Cottonwood Canyon Drive within the RP-1, Planned Residential (Low Density) District. PT23-02FR**
- 2. Creekside Park First Plat - Consideration of a final plat for a single-family subdivision located near the southeast corner of 91<sup>st</sup> Street and Clare Road within the RP-1, Planned Residential (Low Density) District. PT23-12F**
- 3. Midas Lenexa City Center - Consideration of a final plan for a mixed-use development with two hotels and retail space located between Elmridge Street and Penrose Lane and the east and west lanes of W. 87<sup>th</sup> Street Parkway within the CC, Planned City Center District. PL23-10F**

Chairman Poss entertained a motion to **APPROVE** Consent Agenda Items 1 through 3. Moved by Commissioner Horine, seconded by Commissioner Burson, and carried by a unanimous voice vote.

**DRAFT**

## REGULAR AGENDA

### 4. Westside Family Church Care Center - Consideration of a preliminary plan for a two-story office building accessory to the church/place of worship located at 8500 Woodsonia Drive within the R-1, Single-Family Residential District. PL23-02P

#### APPLICANT PRESENTATION:

Brian Rathsam, Architect with Mantel Teter Architects, presented information for the proposed project. The project includes a new building that will be two stories in height. The new building will match the existing material and tie into its current architecture. The new two-story building will include offices and meeting rooms for counseling. They will also be adding 70 parking stalls to the parking lot. They are also working to develop a new stormwater plan.

Dan Chaverin, Executive Pastor of Westside Family Church, talked about the church's plans for the new building. Westside Family Church's mission is to help families in the community by expanding the services they currently offer. Statistics show that the mental health crisis has worsened and their certified counseling services will be available to all families in the community.

#### STAFF PRESENTATION:

Stephanie Kisler presented the staff report. She displayed an aerial image of the project's location and the overall site. The proposed building is an accessory use to the existing church and is therefore allowed within the R-1 Zoning District. She also displayed the site's current zoning and future land use classification and talked about the applicant's overall future plans. The proposed two-story structure will be about 20,000 square feet in size and located on the southwest corner of Woodsonia Drive. Their proposal included sidewalk connections along both sides of Woodsonia Drive. The landscape plan and elevations include elements that will carry over from the existing site and existing church building to the new building.

#### PLANNING COMMISSION DISCUSSION:

Commissioner Horine commented that it was nice to see the church address the community's needs.

Commissioner Katterhenry echoed Commissioner Horine's comments, agreeing that the services the church offers are needed.

Chairman Poss asked if the building would meet the maximum height allowance of 35 feet for the R-1 District. Ms. Kisler noted that staff will review that requirement and a height deviation request could be necessary.

#### MOTION:

Chairman Poss entertained a motion to recommend **APPROVAL** of a preliminary plan for an office building accessory to the church/place of worship for **Westside Family Church** located at 8500 Woodsonia Drive.

Moved by Commissioner Harber, seconded by Commissioner Horine, and carried by a unanimous voice vote.

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## STAFF REPORT

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Stephanie Kisler told the commissioners that Christa McGaha had given her notice since the last Planning Commission meeting and had taken a new position in the New England area.

Ms. Kisler noted amendment to the fence code, which had previously been before the Planning Commission, was not yet approved by the Governing Body. At the April 18<sup>th</sup> meeting the Governing Body requested changes to the requirements for fences on corner lots. In summary, the Governing Body directed staff to allow only fences that are 4' tall and open-style at a 15' setback from the street-side side yard.

Ms. Kisler mentioned that the special use permit application for Good Spirits was withdrawn.

Scott McCullough gave an update for the Comprehensive Plan stating that a joint meeting between Governing Body and the Planning Commissioners would take place Tuesday, May 9<sup>th</sup> at 7:00 p.m. in the Community Forum.

Kimberly Portillo presented pictures and talked about her experience at the national planning conference that she, Christa McGaha, and Commissioner Leib attended in Philadelphia in early April.

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## ADJOURNMENT

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Chairman Poss ended the regular meeting of the Lenexa Planning Commission at 7:44 p.m. on Monday, May 1, 2023.