

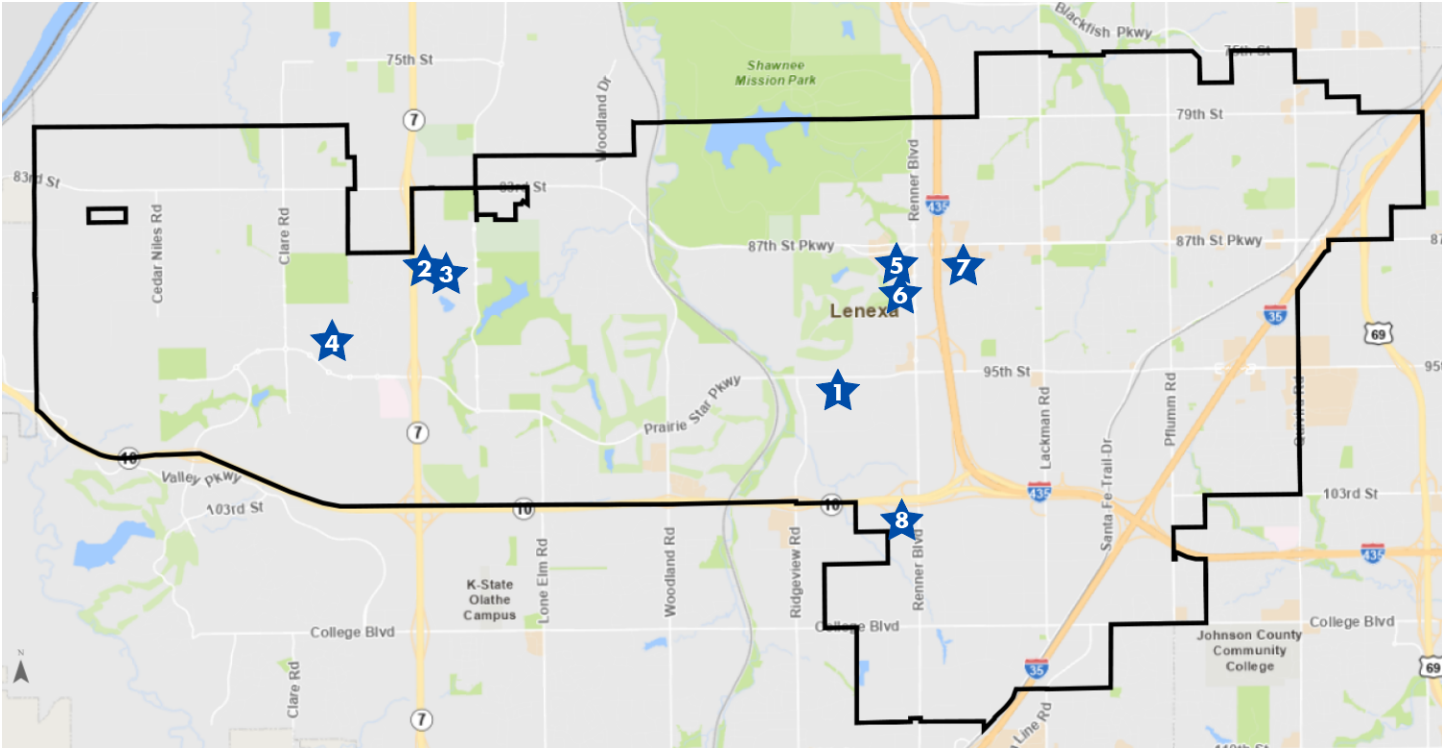
PLANNING COMMISSION AGENDA

MAY 6, 2024 at 7:00 PM



Community Forum at City Hall
17101 W. 87th Street Parkway
Lenexa, KS 66219

AGENDA MAP



CALL TO ORDER

ROLL CALL

APPROVE MINUTES FROM THE APRIL 1, 2024 MEETING

CONSENT AGENDA

All matters listed within the consent agenda have been distributed to each member of the Planning Commission for review, are considered to be routine, and will be enacted by one motion with no separate discussion. If a member of the Planning Commission or audience desires separate discussion on an item, that item may be removed from the consent agenda and placed on the regular agenda.

- 1. Central Bank - Consideration of a final plan for a new bank located approximately at the southeast corner of Prairie Star Parkway and Ambassador Drive within the PUD, Planned Unit Development District. PL24-06F**
- 2. Reserve at Copper Creek - Consideration of a final plan and final plat for phase one of a multifamily residential development located approximately at the northwest corner of 89th Street and Woodsonia Drive within the RP-3, Residential Planned (Medium-High Density), RP-**

4, Residential Planned (High Density), and RP-5, Residential Planned (High-Rise, High Density) Districts. PL24-07F, PT24-06F

- 3. Watercrest Landing - Consideration of a final plan to revise private trail amenity plans within the subdivision located approximately at 90th Street between Woodsonia Drive & Monticello Road within the RP-1, Residential Planned (Low Density) District. PL24-05FR**
- 4. Prairie View at Creekside Woods 4th Plat Revised Final Plat - Consideration of a revised final plat to replant three single-family residential lots located at 9341 Carbondale Street within the RP-1, Planned Residential (Low Density) District. PT24-03FR**

REGULAR AGENDA

None

CONTINUED APPLICATIONS *(NO DISCUSSION)*

- 5. City Center Area C - Consideration of a preliminary plan for a mixed-use development on property located approximately at the southwest corner of 87th Street Parkway & Scarborough Street within the CC, Planned City Center District. PL24-02P**
- 6. AT&T Generator - Consideration of a special use permit for a new equipment shelter and generator adjacent to the existing cell tower located at 9100 Renner Boulevard within the CP-O, Planned General Office District. SU24-05**
- 7. Sonoma Plaza Phase 3 Apartments - Consideration of a revised preliminary plan and final plat for a four-story, multifamily residential development located approximately east of 88th Street & Maurer Road within the PUD, Planned Unit Development District. PL24-01PR, PT24-07F**
- 8. Mining/Quarry Reclamation Operation - Consideration of a final plan for a mining/quarry operation on an undeveloped site located approximately at the southwest corner of K-10 Highway & Renner Boulevard within the BP-2, Planned Manufacturing and AG, Agricultural Districts. PL24-05F**

STAFF REPORTS

ADJOURN

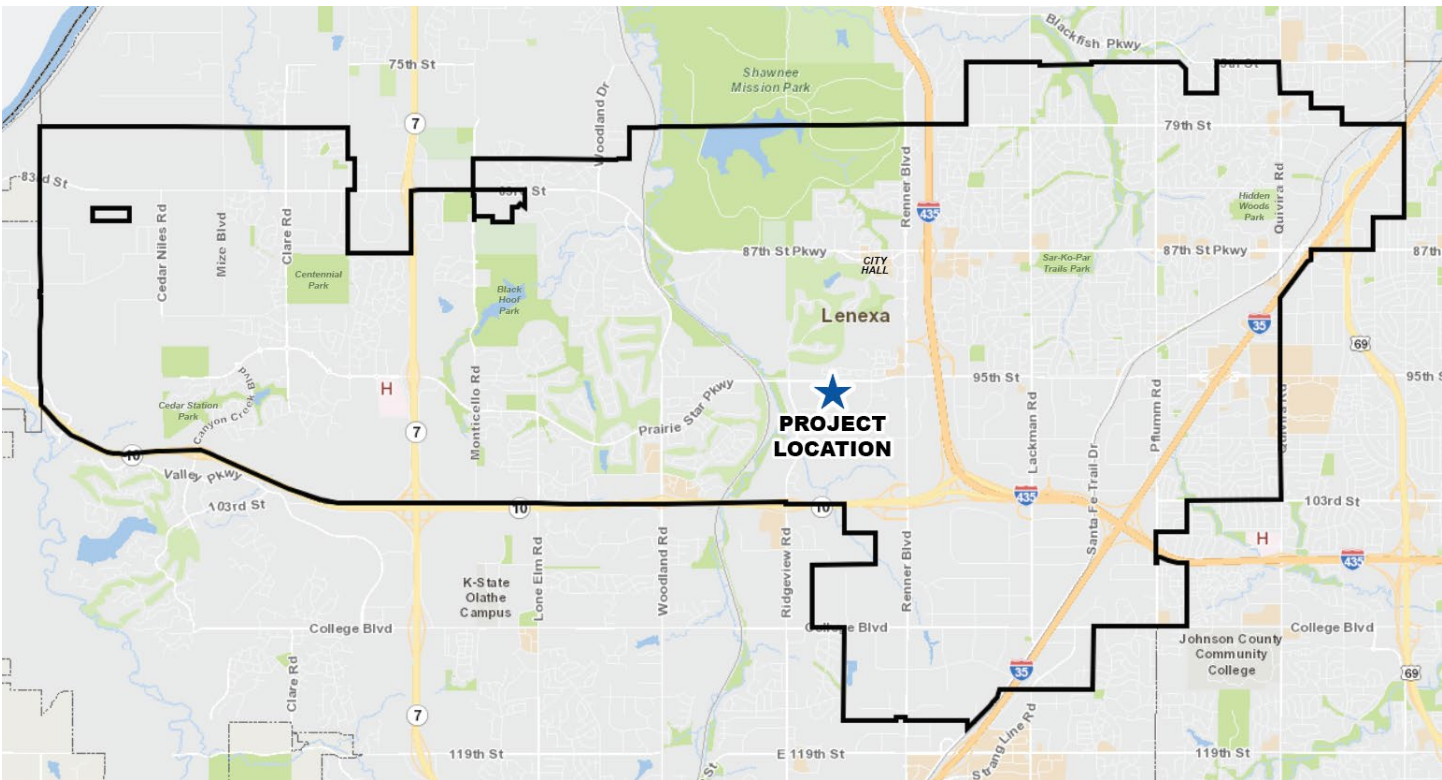
If you have any questions about this agenda, please contact Stephanie Kisler, Planning Manager, at skisler@lenexa.com.

*If you need any accommodations for the meeting, please contact the City ADA Coordinator at 913-477-7550 at least 48 hours prior to the meeting.
Kansas Relay Service: 800-766-3777*

Assistive Listening Devices are available for use in the Community Forum by request.

CENTRAL BANK

Project #:	PL24-06F	Location:	Southeast Corner of Prairie Star Parkway and Ambassador Drive
Applicant:	Todd Allenbrand	Project Type:	Final Plan
Staff Planner:	Logan Strasburger	Proposed Use:	Banking services



PROJECT SUMMARY

The applicant proposes to construct a bank within Vista Village development at the southeast corner of Prairie Star Parkway and Ridgeview Road. The structure is one-story tall and totals 4,250 square feet. Vista Village is a Planned Unit Development (PUD) that includes retail, restaurants, multifamily apartments, and townhomes. The proposed final plan is consistent with the approved revised preliminary plan for Vista Village (PL22-02PR), which was approved by the Governing Body on August 29, 2022.

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

SITE INFORMATION

The site is an undeveloped lot within Vista Village, a Planned Unit Development (PUD) located at the southeast corner of Prairie Star Parkway and Ridgeview Road. Vista Village was initially zoned PUD in 2015 (RZ15-06) with a preliminary plan (PL15-08P). The project has had several revised preliminary plans since the time of rezoning. The most recent revised preliminary plan was approved on August 29, 2022 (PL22-02PR). The subject site is the lot located in the north central portion of the development at the southeast corner of Prairie Star Parkway and Ambassador Drive.

LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
1.14	4,250	PUD	Business Park

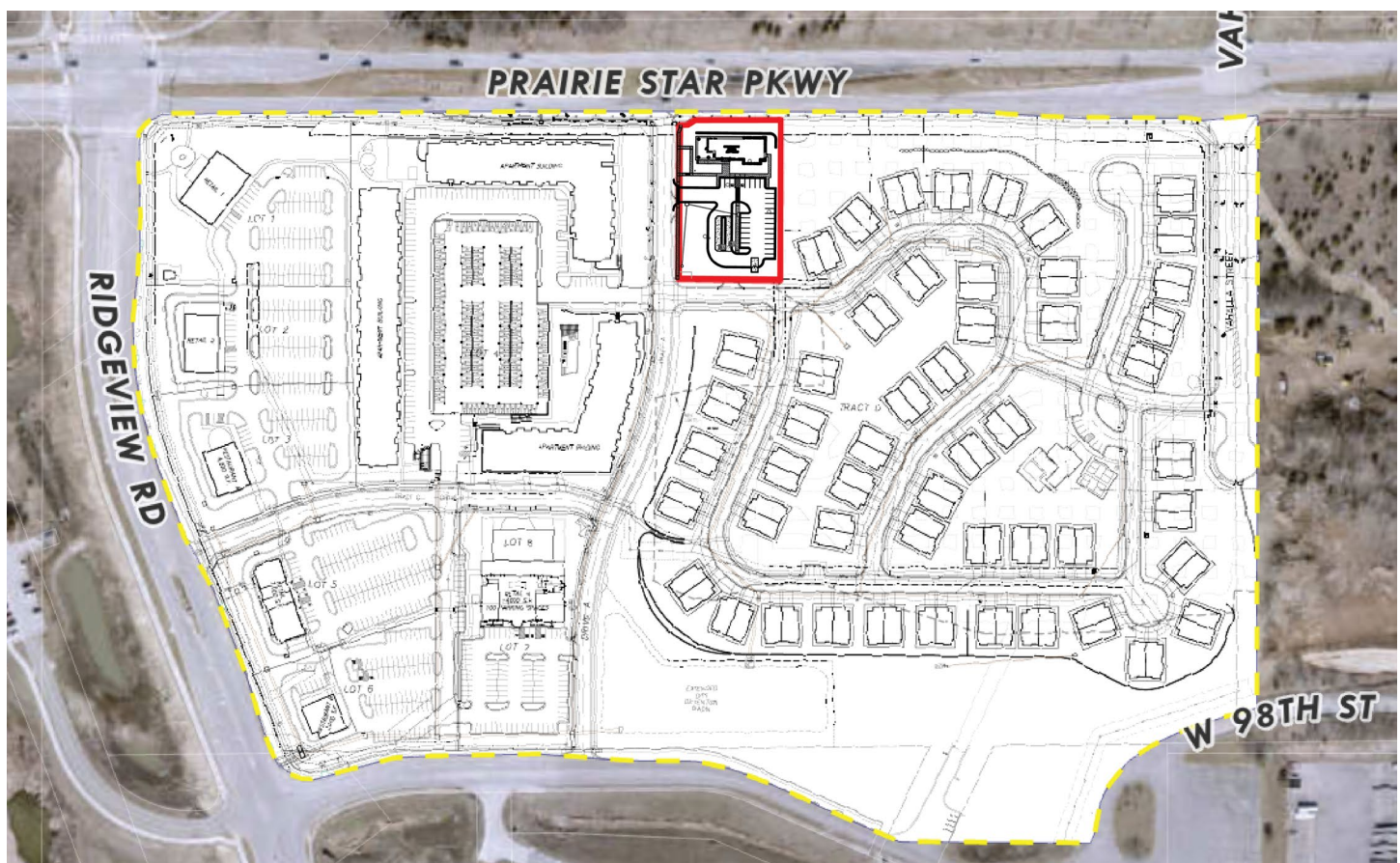


Exhibit 1: Aerial Image of Subject Site (outlined in red) and the Vista Village PUD (outlined in yellow).

LAND USE REVIEW

The site is located within Vista Village, a Planned Unit Development (PUD) containing commercial and residential uses. The final plan is for a single-story building for banking services. Per the Comprehensive Plan, the Future Land Use Classification for this area is Business Park. The proposed use is consistent with the zoning designation. The new Comprehensive Plan, which is expected to be adopted soon, will update the Future Land Use Classification of this area to Mixed-Use.

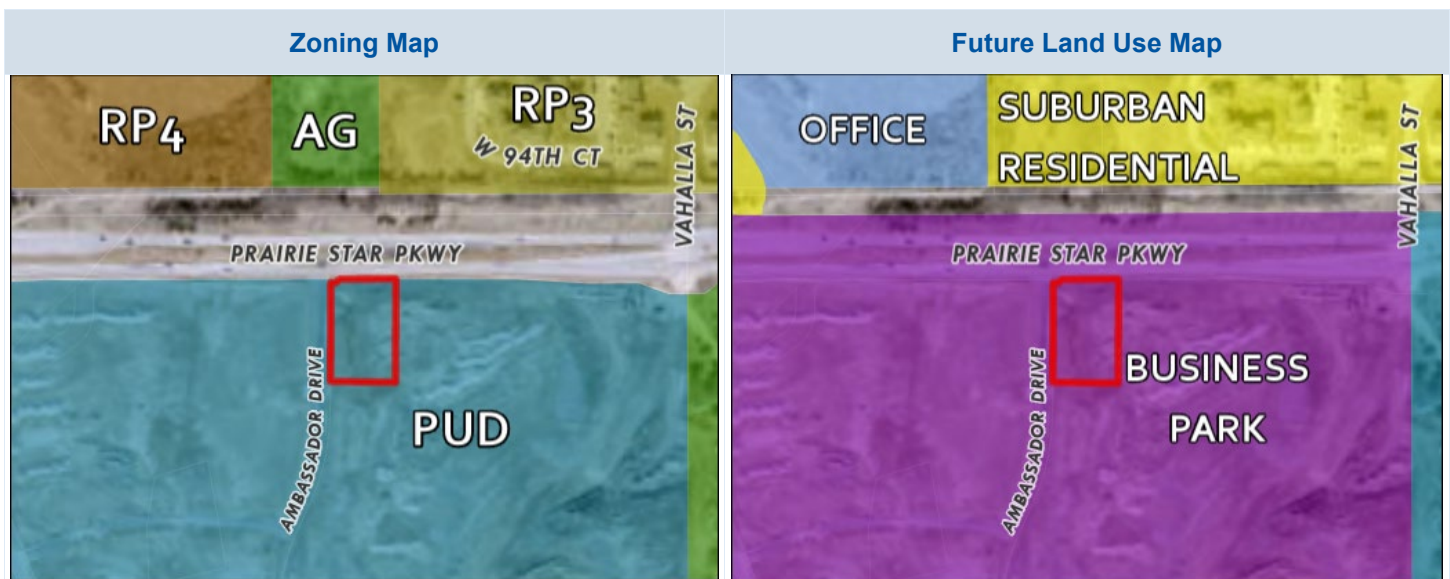


TABLE 1: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Classification	Zoning	Current Use
Subject Property	Business Park	PUD, Planned Unit Development District	Undeveloped
North	Office; Suburban Residential	AG, Agricultural District; RP-3, Residential Planned Medium-High Density District; RP-4, Residential Planned High-Density District	Undeveloped; Multifamily; Agricultural
South	Business Park	PUD, Planned Unit Development District	Undeveloped
East	Business Park; Office/Research & Development	PUD, Planned Unit Development District; AG, Agriculture	Undeveloped
West	Business Park	PUD, Planned Unit Development District	Undeveloped

The proposed use is compatible with the existing land uses and development on adjacent sites. The preliminary plan for Vista Village shows a series of buildings along the westerly part of the development that faces out to Ridgeview Road. The buildings are anticipated to be retail and restaurants. Between the most westerly buildings and the subject site are to be three apartment buildings featuring a two-level parking deck and various amenities, also known as Alto Apartments. South and east of the subject site are to be townhomes with a clubhouse.

FINAL PLAN REVIEW

The subject site is centrally located in the most northern part of the Vista Village PUD. The site will front Prairie Star Parkway to the north and Ambassador Drive, a private north-south street within the development, to the west. The site will feature a single-story building, two interactive teller machines (ITMs), and a parking area. The proposed building does not include a traditional drive-thru teller service and lanes attached to the building. Central Bank will be the only tenant of the proposed building.

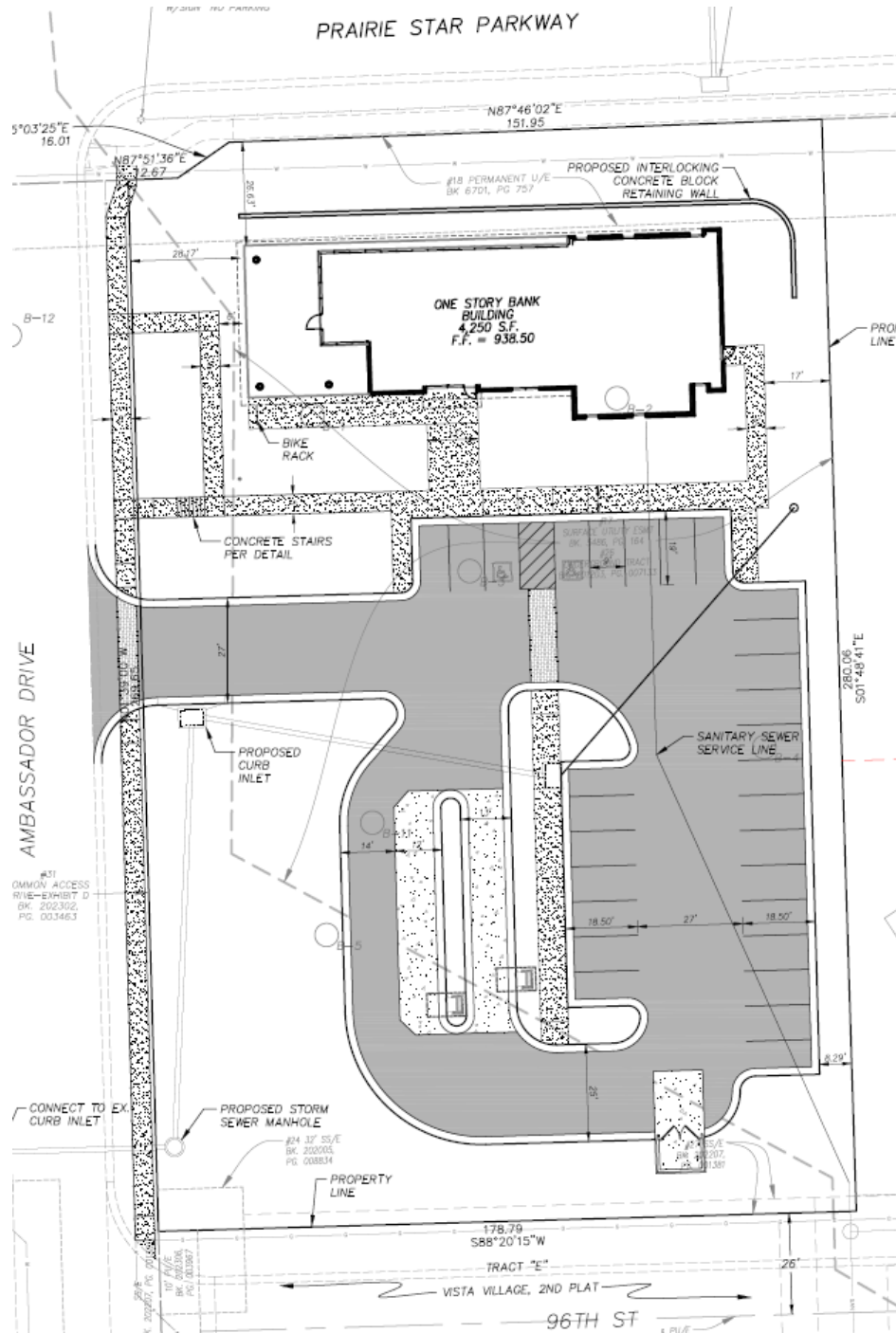


Exhibit 2: Excerpt of site plan.

Staff requested that the Construction Over Subsurface Space code, [Section 4-1-B-26-C-2](#) be addressed as is required at final plat/plan stage. This was not provided at the time of this report writing. However, understanding that the initial mine study for this property, along with many of the recommendations from that study (such as the mine filling that was completed last year) have been completed, Staff is comfortable moving this application forward with the condition that no permits will be issued until the City has received either a certification that this parcel is in compliance with the previously completed study, or an appropriate study has been submitted, reviewed and approved.

PUBLIC IMPROVEMENTS

No public improvements are required for this project.

ACCESS, TRAFFIC, AND PARKING

The site features one point of ingress and egress on Ambassador Drive. The internal sidewalk system includes 7' and 5' sidewalks that connect to the public sidewalk system along Ambassador Drive, which in turn links to the sidewalk along Prairie Star Parkway.

TABLE 2: PARKING ANALYSIS				
Type	Parking Formula	Required Parking	Proposed Parking	Difference
Vehicle Spaces for Banking services	1 space per 250 SF	17	28	+11
Bicycle Spaces	1 space per 10,000 SF / 2 space minimum for all uses	2	2	0

The proposed plans provide an excess of 11 parking spaces from the required 17, as illustrated in [Table 2](#), per the UDC. One bicycle rack with a minimum of two spaces is required per the bicycle parking requirement in [Section 4-1-D-1-R](#) of the UDC. The bicycle rack is proposed near the front entrance of the building.

Staff has identified concerns with the Truck Maneuvering Plan (SU-30), a plan which is required to demonstrate how a 30-foot single-unit truck can navigate the site. Additionally, it serves to establish site dimensions for parking and accessibility of various vehicular and pedestrian users. Generally, it is recommended to "accommodate" rather than "design for" such vehicles, especially when they are not the primary users of a site. It is acknowledged that the applicant attempted to accommodate the truck rather than specifically designing for it.

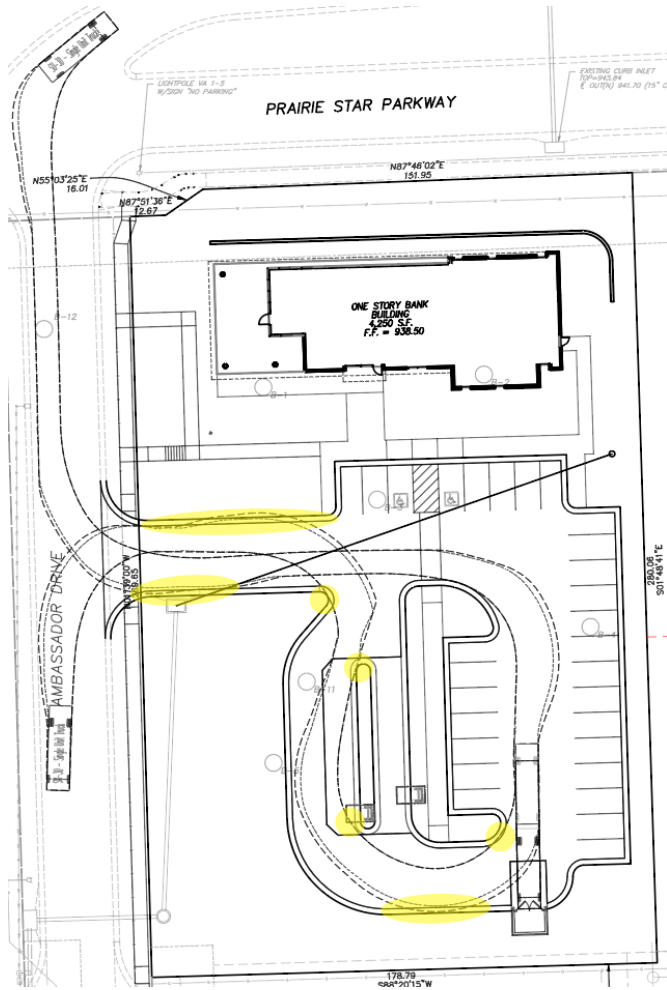


Exhibit 3: Original truck maneuvering plan (SU-30). Areas of concern are highlighted in yellow.

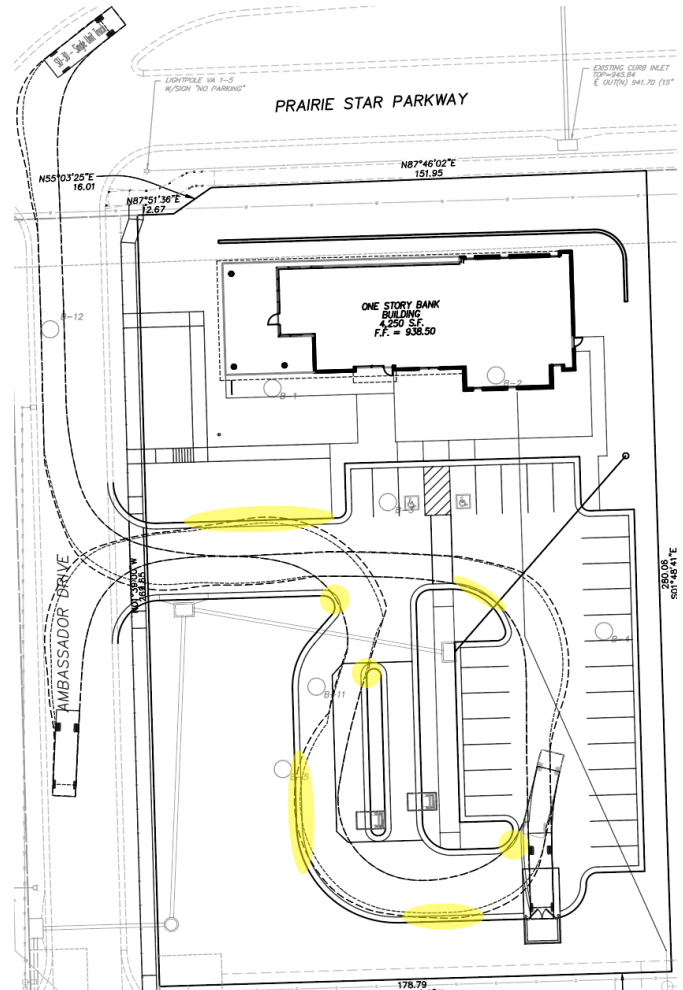


Exhibit 4: Resubmitted truck maneuvering plan (SU-30). Areas of concern highlighted in yellow.

In the original truck maneuvering plan, as illustrated in Exhibit 3, the truck is depicted running over curbs throughout the site and clipping the canopy of the western ITM machine, despite the inclusion of a bypass lane. To address Staff’s concerns, the applicant was advised to consider reducing the number of parking spaces (which exceed the code-required amount by 11) to allocate more space for improving curb radii and overall site dimensions, thus enhancing maneuverability, and minimizing the risk of damage to the ITM canopy, landscaping, and curb integrity.

Revised plans, as illustrated in Exhibit 4, show evidence of the applicant's efforts to better accommodate a 30-foot truck by adding clearance for the ITM canopy. However, there is still insufficient curb clearance, resulting in the truck running over curbs throughout the site. Furthermore, in addition to the outstanding issues with truck maneuverability, Staff did not receive requested information regarding the internal traffic circulation.

As of the writing of this report, Staff has not received updated plans addressing these concerns. Staff requests that the applicant continue to work with Staff to address outstanding issues relating to the SU-30 plan and traffic circulation before the issuance of a building permit as a condition of approval for this project.

STORMWATER

Stormwater management was completed for the overall development site, of which this parcel is a part of. The stormwater management for this specific parcel has already been constructed, thus this parcel satisfies the City’s requirements.

FIRE

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal.

LIGHTING

The proposed photometric plan and lighting is consistent with the Vista Village design guidelines and the UDC.

LANDSCAPING

The proposed landscaping for the site aligns with the landscape criteria outlined in both the Vista Village Design Guidelines and [Section 4-1-D-2](#) of the UDC. Along Prairie Star Parkway and Ambassador Drive, perimeter landscaping will feature a mix of trees and shrubs. Additionally, the parking lot landscaping plan encompasses a diverse array of trees and shrubs strategically positioned to provide both visual screening for vehicles from future residential properties to the west and east and shade for impermeable surfaces and cars, thereby minimizing their environmental impact.

The site entrance will be enhanced through the incorporation of lushly landscaped curbs adorned with a variety of flowering plants, shrubbery, and a centrally positioned tree on the north curb.

The trash enclosure situated near the southeastern corner of the parking area will be discreetly screened with shrubs and surrounded by trees.

Pedestrian crosswalks will be of decorative contrasting pavement as required by the Vista Village Design Guidelines and the UDC. Pedestrian-oriented amenities for the site include tables, chairs, and benches on the west portion of the building under the columns (Exhibit 6).

ARCHITECTURE

The building is one-story and totals 4,250 SF. The entrance to the building features aluminum composite elements in the canopy, columns, and façade above and to the west of the entrance (Exhibit 9). One third of the building is wrapped in manganese

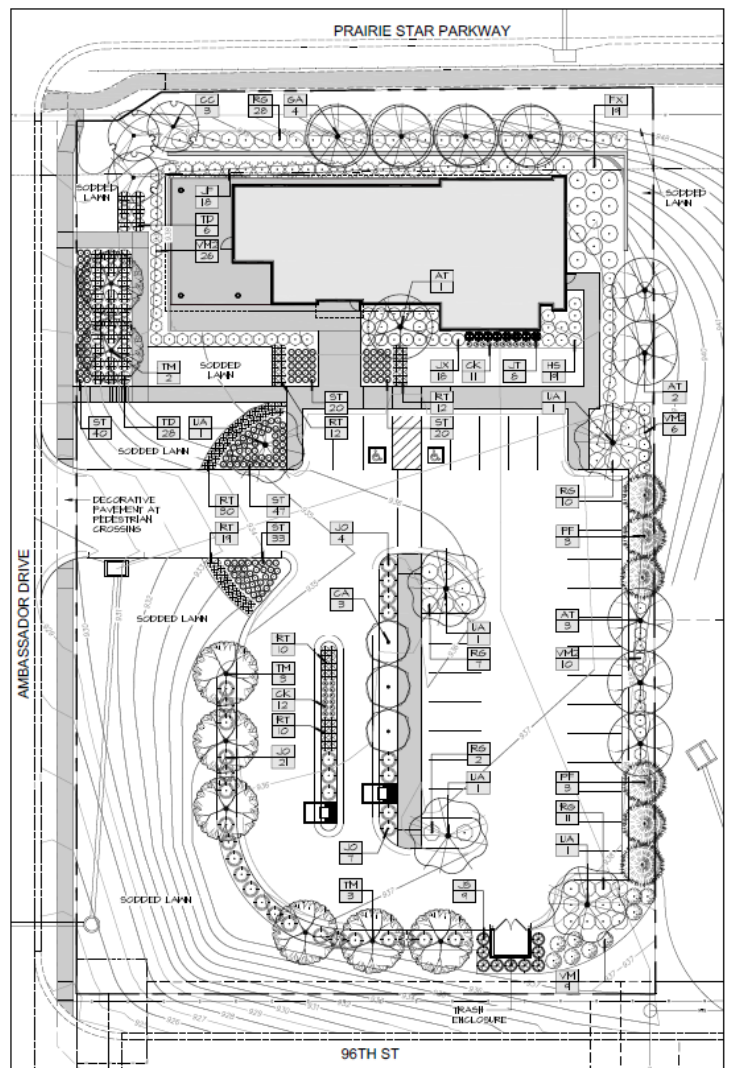


Exhibit 5: Excerpt of landscape plan.

colored brick with darker brick band accents on the lower, middle, and upper portion of the building to create contrast and depth. The remaining two thirds of the building is wrapped in aluminum composite panels and curtain wall windows (Exhibit 7 & 8). The trash enclosure located at the southeast corner of the site will be constructed of like-masonry materials with a composite wood gate in a steel frame.



Exhibit 6: Rendering of northwest side of the building with ITM's pictured in the foreground.



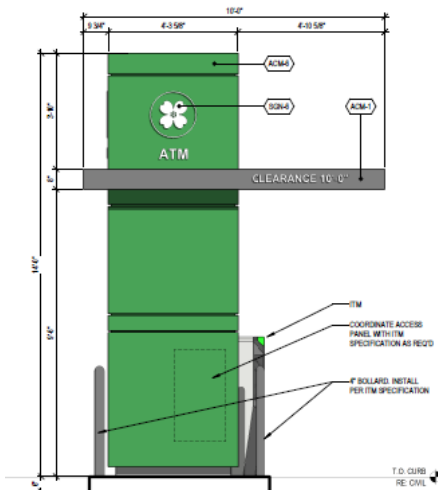
Exhibit 7: Rendering of northeast side of the building with trash enclosure and parking lot in the foreground.



Exhibit 8: Rendering of northwest side of the building.



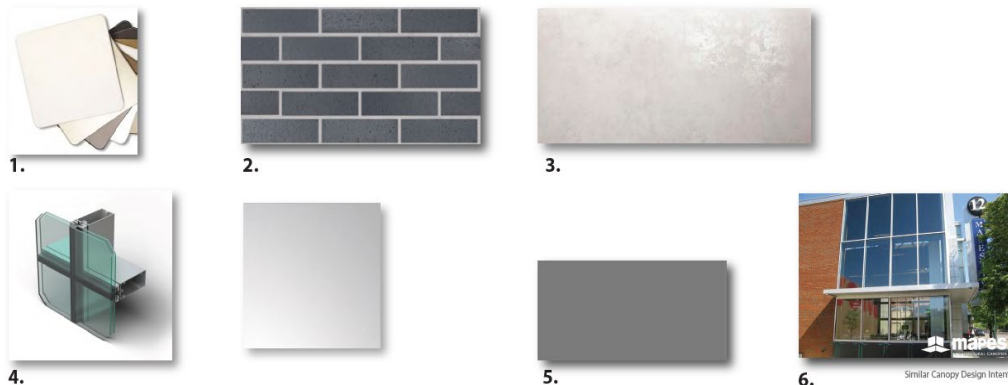
Exhibit 9: Rendering of the southeast side of the building.



The proposed ITM (Exhibit 10, at left) feature green aluminum composite panels and display the Central Bank dogwood flower logo on their north, east, and south facades. On the west elevation, a white dogwood flower pattern stands out in contrast to the green panel. Directional signage is displayed on the north and south faces of the attached aluminum canopy. It is Staff's opinion that these design choices do not adequately integrate the main architectural style of the site into the ITM, thus not aligning with the Vista Village Guidelines and UDC. Staff recommends that the applicant continue to work with Staff to revise the architectural elements of the ITM machines before a building permit is issued, as a condition of plan approval.

At left: Exhibit 10: Proposed ITM.

Proposed architectural materials and elements incorporated into the building must adhere to the Vista Village Design Guidelines. Upon review, it was determined that the proposed materials and elements did not align with the established guidelines, necessitating approval from the developer. Subsequently, the developer provided written approval for the proposed materials, citing the materials' compatibility with future development and ability to harmonize with the overall design vision of Vista Village.



Signs on the building and ITMs will require separate reviews and permits. Signs depicted on elevations and renderings are for illustrative purposes only and are not considered within the scope of the final plan. A total of four facade signs are proposed on the building, surpassing the maximum of three allowed per [Section 4-1-E-11-C](#) of the UDC for a single-tenant building. Consequently, a sign deviation request will be required for the installation of a fourth sign. The applicant has opted to pursue a sign deviation request separately from this final plan application.

DEVIATIONS

The applicant is not requesting any deviations from the Unified Development Code (UDC). It should be noted that if there is a desire to add a fourth façade sign to the building, a sign deviation request is required per the UDC.

NEXT STEPS

- The Planning Commission is the final authority for approval of this project.
- The applicant must work with Staff to address outstanding issues as noted in the Staff recommendation.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant must obtain a Certificate of Occupancy before opening for business.
- The applicant must obtain a Business License prior to opening for business.

RECOMMENDATION FROM PROFESSIONAL STAFF

★ Staff recommends approval of the proposed Final Plan for Central Bank.

- This is a final plan for development of a bank.
- The project is consistent with Lenexa's goals through *Responsible Economic Development* to create *Inviting Places* and a *Thriving Economy*.
- The applicant intends to submit a sign deviation application separate from this application.

FINAL PLAN

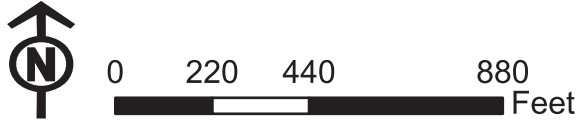
Staff recommends **approval** of the final plan for PL24-06F – **Central Bank** at the southeast corner of the intersection of Prairie Star Parkway and Ambassador Drive, for a bank with the following conditions:

1. Prior to the issuance of any development or building permits, the applicant shall work with staff to address the following:
 - i. Resolve issues concerning internal traffic circulation as indicated on the truck maneuvering plan (SU-30 turning template).
 - ii. Revise the elevations and plans of the ITM machines to better harmonize with the architectural style of the bank, ensuring seamless integration with the overall development, as outlined in the Vista Village Design Guidelines and the UDC.
 - iii. Provide certification demonstrating compliance with a previously conducted mine study for this parcel or submit an appropriate mine study for review and approval.



Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Central Bank PL24-06F



PARKING CALCULATIONS			
USE	RATIO	REQUIRED	PROVIDED
BANK	1 PER 250 S.F.	17	28
PARKING TOTALS		17	28

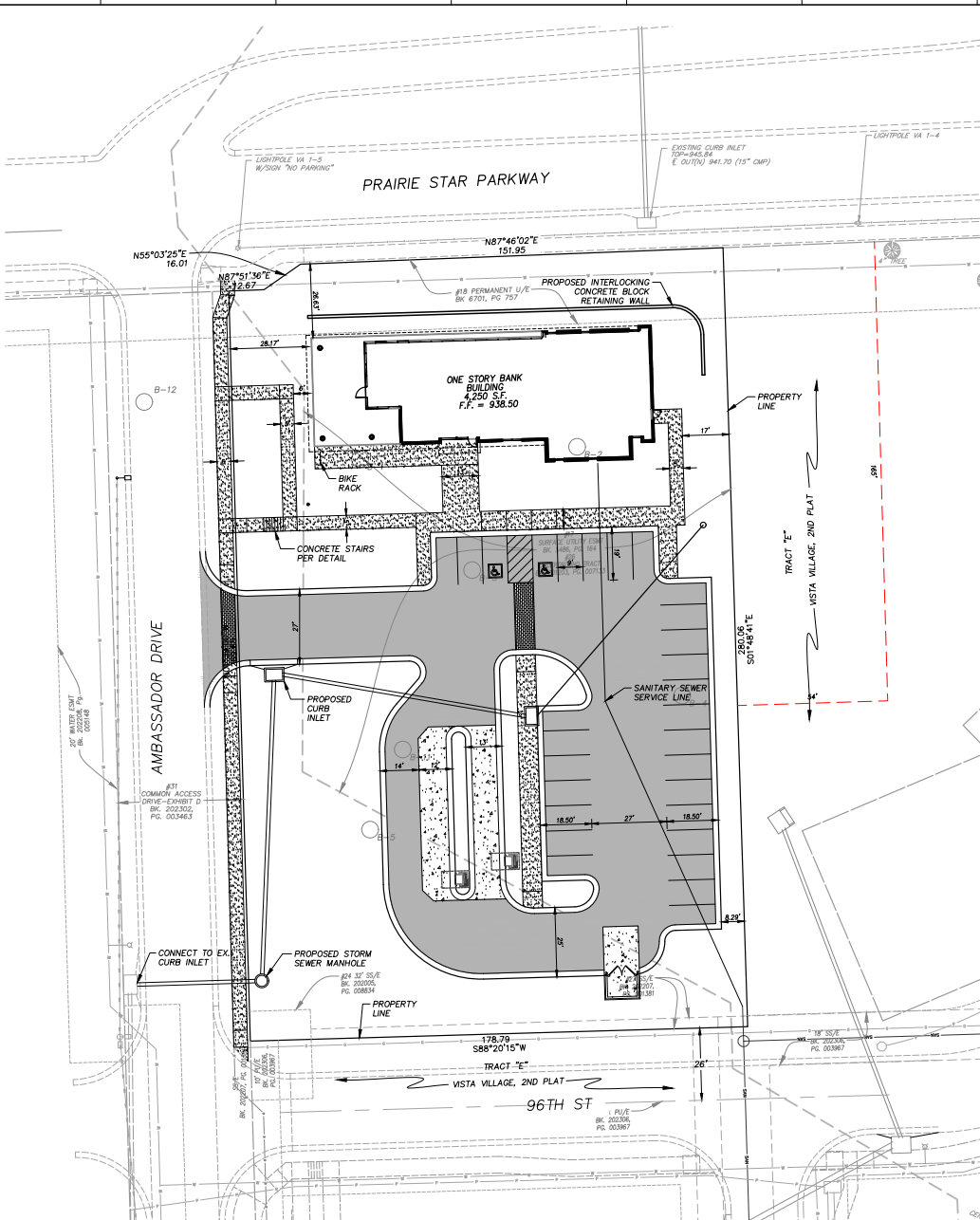
PARKING NOTES:

1. PARKING SPACES ARE A MINIMUM OF 9'x18.5'.
2. THE ANGLE OF ALL PARKING SPACES IS 90°.
3. ALL DIMENSIONS ARE TO THE BACK OF CURB.

SITE DEVELOPMENT DATA	
NET SITE AREA	1.14 AC. +/-
TOTAL BUILDING AREA	4,250 S.F.
TOTAL IMPERVIOUS AREA	25,605 S.F. (51.56%)
TOTAL GREEN SPACE	24,053 S.F. (48.44%)
ZONING	PUD

GENERAL NOTES:

1. THE CITY PLAN REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN OR DIMENSIONS AND ELEVATIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. THE CITY THROUGH APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY OTHER THAN AS STATED ABOVE FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
2. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS (APPROVED BY THE CITY) AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
3. CONSTRUCTION OF THE IMPROVEMENTS SHOWN OR IMPLIED BY THIS SET OF DRAWINGS SHALL NOT BE INITIATED OR ANY PART THEREOF UNDERTAKEN UNTIL THE CITY ENGINEER IS ADVISED OF SUCH INTENT AND ALL REQUIRED AND PROPERLY EXECUTED BONDS AND CONTRACT AGREEMENTS ARE RECEIVED AND APPROVED BY THE CITY ENGINEER.
4. CONTRACTOR SHALL PAY ALL PERMIT, SYSTEM DEVELOPMENT, AND CONNECTION FEES REQUIRED BY THE CITY AND UTILITY PROVIDERS.
5. THE PROJECT SPECIFICATIONS AND THE CITY CONSTRUCTION REQUIREMENTS SHALL GOVERN CONSTRUCTION OF THIS PROJECT.
6. ALL EXISTING UTILITIES INDICATED ON THE DRAWINGS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER; HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
7. ALL BACKFILL SHALL BE TAMPED. BACKFILL WITHIN THE RIGHT-OF-WAY SHALL BE TO 95% COMPACTION AT OPTIMUM MOISTURE.
8. ALL WATER REQUIRED FOR THE CONSTRUCTION OF THE PROJECT SHALL BE PURCHASED FROM THE CITY THROUGH THE USE OF A FIRE HYDRANT WATER METER. METERS CAN BE OBTAINED FROM THE CITY FOR A NOMINAL DEPOSIT, REFUNDABLE UPON THE RETURN OF THE METER.
9. CONTRACTOR SHALL NOT BE ALLOWED TO WORK ON SUNDAYS, HOLIDAY OR SATURDAY WORK SHALL BE AS APPROVED BY THE CONSTRUCTION MANAGER.
10. THE ENTIRE PROJECT AREA SHALL BE LEFT IN A MOWABLE CONDITION.
11. ALL CLEARING AND GRUBBING SHALL BE SUBSIDIARY TO THE PROJECT AND SHALL BE DISPOSED OF ACCORDING TO CITY REGULATIONS.
12. ALL EXCAVATION SHALL INCLUDE UNDERCUT AND REPLACEMENT THERE OF (SUBSIDIARY TO GRADING).
13. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION OPERATIONS EITHER BY GRADING, PARKING OF EQUIPMENT, TEMPORARY ROADS, OR ANY OTHER OPERATION THAT HAS DESTROYED THE EXISTING GRASSES OF THE ORIGINAL SITE, WILL BE SODED OR SEEDED IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AS SOON AS EROSION CONTROL DEVICES ARE REMOVED.
14. EROSION CONTROL MEASURES WILL BE REQUIRED TO BE INSTALLED PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES.
15. ALL TREES THAT ARE TO BE REMOVED SHALL BE DISPOSED OF IN A MANNER THAT MEETS THE REQUIREMENTS OF THE CITY TECHNICAL SPECIFICATIONS.
16. ALL EXCAVATION SHALL BE UNCLASSIFIED. ALL PAVED AREA EXCAVATION IN ROCK (SHALE, SANDSTONE, OR LIMESTONE) SHALL BE UNDERCUT NO LESS THAN 15" FOR THE FULL WIDTH OF THE PROJECT AND BACKFILLED WITH SUITABLE MATERIAL. UNDERCUTTING SHALL BE UNCLASSIFIED EXCAVATION. THE CONTRACTOR SHALL TAKEOFF ALL QUANTITIES AND SATISFY HIMSELF TO THE AMOUNT OF WORK TO BE DONE.
17. ALL EXISTING PAVEMENT, CURB AND GUTTER, STORM SEWER INLETS, MANHOLES AND EXISTING UTILITIES OR LANDSCAPING SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR TO REPAIR/REPLACE ANY ITEM DAMAGED BY CONSTRUCTION OPERATIONS TO EQUAL OR BETTER CONDITION.
18. BY USE OF THESE PLANS THE CONTRACTOR AGREES THAT HE SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF THE CONSTRUCTION WORKERS AND OF THE PUBLIC.

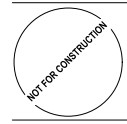
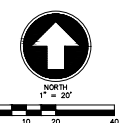
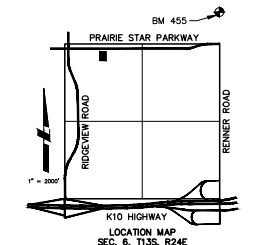


- DEVELOPMENT NOTES:**
1. SIDEWALKS SHALL BE CONCRETE.
 2. PRIVATE DRIVES SHOWN HEREON WILL PROVIDE SHARED ACCESS FOR EACH LOT WITHIN THE DEVELOPMENT.
 3. STORMWATER DETENTION IS PROVIDED BY EXISTING DETENTION BASINS WEST OF RIDGEVIEW ROAD AND AT THE NORTHEAST CORNER OF 98TH AND AMBASSADOR DRIVE.
 4. WATER QUALITY TREATMENT IS PROVIDED BY A COMBINATION OF EXISTING FACILITIES AND VIA NATIVE VEGETATION AS SHOWN ON THE LANDSCAPE PLAN.

VICINITY ZONING PATTERN:
 NORTH: AG, AGRICULTURAL, NPO, PLANNED NEIGHBORHOOD OFFICE, & RP-3, PLANNED RESIDENTIAL, MEDIUM HIGH DENSITY ZONING DISTRICTS
 SOUTH: BP-2, PLANNED MANUFACTURING ZONING DISTRICT
 EAST: PUD, PLANNED UNIT ZONING DISTRICT
 WEST: AG, AGRICULTURAL ZONING DISTRICT (PARK)

LEGAL DESCRIPTION:
 LOT 9, VISTA VILLAGE 1ST PLAT, A SUBDIVISION IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS, EXCEPT THAT PART LYING BELOW THE FARLEY LEDGE OF LIMESTONE (UNDERGROUND TRACT) AS CONVEYED IN QUIT CLAIM DEED BOOK 201203-007133.

- LEGEND:**
- DENOTES CONCRETE SIDEWALK
 - DENOTES CONCRETE PAVEMENT
 - DENOTES ASPHALT PAVEMENT



Central Bank, Lenexa
New Facility
 Central Bank
 Prairie Star Parkway and Ambassador Drive
 Lenexa, KS 66215

Revisions:
 1. ESTABLISH THE CITY COMMENTS

Project #: 23-0028
Final Development Plan
 April 1, 2024

Payne & Brockway, P.A.
 CIVIL ENGINEERS & LAND SURVEYORS

SITE PLAN
C100

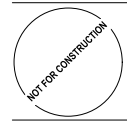
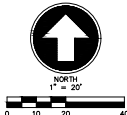
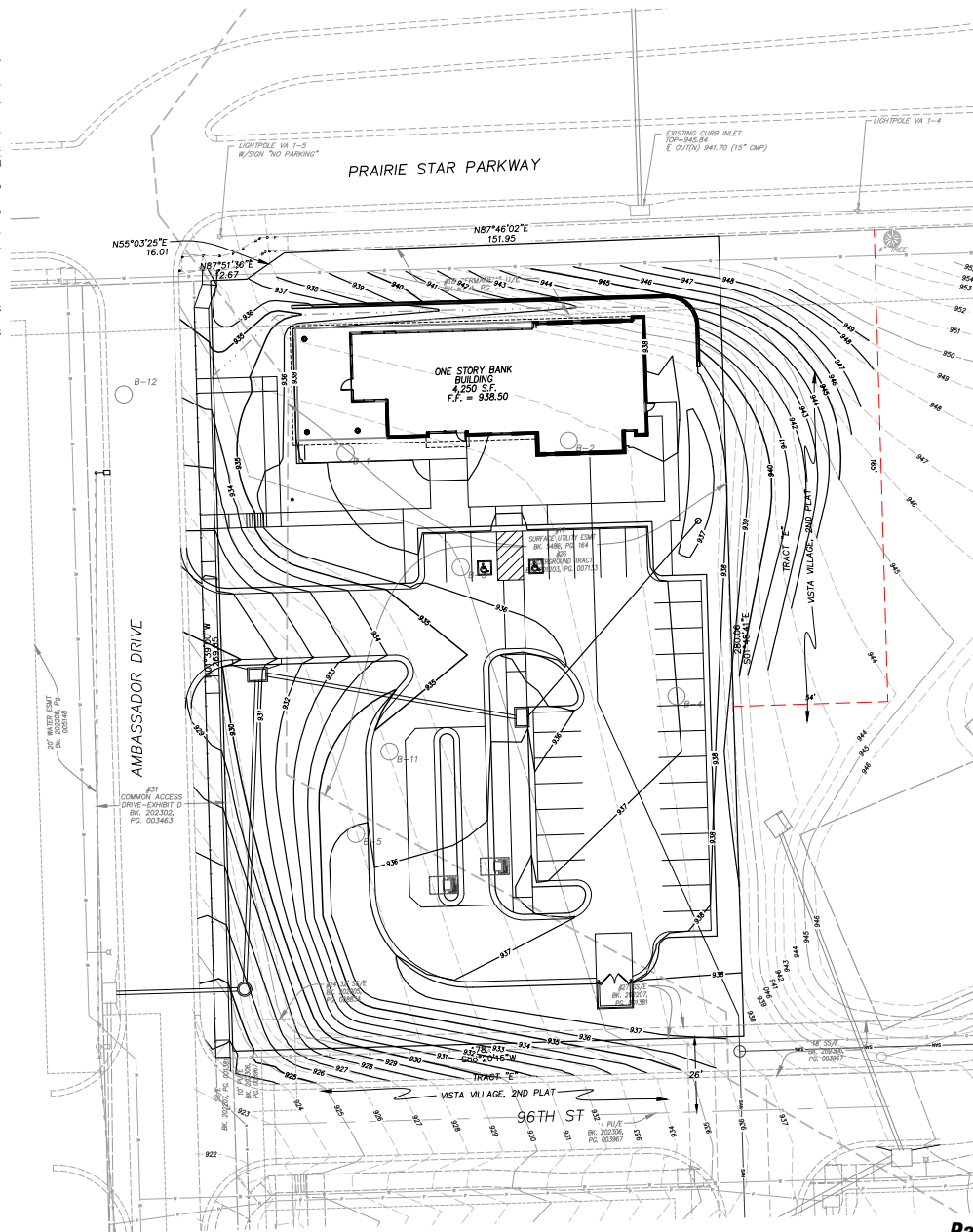
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SITE GRADING GENERAL NOTES

1. IT IS THE INTENT OF THIS GRADING PLAN TO USE ON-SITE SOILS TO ACHIEVE THE GRADES SHOWN HEREON.
2. ALL GRADING OPERATIONS, EXCAVATION, FILL, COMPACTION TESTING, AND BACKFILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER SHALL BE DESIGNATED AND PAID FOR BY THE OWNER.
3. NO FILL SHALL BE PLACED WITHIN AREAS WHERE IN-SITU ROCK EXISTS PRIOR TO APPROVAL OF THE GEOTECHNICAL ENGINEER.
4. ALL FILL MATERIAL SHALL BE FREE OF DEBRIS AND ORGANIC MATERIAL AND SHALL HAVE A LIQUID LIMIT AND PLASTICITY INDEX IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
5. ALL FILL MATERIAL SHALL BE FREE OF ROCK FRAGMENTS OR STONES LARGER THAN RECOMMENDED IN THE GEOTECHNICAL REPORT.
6. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, AND WITHIN THE MOISTURE CONTENT RANGE DESCRIBED IN THE GEOTECHNICAL REPORT, AND AS DEFINED BY A.S.T.M. D-698.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED FOR SOILS INSPECTION AND TESTING DUE TO FAILURE TO COMPLY WITH THE GEOTECHNICAL REPORT'S MINIMUM REQUIREMENTS.
8. ALL GRADING OPERATIONS SHALL BE STAMPED BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR, APPROVED BY THE OWNER, HIRED BY THE CONTRACTOR.
9. UPON COMPLETION OF GRADING THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE OWNER WITH A LETTER INDICATING THAT THE SITE WAS PREPARED IN DIRECT CONFORMANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS OF THE GEOTECHNICAL REPORT, AND ALL ADDENDUMS AND MEMORANDUMS PREPARED BY THE GEOTECHNICAL ENGINEER.

GEOTECHNICAL REPORT

10. THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT SHALL BE THE MINIMUM GEOTECHNICAL REQUIREMENTS FOR THIS PROJECT. REFER TO THE PLANS AND SPECIFICATIONS FOR ANY FURTHER REQUIREMENTS.
11. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE GEOTECHNICAL REPORT FOR USE BY HIMSELF AND HIS SUBCONTRACTORS.



Central Bank, Lenexa
New Facility
 Central Bank
 Prairie Star Parkway and Ambassador Drive
 Lenexa, KS 66159

Revisions:

NO.	DATE	DESCRIPTION
1	4/15/24	PER CITY COMMENTS

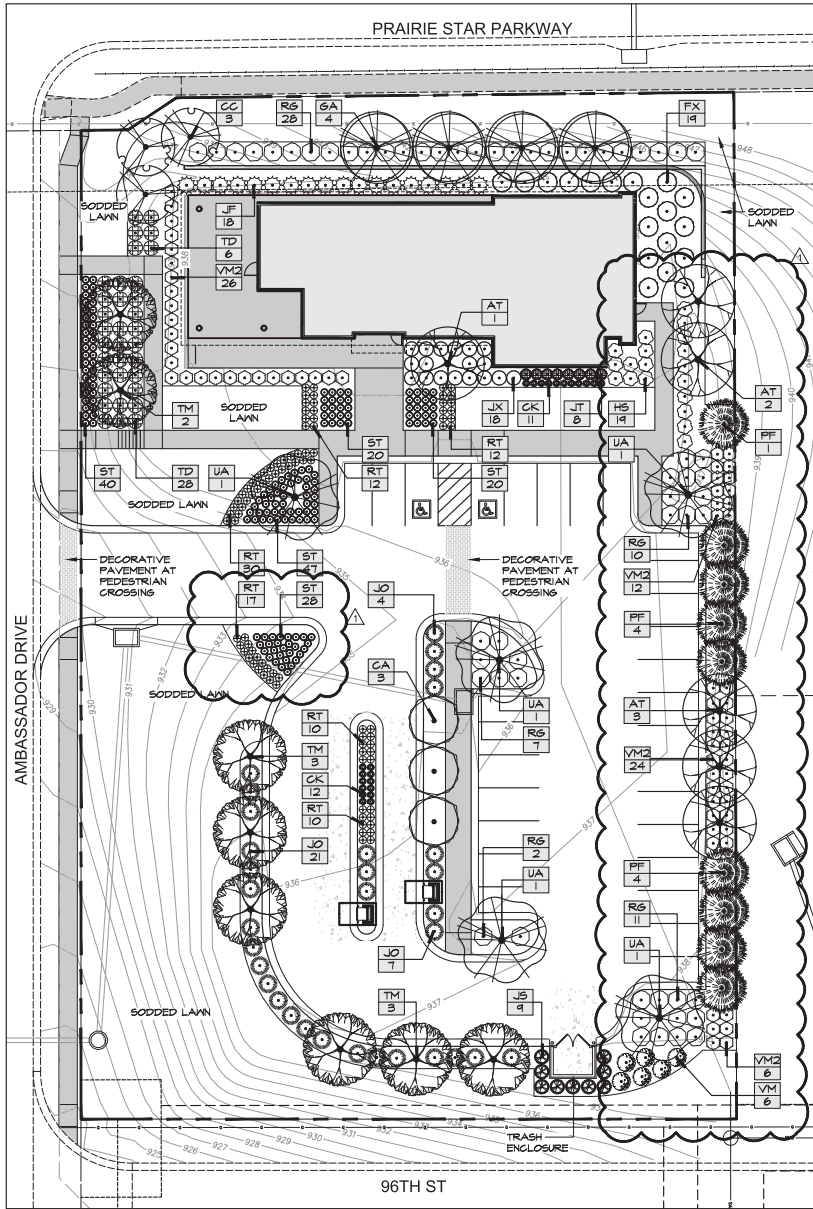
Project #: 23-0028

Final Development Plan
 April 1, 2024

Payne & Brockway, P.A.
 CIVIL ENGINEERS & LAND SURVEYORS

GRADING PLAN
C101

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PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES					
Circle with cross	JT	<i>Juniperus virginiana</i> 'Taylor'	Taylor Eastern Redcedar	6' Ht. Min.	B4B
EVERGREEN TREES					
Circle with horizontal lines	JS	<i>Juniperus scopulorum</i> 'Skyrocket'	Skyrocket Juniper	7'-8' Ht.	B4B
Circle with vertical lines	PF	<i>Pinus flexilis</i> 'Vandermol's Pyramid'	Vandermol's Pyramid Limber Pine	7'-8' Ht.	B4B
ORNAMENTAL TREES					
Circle with diagonal lines /	CC	<i>Cercis canadensis</i>	Eastern Redbud	2" Cal.	B4B
Circle with diagonal lines \	GA	<i>Cercis canadensis</i> 'Ace of Hearts'	Ace of Hearts Eastern Redbud	2" Cal.	B4B
SHADE TREES					
Circle with vertical lines	AT	<i>Acer truncatum</i>	Shantung Maple	2" Cal.	B4B
Circle with horizontal lines	GA	<i>Ginkgo biloba</i> 'Princeton Sentry'	Autumn Gold Maidenhair Tree	2.5" Cal.	B4B
Circle with diagonal lines /	TM	<i>Taxodium distichum</i> 'Mickelson'	Shawnee Brave's Bald Cypress	2.5" Cal.	B4B
Circle with diagonal lines \	UA	<i>Ulmus parvifolia</i> 'Allee'	Allee® Lacebark Elm	2.5" Cal.	B4B
SHRUBS					
Circle with cross	FX	<i>Fothergilla x intermedia</i> 'Mount Airy'	Mount Airy Fothergilla	---	#5
Circle with diagonal lines /	JX	<i>Juniperus x media</i> 'wardii'	Wardii yew	24" Ht.	#5
Circle with diagonal lines \	Vm2	<i>Viburnum carlesii</i> 'SMVGB'	Spice Baby's Koreanspice Viburnum	---	#5
DECIDUOUS SHRUBS					
Circle with diagonal lines /	HS	<i>Hydrangea quercifolia</i> 'Sike's Dwarf'	Sike's Dwarf Oakleaf Hydrangea	24" Ht.	#5
Circle with diagonal lines \	RG	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	---	#5
Circle with cross	RT	<i>Rosa x 'Red Drift'</i>	Red Drift Rose	---	#5
Circle with diagonal lines /	VM	<i>Viburnum dentatum</i> 'Blue Muffin'	Blue Muffin Viburnum	24" Ht.	#5
EVERGREEN SHRUBS					
Circle with vertical lines	JF	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	24" Ht.	#5
Circle with horizontal lines	JO	<i>Juniperus virginiana</i> 'Gray Owl'	Gray Owl Juniper	18" Ht. Min.	#5
Circle with diagonal lines /	TD	<i>Taxus x media</i> 'Densiformis'	Densiformis Yew	24" Ht.	#5
GRASSES					
Circle with vertical lines	CK	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	---	#1
Circle with diagonal lines /	ST	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	---	#1

LANDSCAPE PLAN
SCALE: 1"=20'-0"



Central Bank, Lenexa
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 Lenexa, KS 66219

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LENEXA LANDSCAPE REQUIREMENTS

PERIMETER PLANTINGS ALONG STREET FRONTAGES

CODE REQUIREMENT	PER 100 LINEAR FT OF BUILDING ADJACENT TO A PARKWAY 2 SHADE TREES, 3 ORNAMENTAL TREES, 25 SHRUBS AND 200SF OF BED ARE REQUIRED PER 100 LINEAR FT OF BUILDING AND PARKING AREA ADJACENT TO LOCAL RD PROVIDE 2 SHADE TREES AND 12 SHRUBS. PARKING AREAS SHALL REQUIRE SHRUBS OR BERRY TO FORM A VISUAL SCREEN NO LESS THAN 5' FOR 75% OF STREET FRONTAGE.		
REQUIREMENT AREA	CALCULATION	PLANTING REQUIRED	PLANTING PROVIDED
104 LF OF BUILDING ALONG PARKWAY (STAR FRONT PARKWAY)	104/100 = 1.04 1.04 X 2+2.09 1.04 X 5+ 3.12 1.04 X 25+ 26 1.04 X 200+208	5 SHADE TREES 4 ORNAMENTAL TREES 26 SHRUBS 208 SF BED AREA	4 SHADE TREES 3 ORNAMENTAL TREES 26 SHRUBS 128 SF BED AREA
187 LF OF PARKING AREA ALONG AMBASSADOR DR. (LOCAL)	187/100 = 1.87 1.87 X 2+2.74 1.87 X 12+ 22.44	3 SHADE TREES 11 SHRUBS	2 SHADE TREES 24 SHRUBS
44 LF OF BUILDING ALONG AMBASSADOR DR. (LOCAL)	44/100 = .44 .44 X 2+ .88 .44 X 12+ 5.28	1 SHADE TREES 6 SHRUBS	2 SHADE TREES 26 SHRUBS
117 LF OF PARKING AREA ALONG 46TH ST. (LOCAL)	117/100 = 1.17 1.17 X 2+2.34 1.17 X 12+ 14.04	3 SHADE TREES 19 SHRUBS	3 SHADE TREES 19 SHRUBS

PERIMETER PLANTINGS ALONG LOT LINES

CODE REQUIREMENT	PER 100 LINEAR FT OF BUILDING ADJACENT TO PROPERTY LINES 1 SHADE TREE IS REQUIRED. PER 100 LINEAR FT OF PARKING LOT ADJACENT TO PROPERTY LINES 1 SHADE TREE AND 4 SHRUBS SHALL BE REQUIRED. ALL SERVICE AREAS SHALL BE SCREENED WITH EVERGREEN TREES AND SHRUBS NECESSARY TO ACCOMPLISH A COMPLETE VISUAL SCREEN FROM PUBLIC VIEW.		
REQUIREMENT AREA	CALCULATION	PLANTING REQUIRED	PLANTING PROVIDED
48 LF OF BUILDING (EAST PROPERTY LINE)	48/100 = 1.28 1.28 X 1+1.28 1.28 X 4+ 5.12	2 TREES 8 SHRUBS	2 TREES 8 SHRUBS *SEE LANDSCAPE USE BUFFER
128 LF OF PARKING LOT (EAST PROPERTY LINE)	128/100 = 1.28 1.28 X 4+ 5.12	2 TREES 12 SHRUBS	3 TREES 14 SHRUBS *SEE LANDSCAPE USE BUFFER

PARKING LOT LANDSCAPING

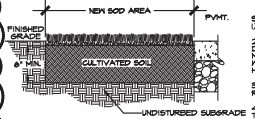
CODE REQUIREMENT	75% OF TOTAL PARKING LOT AREA SHALL BE LANDSCAPED. A MINIMUM OF 1 TREE SHALL BE PLANTED PER 800 FEET OF OVERALL INTERNAL LANDSCAPED AREA WITH AT LEAST 1 TREE PLANTED IN EACH ISLAND.		
REQUIREMENT AREA	CALCULATION	PLANTING REQUIRED	PLANTING PROVIDED
14,854 SF OF PARKING LOT AREA 9 ISLANDS	14,854 X 0.75 = 11,140.5 SF 11,140.5 / 800 = 13.93	1011 SF OF LANDSCAPE AREA 9 TREES	1218 SF OF LANDSCAPE AREA 9 TREES

LAND USE BUFFER

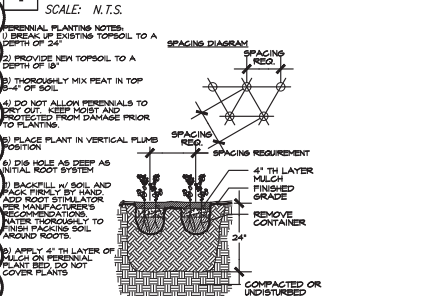
CODE REQUIREMENT	FOR AN LOT OF 2, A 10' WIDE BUFFER SHALL BE REQUIRED WITH 1 TREE, 5 EVERGREEN & 15 SHRUBS PER 100 LN FT.		
REQUIREMENT AREA	CALCULATION	PLANTING REQUIRED	PLANTING PROVIDED
RESIDENTIAL (30-4000) & GENERAL COMMERCIAL (GREATER THAN 65 ISM) &	8-8+2 280 LF / 100 = 2.8 2.8 X 1+2.8 2.8 X 5+ 14 2.8 X 15 = 42	10' WIDE BUFFER 3 TREES 15 EVERGREENS 42 SHRUBS	10' WIDE BUFFER PROVIDED 3 TREES 15 EVERGREENS 42 SHRUBS

LANDSCAPE NOTES

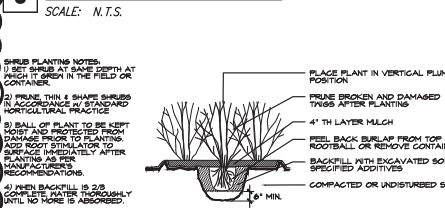
- THE LANDSCAPE CONTRACTOR SHALL READ ALL LANDSCAPE PLANS, SPECIFICATIONS AND VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT.
- ANY AND ALL QUESTIONS CONCERNING THE LANDSCAPE PLANS AND SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MULCHING, AND OTHER REQUIREMENTS OF PLANT MATERIALS WHILE THEY ARE TEMPORARILY STORED ON OR OFF SITE.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE LAYOUT OF PLANTING BEDS, PLANT MAGSINS, STAKED LOCATION OF TREES AND INSTALLATION OF PLANT MATERIAL WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANT MATERIAL IS DELINEATED AT MATURE SIZE.
- ALL LANDSCAPE MATERIAL SHALL MEET THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60-1-1996) PER THE AMERICAN ASSOCIATION OF NURSERMEN.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIAL AT THE NURSERY PRIOR TO SELECTION OR ORDERING AT THE OWNER'S REQUEST.
- CONDUCT PLANTING UNDER FAVORABLE WEATHER CONDITIONS DURING EITHER THE SPRING PLANTING SEASON (MARCH 1 TO JUNE 1) OR THE FALL PLANTING SEASON (SEPTEMBER 30 UNTIL FREEZING OF THE GROUND). DURING THE FALL PLANTING SEASON, CONSECUTIVE MATERIAL PLANTING SHALL BE CONDUCTED AUGUST 1 TO OCTOBER 1. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
- ROOT STIMULATOR SHALL BE APPLIED TO ALL PLANT MATERIALS WITH THE EXCEPTION OF LAMN AREAS. APPLY PER THE MANUFACTURERS SPECIFICATIONS.
- THE PLANTING SOIL MIXTURE FOR ALL TREE PLANTINGS SHALL INCLUDE SOIL EXCAVATED FROM THE HOLE RATIO, 50% VIBRAC SOIL & 50% AMENDED TOP SOIL.
- A SOIL TEST SHALL BE CONDUCTED BY THE CONTRACTOR AND TESTED BY AN APPROVED SOIL TESTING LABORATORY. FINDINGS AND RECOMMENDATIONS OF THE TEST SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. PER THE ARCHITECT'S DISCRETION, SUGGESTED SOIL AMENDMENTS AND SUBSTITUTION FROM THE TEST MAY BE REQUIRED. STATE-RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHORUS AND POTASSIUM NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE SATISFACTORY TOPSOIL SUITABLE FOR PLANT GROWTH.
- ALL TREE SAUCERS AND PLANTING BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4" DOUBLE-BRAND HARDWOOD MULCH (COLOR DYED DARK BROWN) UNLESS NOTED OTHERWISE ON LANDSCAPE PLAN. LANDSCAPE CONTRACTOR TO PROVIDE MULCH SAMPLE TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. WHERE PLANTING BEDS ARE ADJACENT TO WALKS AND CURBS THE SOIL LEVEL SHALL BE 1" LOWER TO ALLOW FOR MULCH LAYER. FINISH SOD IS INDICATED. ITS THICKNESS SHALL ALSO BE ACCOUNTED FOR SO THAT THE SOIL SURFACE IN THE SOD IS 1" BELOW THE HARDSCAPE SURFACE.
- THE LANDSCAPE CONTRACTOR SHALL RESTORE FINISH GRADES IN ALL PLANTING AREAS (PER GRADING PLANS) WHICH MAY HAVE BEEN DISTURBED DURING PLANTING OPERATIONS.
- MULCH STAKES, GUY WIRE, PRE-DENSENED HERBICIDES, ETC. SHALL BE SUBSIDIARY TO INDIVIDUAL PLANTS.
- LABEL EACH TREE AND SHRUB WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. LABEL EACH ORNAMENTAL GRASS, BERRYGROWER, PERENNIAL AND ANNUAL WITH THE LABEL PROVIDED BY THE ORIGINAL GROWER OF THE PLANT. LABELS SHALL NOT BE REMOVED UNTIL AFTER PROVISIONAL ACCEPTANCE BY LANDSCAPE ARCHITECT.
- LOOSEN SOIL FOR ALL PLANTING ISLANDS AND SHRUB/PERENNIAL BEDS TO A DEPTH OF 12".
- TOPSOIL SHALL BE FERTILE NATURAL TOPSOIL, TYPICAL OF THE LOCALITY, OBTAINED FROM PELL DRAINED AREAS. STOCKPILED TOPSOIL MAY BE USED. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOL OR SLAG AND SHALL BE FREE OF STONES, LUMPS, SIGNS PLANTS OR THEIR ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR WOULD INTERFERE WITH FUTURE MAINTENANCE. TOPSOIL PH RANGE SHALL BE 5.5 TO 7.0.
- THERE SHALL BE NO ADDITIONS, DELETIONS OR SUBSTITUTION OF PLANT MATERIAL SPECIES WITHOUT THE WRITTEN APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. ANY SUBSTITUTION THAT HAS NOT BEEN APPROVED SHALL BE REMOVED AND REPLACED WITH THE CORRECT PLANT AT LANDSCAPE CONTRACTOR'S EXPENSE.
- THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THE LANDSCAPE CONSTRUCTION.
- COORDINATE WITH THE OWNER AND GENERAL CONTRACTOR FOR SLEEVE LOCATIONS AND TIMING OF SLEEVE INSTALLATION.
- DEWITT PROS WEED BARRIER SHALL BE INSTALLED BETWEEN ALL STONE GROUNDCOVER AREAS AND UNDERLYING SOIL SURFACE.
- SOD LAMN AT ALL DISTURBED AREAS, INCLUDING THOSE NOT NECESSARILY INDICATED ON THIS PLAN.
- ALL PLANTS SHALL BE WARRANTED BY THE INSTALLER FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THE INSTALLER SHALL REPAIR OR REPLACE PLANTINGS THAT FAIL IN MATERIALS, MERCHANTSHIP, OR GROWTH WITHIN SPECIFIED WARRANTY PERIOD.
- NO TREE, SHRUB, OR WOODY VEGETATION WILL BE PLANTED WITHIN A DISTANCE OF 10 FEET FROM ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION (FDC).
- NO TREES WILL BE PLANTED WITHIN 15 FEET OF A STREETLIGHT.
- ANY LANDSCAPE MATERIALS TO BE USED FOR SCREENING MUST BE AT LEAST THE HEIGHT OF THE MATERIAL THAT IT IS INTENDED TO SCREEN.



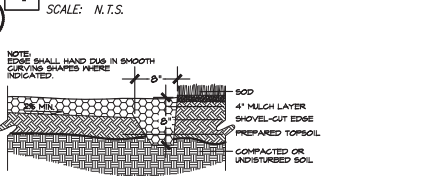
1 SOD INSTALLATION



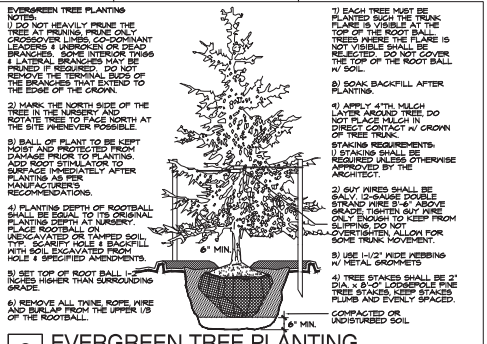
3 PERENNIAL PLANTING



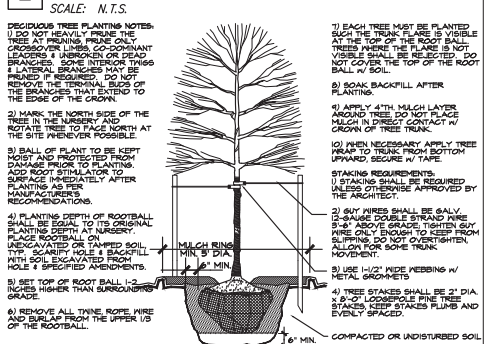
4 SHRUB PLANTING



6 SHOVEL-CUT EDGING



2 EVERGREEN TREE PLANTING



5 DECIDUOUS TREE PLANTING



Central Bank, Lenexa
New Facility
Central Bank
Prairie Star Parkway and Ambassador Drive
Lenexa, KS 66215

Revisions:

NO.	DATE	DESCRIPTION

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Final Development Plan
April 1, 2024

LANDSCAPE NOTES & DETAILS
L102

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**Central Bank, Lenexa
 New Facility**
 Central Bank
 Prairie Star Parkway and Ambassador Drive
 Lenexa, KS 66215

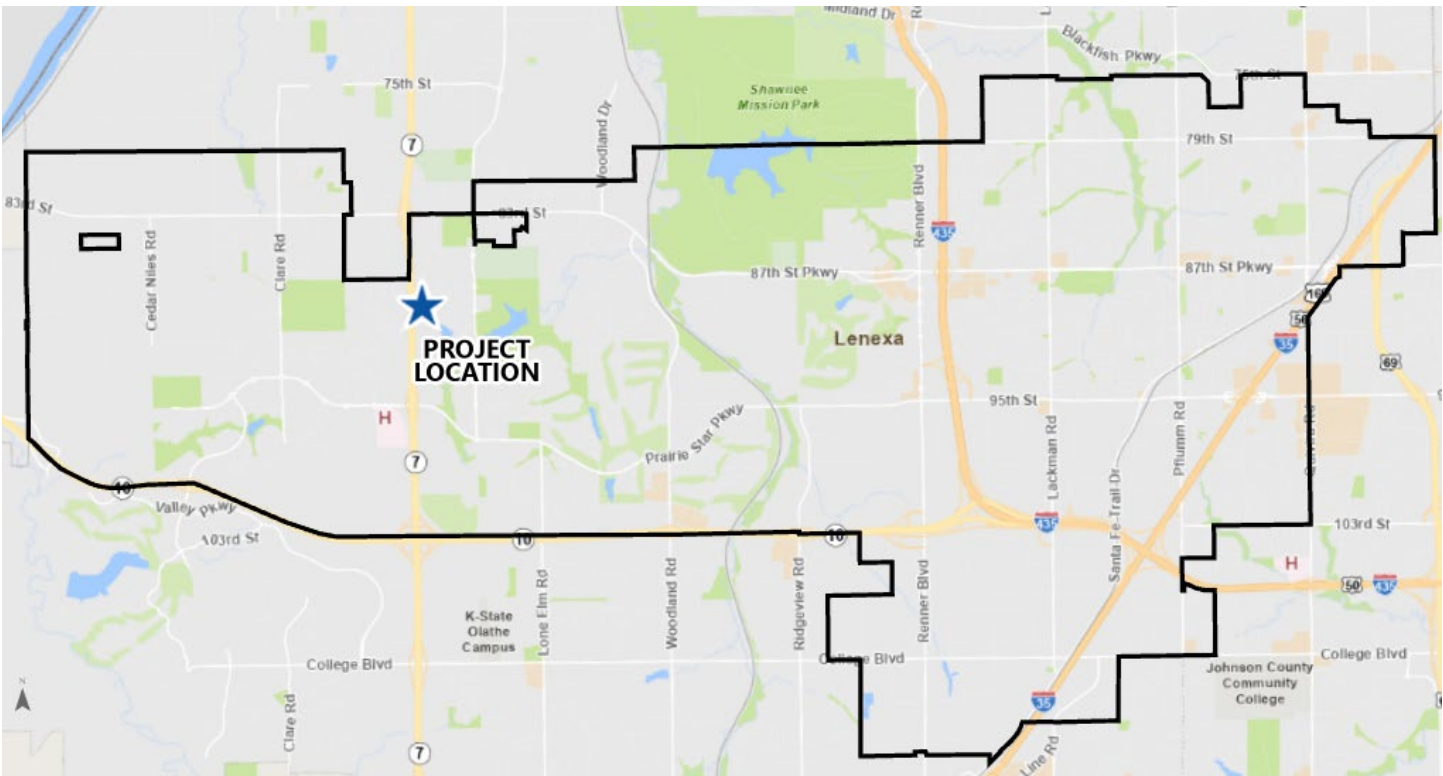
Revisions:

Project #: 231001

**Final
 Development Plan**
 April 1, 2024

RESERVE AT COPPER CREEK

Project #:	PL24-07F and PT24-06F	Location:	Northwest corner of 89th Street and Woodsonia Drive
Applicant:	Doug Ubben, Phelps Engineering	Project Type:	Final Plan and Final Plat
Staff Planner:	Dave Dalecky	Proposed Use:	Multifamily Residential



PROJECT SUMMARY

The applicant seeks approval of a final plan for The Reserve at Copper Creek, a multifamily residential development located at the northwest corner of 89th Street and Woodsonia Drive. The plan is for the first phase of the development containing 289 units among eight buildings. The Reserve at Copper Creek project is zoned within the RP-3, RP-4, and RP-5 Zoning Districts. The graduated zoning districts increase in intensity from east (Woodsonia Drive) to west (K-7 Highway). This first phase is the northerly part of the development and includes all three districts. Each phase will include a clubhouse and pool amenity incorporated into one of the apartment buildings. The proposed final plan is consistent with the approved preliminary plan/plat (PL24-03P), which includes a deviation for setback reduction along building setback from K-7 Highway. The submittal includes the final plat of the first phase. This project does not require a Public Hearing.

STAFF RECOMMENDATION: APPROVAL WITH A CONDITION

SITE INFORMATION

This site is the first phase of the Reserve at Copper Creek multifamily development. This phase is the northerly part of the project and contains 14.41 acres of land. The site is at the northwest corner of the intersection of 88th Street and Woodsonia Drive. The property was zoned for multifamily development in 2021 with an associated concept plan (RZ21-06, RZ21-07, PL21-05CP, and PL21-06CP) and a preliminary plan approved in the spring of 2024, (PL24-03P). The site has three multifamily zoning districts, RP-3, RP-4, and RP-5 that are configured to increase in intensity from east to west. The development will require the completion of Woodsonia Drive from 83rd Street to Prairie Star Parkway. Conditions related to the timing and completion of Woodsonia Drive are included with Staff’s recommendation at the end of the report.

LAND AREA (AC)	DWELLING UNITS	CURRENT ZONING	COMP. PLAN
14.41	289	RP-3, RP-4, RP-5	Office/Employment Center

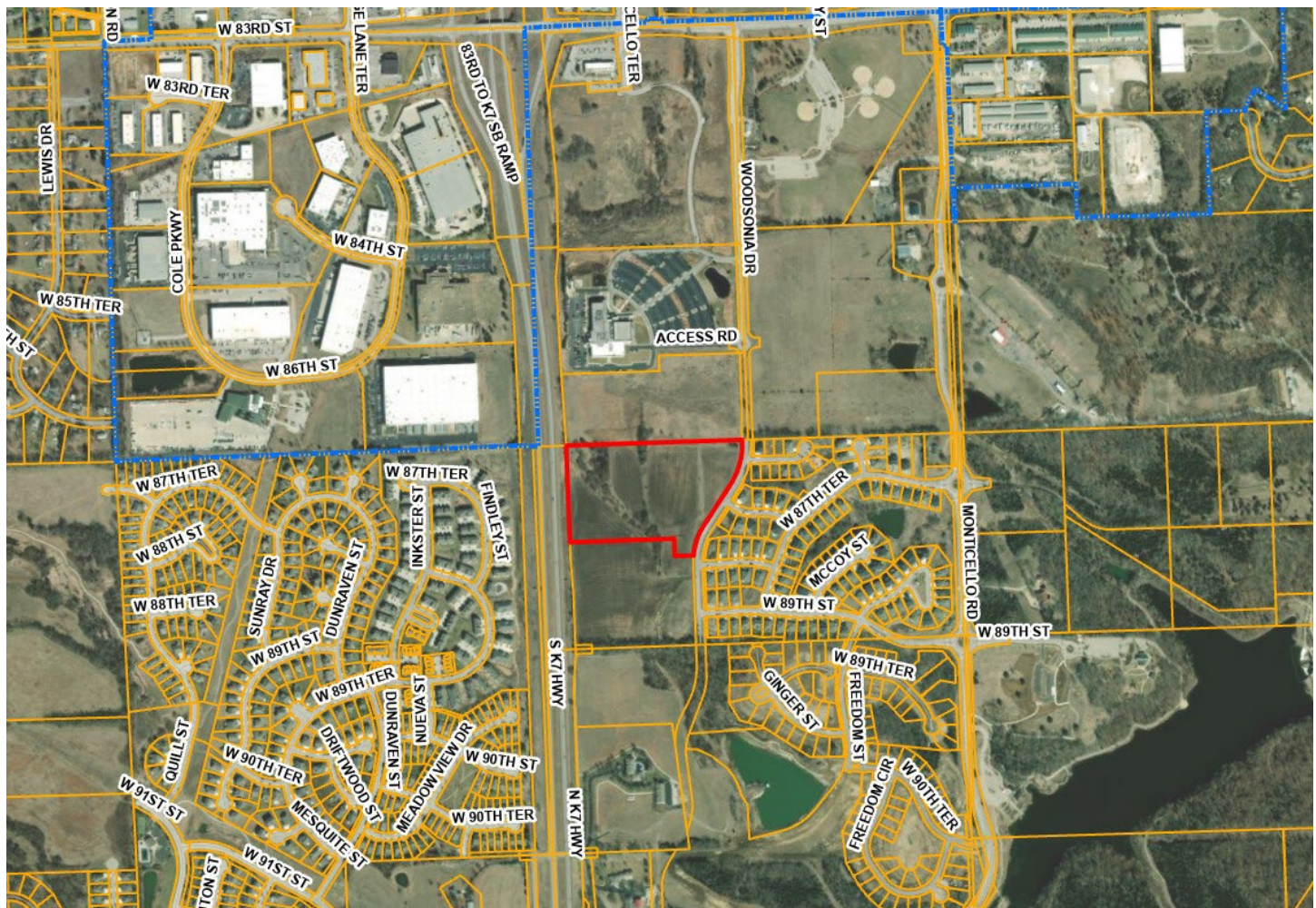


Exhibit 1: Aerial Image of Subject Site

LAND USE REVIEW

The site is designated for office and employment center uses on the Future Land Use Map of the Comprehensive Plan. The site was considered for the potential of multifamily uses as an alternative to office use from the time the Watercrest Landing single-family subdivision was zoned to RP-1 for single-family development. The site was zoned to three multifamily zoning districts: RP-3, RP-4, and RP-5. The zoning is in a tiered pattern that progressively increases in density from east to west.

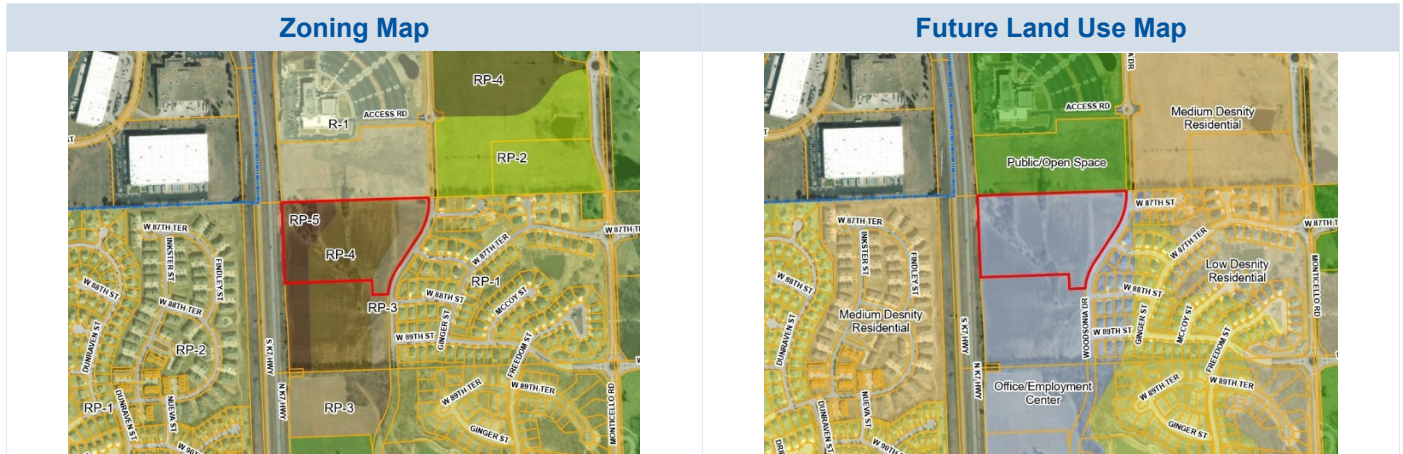


TABLE 1: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Designation	Zoning	Current Use
Subject Property	Office/Employment Center	RP-3, Residential Planned (Medium-Density) District, RP-4, Residential Planned (High-Density) District, and, RP-5, Residential Planned (High-Rise, High-Density) District	Undeveloped land
North	Public/Open Space	RP-1, Residential Planned Single-Family (Low-Density) District	Church, Westside Family Church Campus
South	Office/Employment Center	RP-3, Residential Planned (Medium-Density) District	Undeveloped land
East	Office/Employment Center, Medium Density Residential, Suburban Density Residential, and Low-Density Residential	RP-1, Residential Planned Single-Family (Low-Density) District, RP-2, Residential Planned (Intermediate Density), and CP-2, Planned Community Commercial District	Single-Family Subdivision, Watercrest Landing
West	Medium Density Residential (across K-7 Highway)	RP-3, Residential Planned (Medium-Density) District (across K-7 Highway)	Multifamily Residential, Townhomes at the Reserve (across K-7 Highway)

FINAL PLAN REVIEW

The proposed development is the first phase of the Reserve at Copper Creek multifamily residential development. The overall project contains 529 units on 27 acres and this first phase contains 289 units on 14.41 acres. This phase contains eight buildings; the buildings are consistent with the approved preliminary plan. The easterly part of the site, zoned RP-3, contains three, two-story buildings. The central part contains two- and three-story buildings and the westerly part of the site contains two four-story buildings. The clubhouse and pool amenity are attached to an apartment building in the central part of the site. An additional amenity is a dog park located at the northeast corner of the site.

This phase of the development will have three access drives onto Woodsonia Drive. The drives will align with the streets in Watercrest Landing. The northerly street is a cul-de-sac, and the other two streets are indirect connections to Monticello Road. The intent is to discourage circulation through Watercrest Landing to access the Reserve at Copper Creek development. The most efficient means to access the sounding street network is to travel either north or south on Woodsonia Drive to 83rd Street or Prairie Star Parkway. All construction traffic is required to use Woodsonia Drive to access this site.

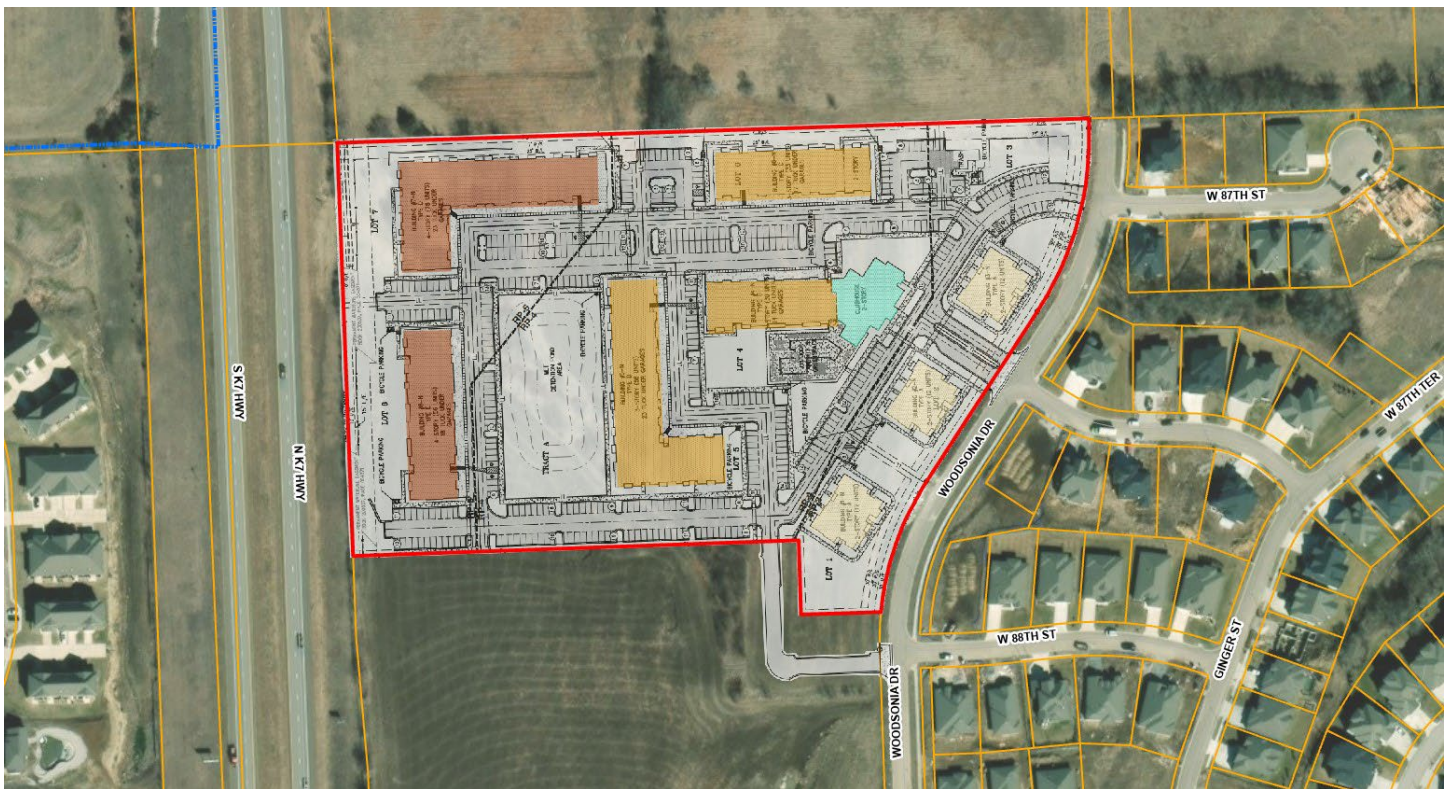


Exhibit 2: Reserve at Copper Creek phase 1 site plan.

PUBLIC IMPROVEMENTS

The development is required to complete Woodsonia Drive from 83rd Street to Prairie Star Parkway. Sections of the street are currently in place. The incomplete sections of Woodsonia Drive must be built prior to the issuance of any form of Certificate of Occupancy, including Temporary Certificate of Occupancy for the buildings.

Permits and/or construction activity prior to completion of the full Woodsonia Drive, based on an approved access gained from the incomplete section of Woodsonia Drive at the north end of the site, may be possible. Approval of the project is conditional of the completion of the sections of Woodsonia Drive.



Exhibit 3: Woodsonia Drive sections.

PARKING

The development will include surface parking and “tuck-under” garage spaces for residents and visitors. The overall project requires 962 parking spaces. The preliminary plan exceeds the minimum parking requirement by 21 parking spaces. The first phase of the development provides 537 parking spaces, exceeding the minimum parking requirement by 10 parking spaces. Bicycle parking (a paved space with bike racks) will be located throughout the development next to each apartment building. A space, or multiple spaces, where groups of four bike racks will be located next to each apartment building.

TABLE 3: PARKING ANALYSIS				
Land Use	Parking Formula	Required Parking	Proposed Parking	Difference
Multifamily 17 efficiency units 154 1-bedroom units 118 2-bedroom units 212 total units	1 space per efficiency unit 1.5 space per 1-bedroom unit 1.75 spaces per 2-bedroom unit 2 spaces per 3+ bedroom unit .25 spaces per unit for visitors	527	537	+ 10
Bicycle 289 total units	1 space per 5 units	58	60	+ 2

STORMWATER

The applicant submitted a final stormwater management plan/study for the proposed property that indicates the intent to meet the City’s stormwater standards and requirements.

FIRE PREVENTION

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal.

LIGHTING

The site will contain parking lighting throughout the parking lot and additional site lighting with building mounted fixtures and other decorative light fixtures for sidewalks and pedestrian areas. A photometric plan has been provided that complies with the light requirements [Section 4-1-C-4-I](#) of the Unified Development Code (UDC). Parking lot light fixtures shall use shields for the fixtures along the periphery of the site to reduce light spilling onto adjacent development.

LANDSCAPING


The site will have substantial landscaping around the periphery, throughout the parking areas and around each building. The City Council approved the Preliminary Plan with additional conditions. One of the conditions related to the provision of a landscape buffer along Woodsonia Drive. The landscape plan shows the required Land Use Intensity (LUI) landscape buffer is provided. The preliminary plan showed some of the required landscaping outside of the 20-foot buffer, further from Woodsonia Drive. The plan is now revised so that all the required landscaping is within the 20-foot buffer. The relocation of the landscape materials increases the amount of plantings between the first apartment buildings and the  street.



Exhibit 4: Landscape Buffer along Woodsonia Drive (highlighted in green).

In addition to the required LUI buffer, peripheral landscaping and parking lot landscaping, each building will have foundation landscaping installed. The foundation landscaping will include smaller materials and ornamental plantings. The landscape for the first phase complies with the landscape requirements of [Section 4-1-D-2](#) of the UDC.

A monument sign is shown in the island of the main drive entrance to the site. The island will also have landscaping including ornamental plantings around the base of the site. The sign will require a separate sign permit.

ARCHITECTURE

The overall development consists of two phases. Each phase will have a unique style of architecture. This northern phase is a contemporary style of architecture. The buildings incorporate geometric forms with long horizontal lines. The roof lines are interrupted with low pitched articulations. The material palette is brick, stucco, lap siding, vertical and horizontal oriented metal panel, and wood panel. The building colors are gray, light tan, green and brown. The buildings may use a mix of colors to provide differentiation among the buildings. The additional colors will be in the same family of earth tone colors.



Exhibit 5: Three-story apartment building elevation.

The buildings contain several plane changes and variation along the façades, multiple window sizes and use of accents and detail elements. The buildings will have metal railing around the patio spaces and a metal awning above the top floor windows. The patios and awnings will use a suspended detail as a design element to carry the modern style motif.

The clubhouse and pool amenity are interconnected with one of the apartment buildings. The clubhouse is a one-story structure with clerestory elements. The clubhouse is an easily identified feature of the development.



Exhibit 6: Clubhouse, attached to three-story apartment building.

The development is designed to transition in scale and density from east to west. The buildings along the east side of the site are to be similar in scale and in design features to a single-family house. These buildings will each contain 12 apartments. The buildings are all two-stories and will use pitched roofs with several gables and hip-roof elements. The 12-unit apartment buildings will include several wall articulations and materials changes along the façades to resemble the character of a single-family home.



Exhibit 7: Two-story, 12-unit apartment building elevations.

The buildings will be two-, three-, and four-stories tall. The four-story buildings will be on the west side of the site along K-7 Highway. All the building in the first phase will use the same palette of materials, geometric forms, accent features and design details.



Exhibit 8: Four-story apartment building.

The three- and four-story apartment buildings will have garage spaces on the ground floor. These garage spaces are referred to as “tuck-under” garages. The tuck-under garages will span the length of the apartment buildings. The ground floor façade of the building that faces the interior of the site will have a series of garage doors. The site is designed so that the “long” façade of the buildings face north or south, except for the building along the west side of the site so the series of garages are the least visible from Woodsonia Drive.



Exhibit 9: Three-story apartment building with tuck-under garages.

Each building will have a location where electrical meters are mounted. This is referred to as the “meter bank.” The meter bank is located at an inconspicuous position on the building so it is not as visible from the street and where landscaping can be used to further obscure visibility of the meters.

FINAL PLAT REVIEW

A final plat is provided with the final plan. A preliminary plat of the entire site was approved together with the preliminary plan in March 2024 (PL24-03P). This final plat is for the first phase of development.

The 627,905 SF (14.41 ac) plat is divided into eight lots and one tract. The applicant proposes that each building be built within a separate lot. This is not a common development pattern for a multifamily project. The purpose that each building is with its separate lot is due related to the construction of Woodsonia Drive. Each lot is expected to have an assessment for the cost of Woodsonia Drive.

The plat will include easements dedicated to the City and a sewer easement dedicated to Johnson County Wastewater District. Tract A will include a drainage easement. Easements for access and utilities are provided throughout the plat.

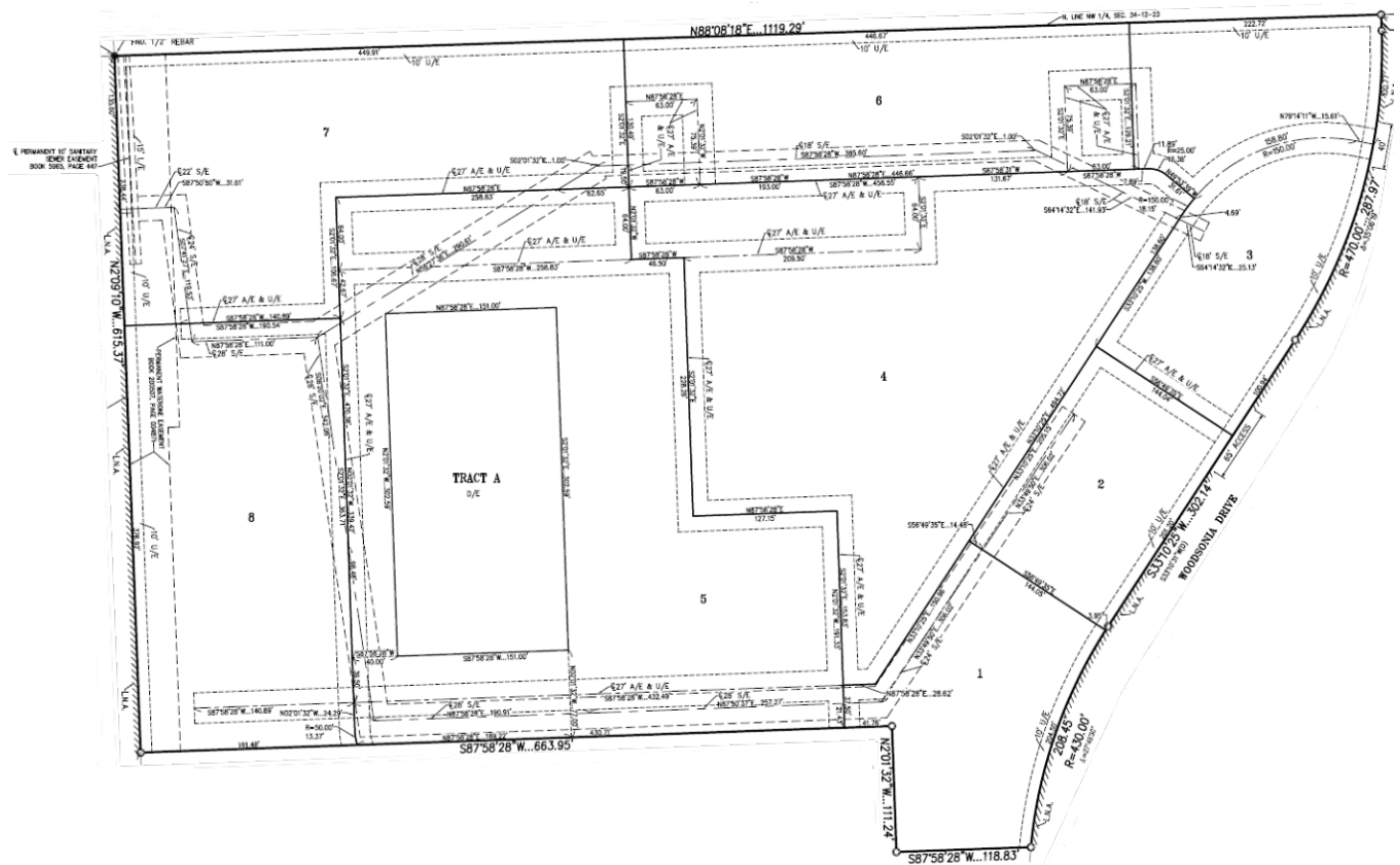


Exhibit 10: The Reserve at Copper Creek Final Plat

A drive entrance that extends to the south of the plat connecting to Woodsonia Drive. This drive entrance is the location of the permanent drive on the next phase of the development. This drive is outside of the plat boundary of the first phase of the project. The access easement will be dedicated by separate document.

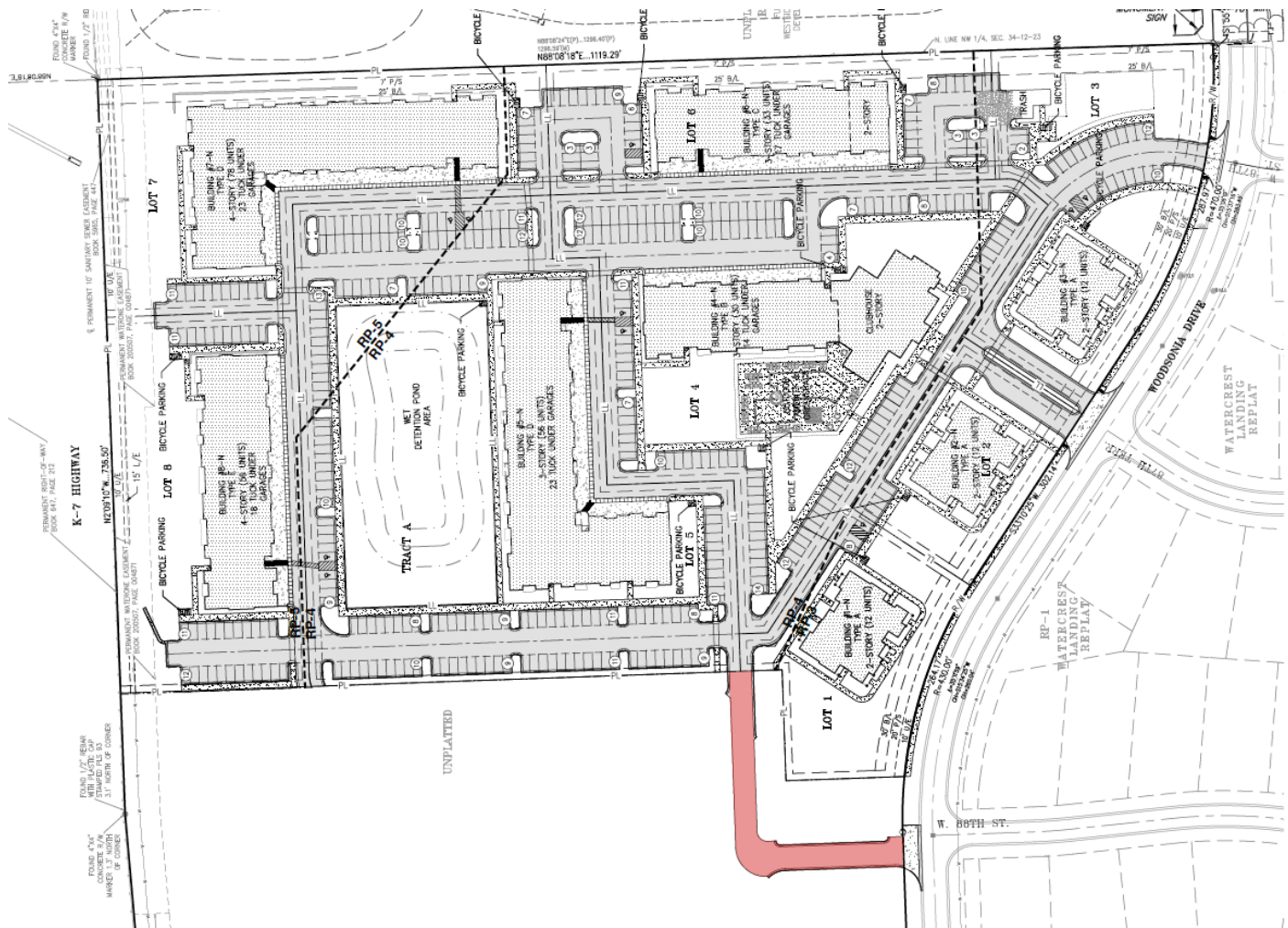


Exhibit 11: Drive extension requires an easement by separate document (shown in red).

DEVIATIONS

The applicant received approval for deviations with the approval of the preliminary plan. The deviation that is included with this first phase of the development is the reduction of the freeway special setback. [Section 4-1-B-26-C-1](#) of the UDC requires a 100-foot setback adjacent to Interstate and State Highways. The project is adjacent to K-7 Highway. At the time of the preliminary plan consideration for the project, a request to reduce this setback was made for parking and for the buildings on the west side of the site. The deviation was granted for the reduction to the setback. The deviation varies for buildings and for parking areas. The buildings encroach into the setback up to 19 feet and the parking encroaches up to 52 feet. This deviation was granted with the preliminary plan.

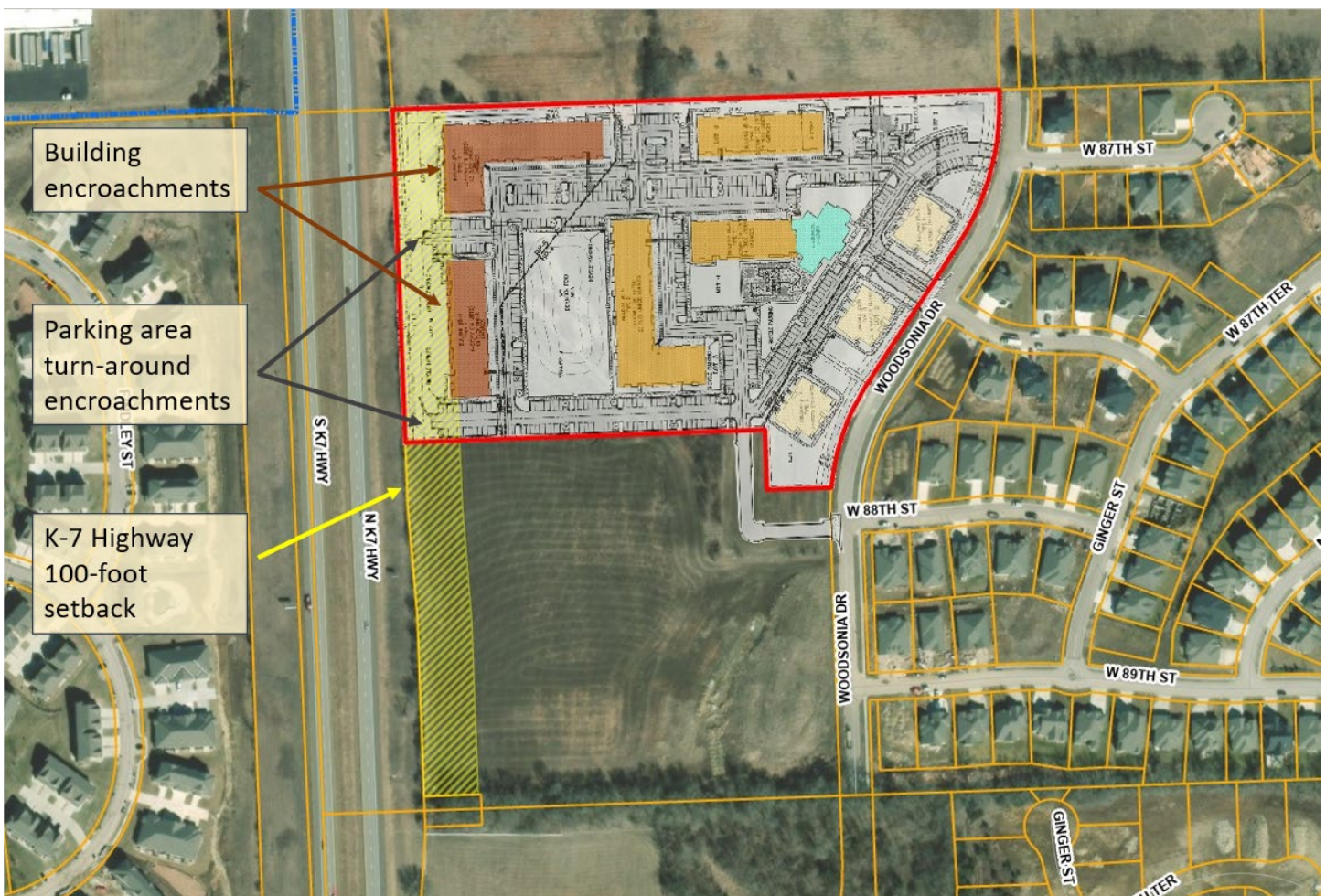


Exhibit 12: Special setback deviations (approved with preliminary plan).

REVIEW PROCESS

- The City Manager has requested the final plan for The Reserve at Copper Creek be considered by the Governing Body. The item is tentatively scheduled for the May 21, 2024 City Council meeting.
 - The City Council added two conditions to the approval of the preliminary plan. One condition regarding the landscape buffer along Woodsonina Drive and a condition that requires the owner/developer to include a statement in the leases that informs the tenants of the Powder Creek shooting range on the east side of Monticello Road indicating and that noise for gunfire from the range will be heard.

NEXT STEPS

- The final plat must be recorded with Johnson County prior to permits being released.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant should inquire about additional City requirements and development fees.

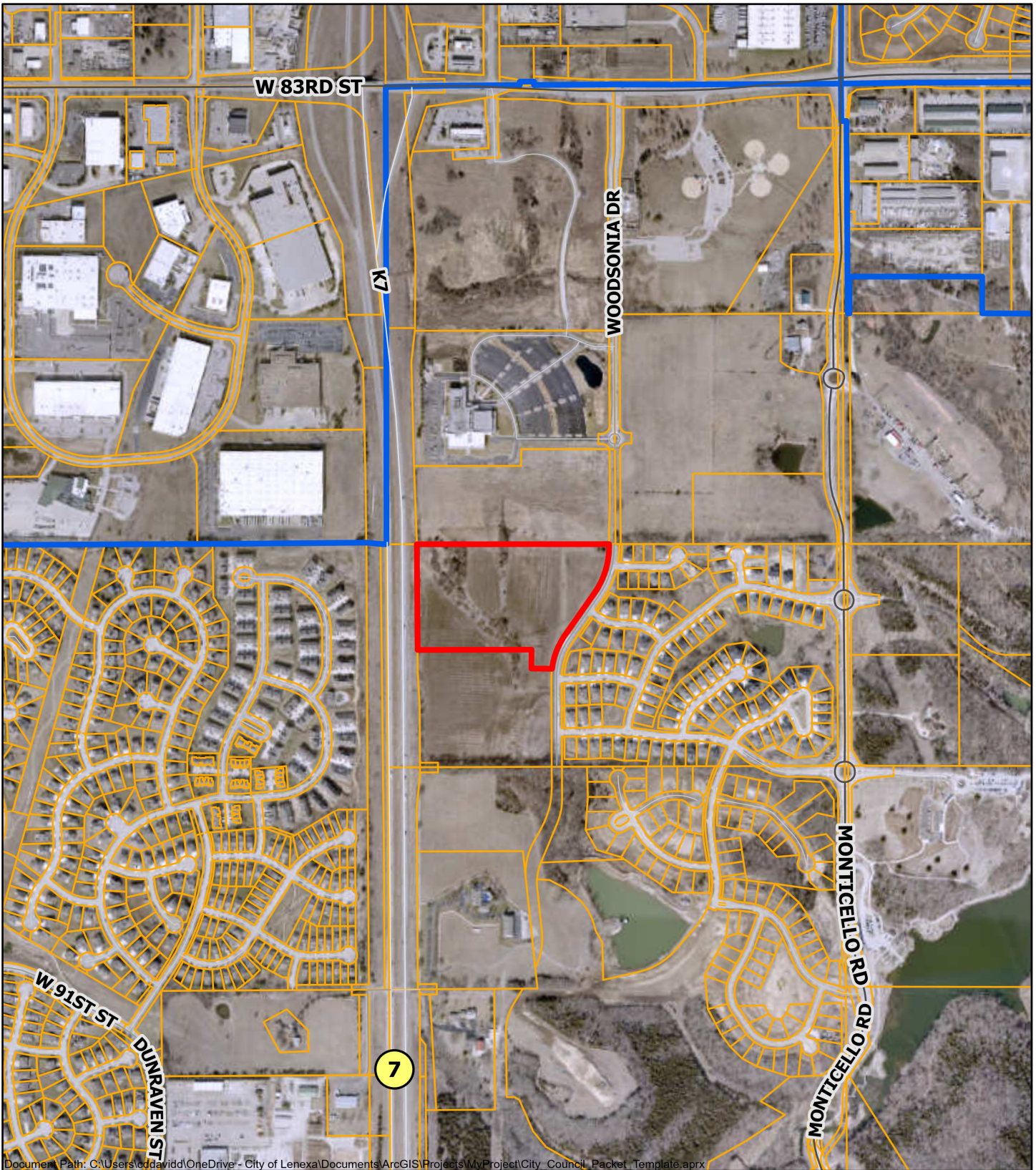
RECOMMENDATION FROM PROFESSIONAL STAFF

- ★ **Staff recommends approval of the proposed Final Plan/Plat for The Reserve at Copper Creek.**
 - This is a final plan/plat for a multifamily residential development consisting of five multifamily buildings.
 - The project is consistent with Lenexa's goals through **Responsible Economic Development** to create a **Thriving Economy** and **Vibrant Neighborhoods**.

FINAL PLAN/PLAT

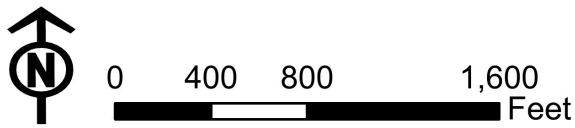
Staff recommends **approval** of the final plan/plat for PL24-07F and PT24-06F – **The Reserve at Copper Creek** located at the northwest corner of 89th Street and Woodsonia Drive for a multifamily residential use with the following condition:

1. Prior to the issuance of any form of Certificate of Occupancy for any building, Woodsonia Drive shall be complete and open to the public from 83rd Street to Prairie Star Parkway.



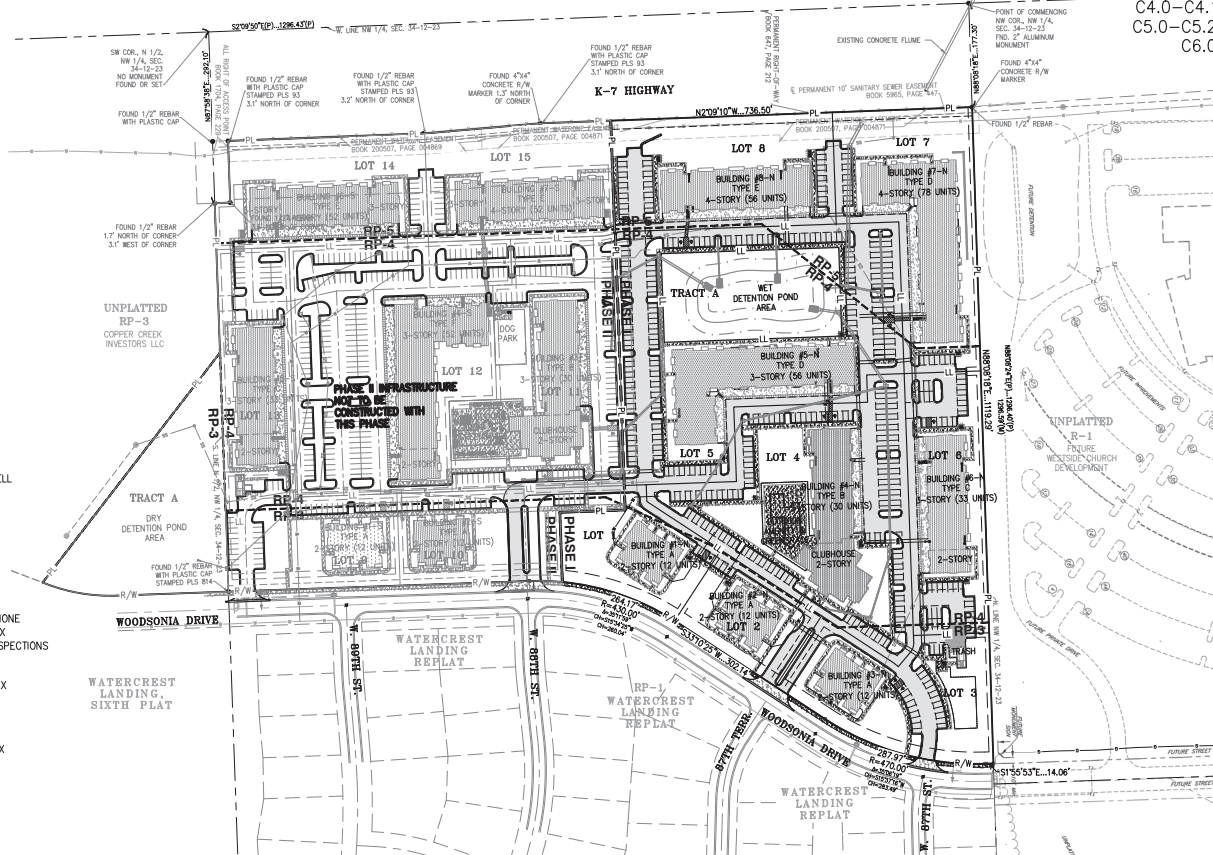
Data Source: City of Lenexa and Johnson County Kansas
 For further information, please call 913-477-7500

Reserve at Copper Creek



FINAL DEVELOPMENT PLANS FOR THE RESERVE AT COPPER CREEK – PHASE I IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS

INDEX	
C0.0	COVER SHEET
C1.0	SITE PLAN OVERALL
C1.1-C1.2	SITE PLAN ENLARGEMENTS
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C1.5	FIRE PROTECTION PLAN
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
C4.0-C4.1	DRAINAGE MAP
C5.0-C5.2	STORM SEWER PLAN & PROFILE
C6.0	DETENTION PLAN



- UTILITY COMPANIES:**
- | | |
|---|--|
| KANSAS GAS SERVICE – ONEOK
BRANDON MARSHALL
ENGINEER I – PIPING SYSTEMS/
ENGINEERING SERVICES | (913) 599-8978
(913) 205-7240-CELL |
| EVERGY
MR. JIM ROE
(JIM.ROE@EVERGY.COM)
16215 W. 108TH ST.
LENEXA, KS 66219 | (913) 894-3068 |
| JOHNSON COUNTY WASTEWATER
11811 S. SUNSET DRIVE, SUITE 2500
OLATHE, KANSAS 66061 | (913) 715-8500-PHONE
(913) 715-8501-FAX
(913) 715-8520-INSPECTIONS |
| WATER DISTRICT #1 OF JOHNSON COUNTY
ELIZABETH MALONEY (EMALONEY@WATERONE.ORG)
10747 RENNER BLVD.
LENEXA, KANSAS 66219 | (913) 895-5764
(913) 895-1827-FAX |
| SPECTRUM
MR. GREG THOMAS (greg.thomas@charter.com)
3221 W. 119TH STREET
OVERLAND PARK, KANSAS 66213 | (913) 451-5858
(913) 451-7652 FAX |
| CONSOLIDATED COMMUNICATIONS
MELISSA STRINGER (MELISSA.STRINGER@CONSOLIDATED.COM)
14059 W. 95TH STREET
LENEXA, KS 66215 | (913) 322-9622 |
| GOOGLE FIBER
MS. TERESA ERB (TERESA.ERB@GOOGLE.COM)
308 BROADWAY BLVD.
KANSAS CITY, MO 66105 | (913) 551-4492 |
| AT&T
MR. CLAYTON ANSPAUGH (c04089@att.com)
9444 HALL AVENUE
OVERLAND PARK, KANSAS 66207 | (913) 383-4929
(913) 383-4849 FAX |

LEGAL DESCRIPTION:

All that part of the Northeast Quarter of Section 34, Township 12 South, Range 23 East, in the City of Lenexa, Johnson County, Kansas, being more particularly described by Phelps Engineering, Inc., on January 28, 2024, for project 250004, as follows:

Commencing at the Northwest corner of the Northeast Quarter of said Section 34; thence N 88°09'18" E, along the North line of the Northeast Quarter of said Section 34, a distance of 173.30 feet, to a point on the East Right-of-Way line of K-7 Highway, as now established, said point also being the Point of Beginning; thence continuing along said North line of said Northeast Quarter of said Section 34, S 88°26'19" E, a distance of 119.29 feet, to a point on the Westery Right-of-Way line of Woodsonia, as now established; thence Southerly along said Westery Right-of-Way line for the following four (4) courses: thence S 15°02'31" E, a distance of 143.66 feet; thence Southerly on a curve to the right, said curve being tangent to the last described course and having a radius of 476.00 feet, an arc distance of 287.97 feet; thence S 33°02'25" W, a distance of 302.14 feet; thence Southerly on a curve to the left, said curve being tangent to the last described course and having a radius of 483.00 feet, an arc distance of 288.49 feet; thence S 87°58'28" W, a distance of 118.63 feet; thence N 2°01'32" E, a distance of 111.24 feet; thence S 87°58'28" W, a distance of 663.90 feet, to a point on the East Right-of-Way line of said K-7 Highway; thence N 2°00'07" W, along said East Right-of-Way line of said K-7 Highway, a distance of 615.72 feet, to the Point of Beginning, containing 627,864 square feet or 14,414.47 acres, more or less, of unplatted land.

GROSS AREA = 414.4147 ACRES / 4627,964 SQ.FT.

BENCHMARK:

VERTICAL DATUM = NAVD83 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK.
1. JOHNSON COUNTY BENCH MARK NO. 289:
TRAVELING WEST ON 90TH STREET FROM I-35 APPROX. 6.5 MILES TO BRIDGE OVER HWY 7. MONUMENT IS SET ON TOP OF CONCRETE CURB WALL ON THE SE CORNER ON BRIDGE.
ELEVATION = 1001.55

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LENEXA, COMMUNITY NO. 200168, JOHNSON COUNTY, KANSAS, MAP NO. 2009IC0032G, AND DATED AUGUST 3, 2009.

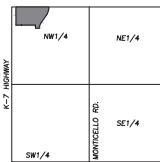
PREPARED & SUBMITTED BY: OWNER/DEVELOPER:

PHelps ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KS 66061
913-393-1155 OFFICE
913-393-1166 FAX
CONTACT: JUDD CLAUSEN, P.E.

OAK IO INVESTMENTS LLC
4050 PENNSYLVANIA AVE.
SUITE 115 #512
KANSAS CITY, MO 64111
ATTN: AARON LEATHERDALE
EMAIL: AARON@OAKIO.COM

LEGEND

--- PL	PROPERTY LINE
---	LOT LINE
---	RIGHT-OF-WAY
▤	STANDARD DUTY ASPHALT PAVEMENT
▥	HEAVY DUTY ASPHALT PAVEMENT
▧	CONCRETE PAVEMENT
▨	CONCRETE SIDEWALK
▩	PROPOSED BUILDING
-.-.-	ZONING LINE
-.-.-	PRICING LINE



VICINITY MAP
SEC. 34-12-23



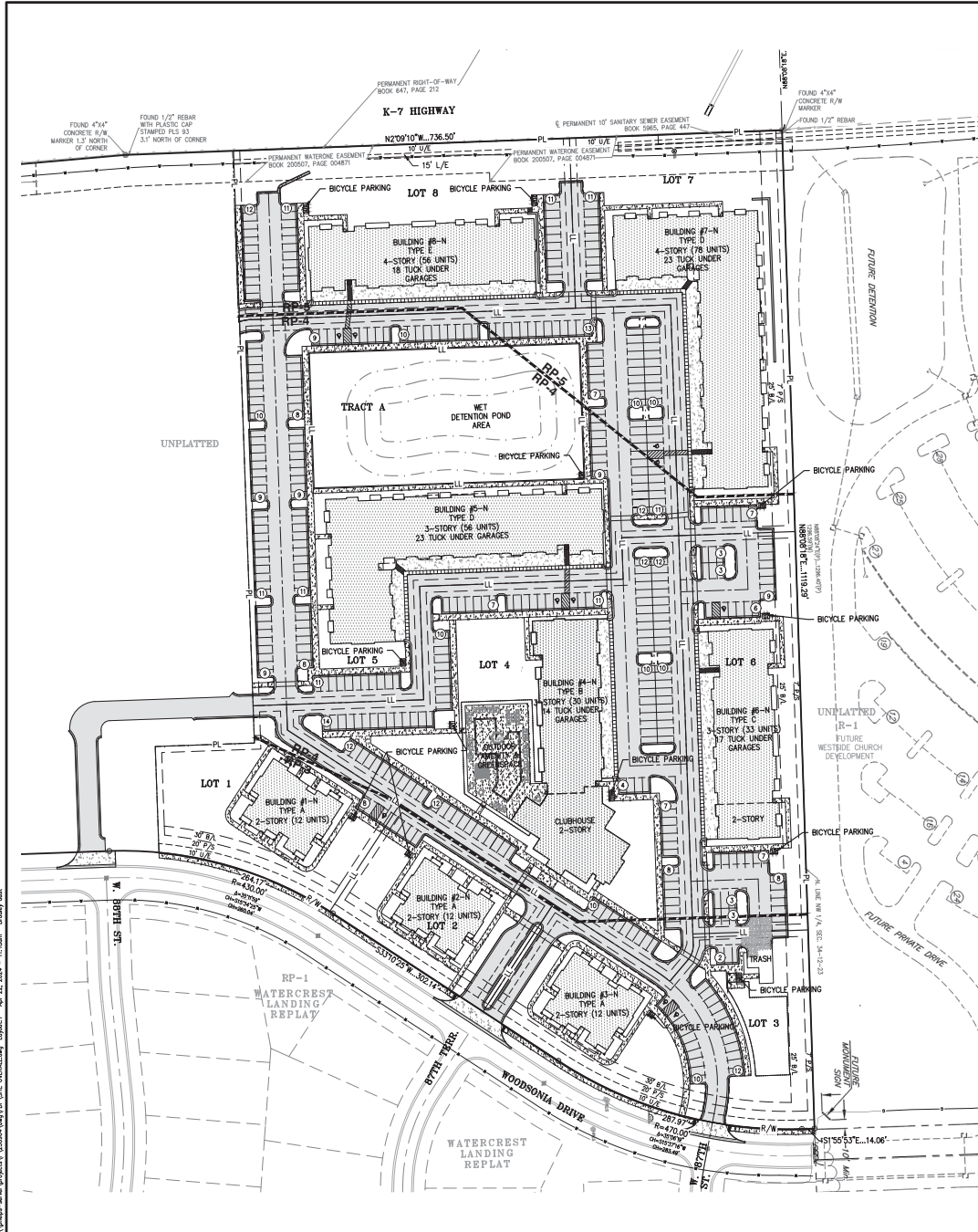
SCALE: 1" = 100'

COVER SHEET
THE RESERVE AT COPPER CREEK – PHASE I
LENEXA, KANSAS

PROJECT NO. 250004
DATE 12-22-2024
DRAWN BY JUDITH CLAUSEN
CHECKED BY JUDITH CLAUSEN
DATE 12-22-2024

BY MR. JUDITH CLAUSEN
REVISEMENTS
CITY COMMENTS

SHEET
C0.0



LEGAL DESCRIPTION:

All that part of the Northwest Quarter of Section 34, Township 12 South, Range 23 East, in the City of Lenexa, Johnson County, Kansas, being more particularly described by Phelps Engineering, Inc., on January 28, 2024, for project 230904, as follows:
 Commencing at the Northwest corner of said Section 34, thence N 89°08'18" E, along the North line of the Northwest Quarter of said Section 34, a distance of 177.50 feet, to a point on the East Right-of-Way line of K-7 Highway, as now established, said point also being the Point of Beginning; thence continuing along said North line, of said Northwest Quarter of said Section 34, N 89°08'18" E, a distance of 119.29 feet, to a point on the Westery Right-of-Way line of Woodsonia, as now established; thence Southerly along said Westery Right-of-Way line for the following four (4) courses: thence S 1°55'37" E, a distance of 14.06 feet; thence Southerly on a curve to the right, said curve being tangent to the last described course and having a radius of 470.50 feet, an arc distance of 287.57 feet; thence S 3°17'03" W, a distance of 352.14 feet; thence Southerly on a curve to the left, said curve being tangent to the last described course and having a radius of 430.00 feet, an arc distance of 208.45 feet; thence S 8°58'28" W, a distance of 118.83 feet; thence N 2°01'52" W, a distance of 111.24 feet; thence S 8°58'28" W, a distance of 68.58 feet, to a point on the East Right-of-Way line of said K-7 Highway; thence N 2°09'10" W, along said East Right-of-Way line of said K-7 Highway, a distance of 615.37 feet, to the Point of Beginning, containing 627,904 square feet or 14,417 acres, more or less, of unplatted land.
GROSS AREA = 214.417 ACRES / 9,827,904 SQ.FT.

FLOOD NOTE:

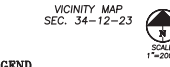
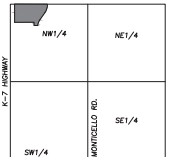
THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LENEXA, COMMUNITY NO. 200165, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0032G, AND DATED AUGUST 3, 2009.

PREPARED & SUBMITTED BY:

PHELPS ENGINEERING, INC.
 1270 N. WINGHESTER
 OLATHE, KS 66061
 913-393-1155 OFFICE
 913-393-1166 FAX
 CONTACT: JUDO CLAUSSEN, P.E.

OWNER/DEVELOPER:

OAK IQ INVESTMENTS LLC
 4050 PENNSYLVANIA AVE.
 SUITE 115, 6332
 KANSAS CITY, MO 64111
 ATTN: AARON LEATHERDALE
 EMAIL: AARON@OAKIQ.COM



PARKING DATA		PHASE I
Total Units		(Apartments) 289
Studio		17
1 Bedroom		154
2 Bedroom		118
Standard Parking Provided		432
Garage Parking Provided		92
Driveway Parking Provided		0
Handicap Parking Spaces Provided (Standard)		50
Handicap Parking Spaces Provided (Garage)		3
Total Parking Provided		537
Number of Parking Spaces per Unit Provided		1.9
Number of Parking Spaces per Unit Required		
Studio (1.00 spaces/unit + 0.25 guest spaces/unit)		17
1 Bedroom (1.50 spaces/unit + 0.25 guest spaces/unit)		231
2 Bedroom (1.75 spaces/unit + 0.25 guest spaces/unit)		207
Guest Spaces (.25 Per Unit)		72
Total Parking Required		527
Handicap Parking Spaces Required		11
Bicycle Parking		
Required		58
Provided		60

SITE DATA		PHASE I
SITE AREA	652,282 S.F. /	14.97 AC.
RP-5	166,790 S.F. /	3.83 AC.
RP-4	130,818 S.F. /	3.00 AC.
RP-3 (NET)	130,818 S.F. /	3.00 AC.
RP-3 (WOODSONIA R/W)	24,377 S.F. /	0.56 AC.
RP-3 (GROSS)	155,195 S.F. /	3.56 AC.
DWELLING UNITS		
RP-5		134
RP-4		119
RP-3		36
ZONING		
	RP-3/RP-4/RP-5	
DENSITY - UNITS PER ACRE	19 UNITS/AC	
RP-5	35 UNITS/AC	
RP-4	16 UNITS/AC	
RP-3	10 UNITS/AC	
DENSITY (MAX. PER ACRE RP-5)	36 UNITS/AC	
DENSITY (MAX. PER ACRE RP-4)	16 UNITS/AC	
DENSITY (MAX. PER ACRE RP-3)	12 UNITS/AC	

- LEGEND**
- PL — PROPERTY LINE
 - LL — LOT LINE
 - R/W — RIGHT-OF-WAY
 - STANDARD DUTY ASPHALT PAVEMENT
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - CONCRETE SIDEWALK
 - PROPOSED BUILDING
 - B/L — BUILDING SETBACK LINE
 - P/S — PARKING SETBACK LINE

PHASE I
 THE RESERVE AT COPPER CREEK - PHASE I
 LENEXA, KANSAS

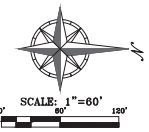


SITE PLAN OVERALL
 THE RESERVE AT COPPER CREEK - PHASE I
 LENEXA, KANSAS

PROJECT NO.	230904	DATE	11/27/2024
BY	JUD CL	DATE	11/27/2024
CITY COMMENTS			
DATE OF APPROVAL			
APPROVED BY			
DATE OF APPROVAL			
APPROVED BY			

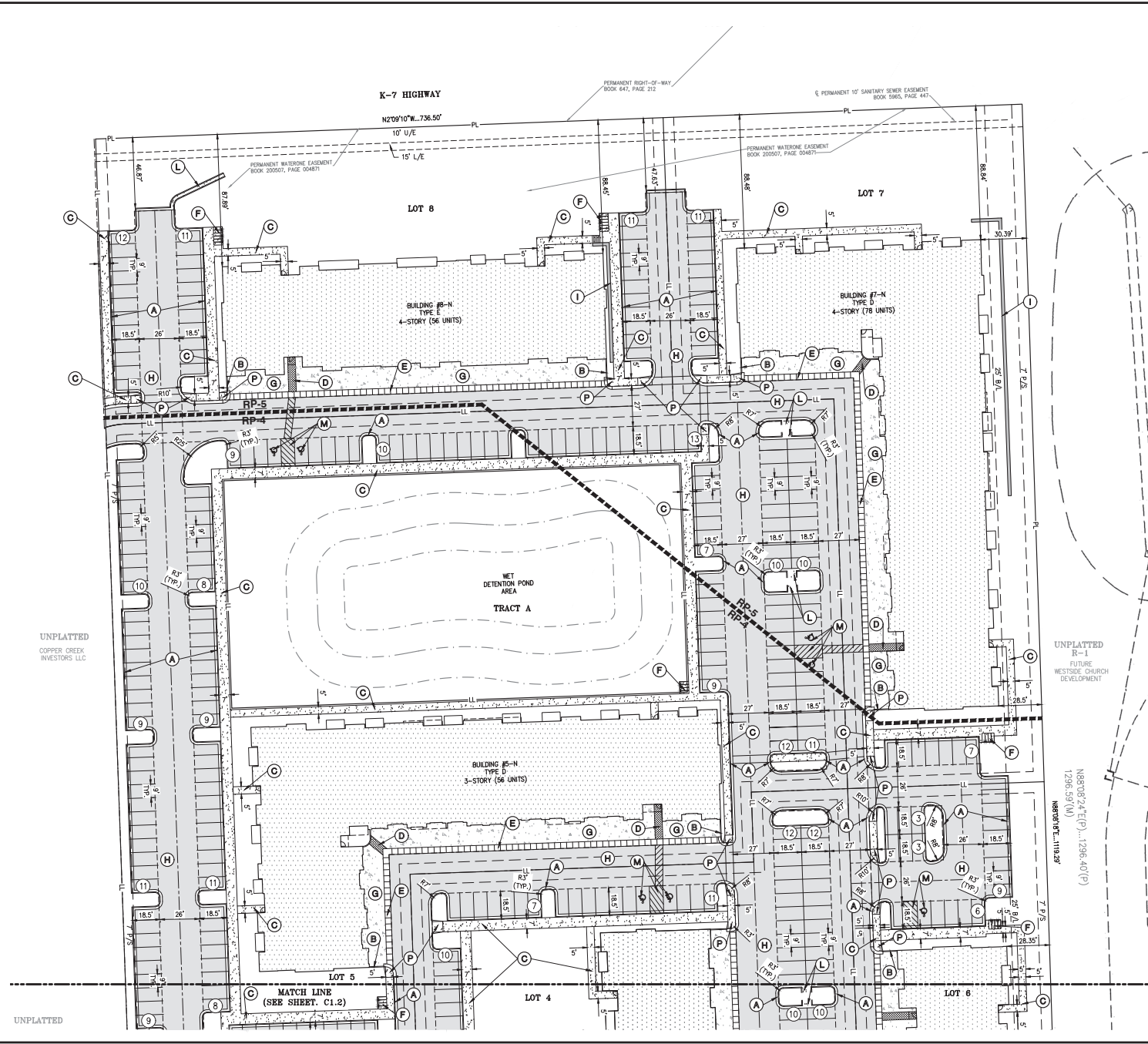


UTILITY NOTES:
 VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
 UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



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SITE KEY NOTES:

- (A) CONSTRUCT 2" CURB & GUTTER (TYPICAL).
- (B) CONSTRUCT 6" CURB (TYPICAL).
- (C) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (D) CONSTRUCT COLORED & STAMPED CONCRETE PAVEMENT PEDESTRIAN PATH.
- (E) CONSTRUCT SCORED CONCRETE PAVEMENT PEDESTRIAN PATH.
- (F) INSTALL BIKE RACKS W/ CONC. PAD (RE: ARCH. PLANS).
- (G) CONSTRUCT CONCRETE PAVEMENT.
- (H) INSTALL STANDARD DUTY ASPHALT PAVEMENT.
- (I) CONSTRUCT REINFORCED RETAINING WALL W/ HANDRAIL AT ALL LOCATIONS WHERE WALL EXCEEDS 30" IN HEIGHT.
- (J) CONSTRUCT COMMERCIAL CONCRETE ENTRANCE PER CITY STD DETAIL.
- (K) CONSTRUCT PUBLIC CONCRETE SIDEWALK PER CITY STD DETAIL.
- (L) CONSTRUCT CONCRETE GUTTER FLUME.
- (M) CONSTRUCT ACCESSIBLE PARKING SPACE. INSTALL MARKINGS & PARKING SIGN PER STD. DETAIL.
- (N) INSTALL FENCE (RE: ARCH. PLANS).
- (P) INSTALL PUBLIC SIDEWALK RAMP.
- (D) INSTALL PRIVATE SIDEWALK RAMP.

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- - - R/W - - - RIGHT-OF-WAY
- S/D — STANDARD DUTY ASPHALT PAVEMENT
- H/D — HEAVY DUTY ASPHALT PAVEMENT
- C/P — CONCRETE PAVEMENT
- C/S — CONCRETE SIDEWALK
- P/B — PROPOSED BUILDING
- Z/L — ZONING LINE
- B/L — BUILDING SETBACK LINE
- P/S — PARKING SETBACK LINE



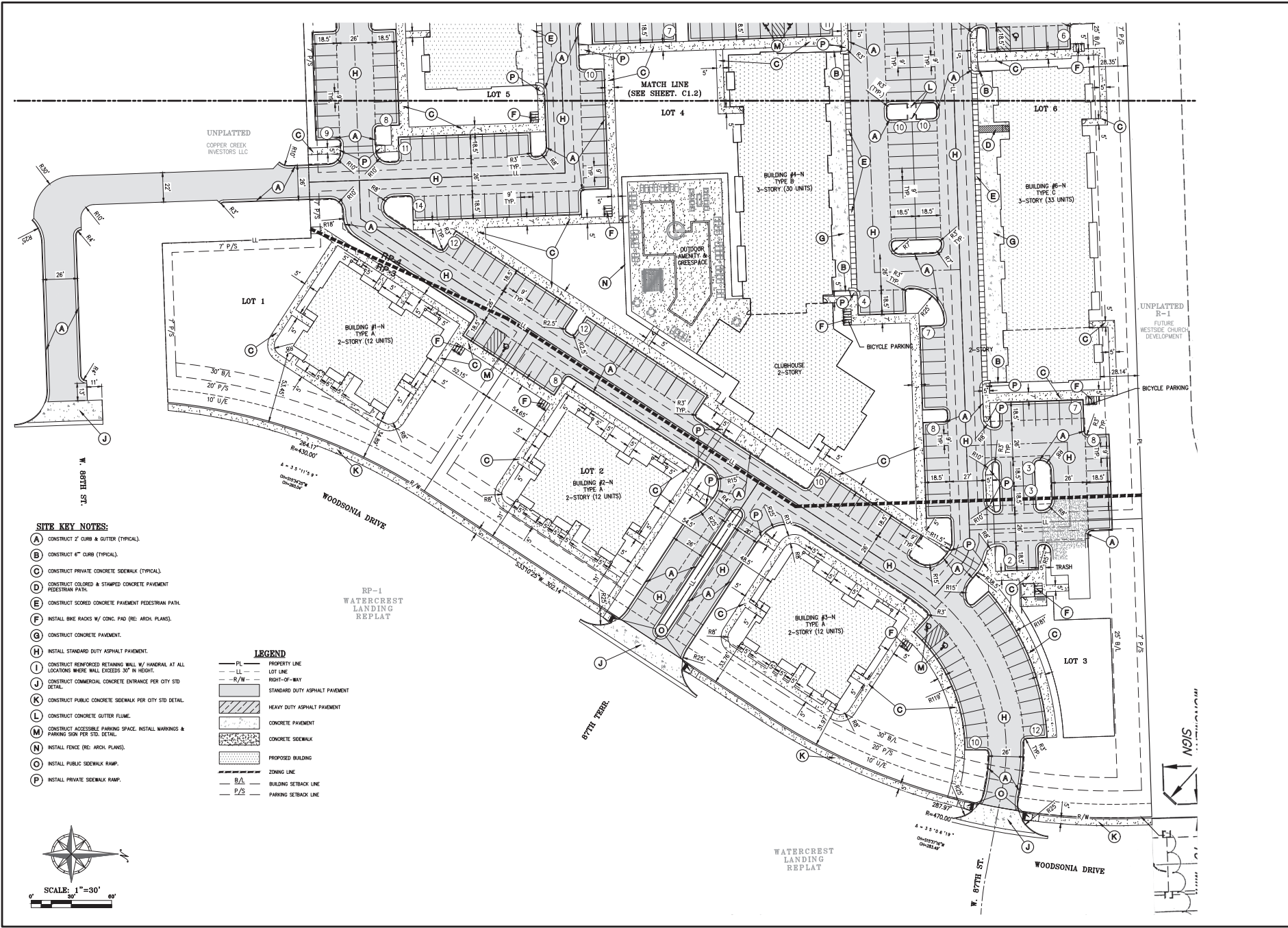
SITE PLAN ENLARGEMENT
 THE RESERVE AT COPPER CREEK — PHASE I
 LENEXA, KANSAS

PROJECT NO.	DATE	BY	REVISION
230504	11/22/23	BAJ/ESL	
CHECKED BY APPROVED DATE OF APPROVAL DRAWN BY APPROVED DATE OF APPROVAL			



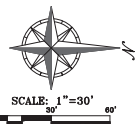
SCALE: 1"=30'

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- SITE KEY NOTES:**
- (A) CONSTRUCT 2" CURB & GUTTER (TYPICAL).
 - (B) CONSTRUCT 6" CURB (TYPICAL).
 - (C) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
 - (D) CONSTRUCT COLORED & STAMPED CONCRETE PAVEMENT PEDESTRIAN PATH.
 - (E) CONSTRUCT SCORED CONCRETE PAVEMENT PEDESTRIAN PATH.
 - (F) INSTALL BIKE RACKS W/ CONC. PAD (RE: ARCH. PLANS).
 - (G) CONSTRUCT CONCRETE PAVEMENT.
 - (H) INSTALL STANDARD DUTY ASPHALT PAVEMENT.
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 - (J) CONSTRUCT COMMERCIAL CONCRETE ENTRANCE PER CITY STD DETAIL.
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 - (L) CONSTRUCT CONCRETE GUTTER FLUME.
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 - (P) INSTALL PRIVATE SIDEWALK RAMP.

- LEGEND**
- PL — PROPERTY LINE
 - LL — LOT LINE
 - R/W — RIGHT-OF-WAY
 - — — STANDARD DUTY ASPHALT PAVEMENT
 - — — HEAVY DUTY ASPHALT PAVEMENT
 - — — CONCRETE PAVEMENT
 - — — CONCRETE SIDEWALK
 - — — PROPOSED BUILDING
 - — — ZONING LINE
 - B/L — BUILDING SETBACK LINE
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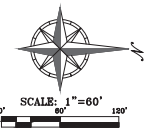
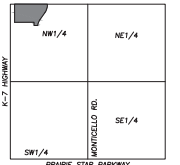
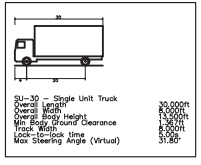
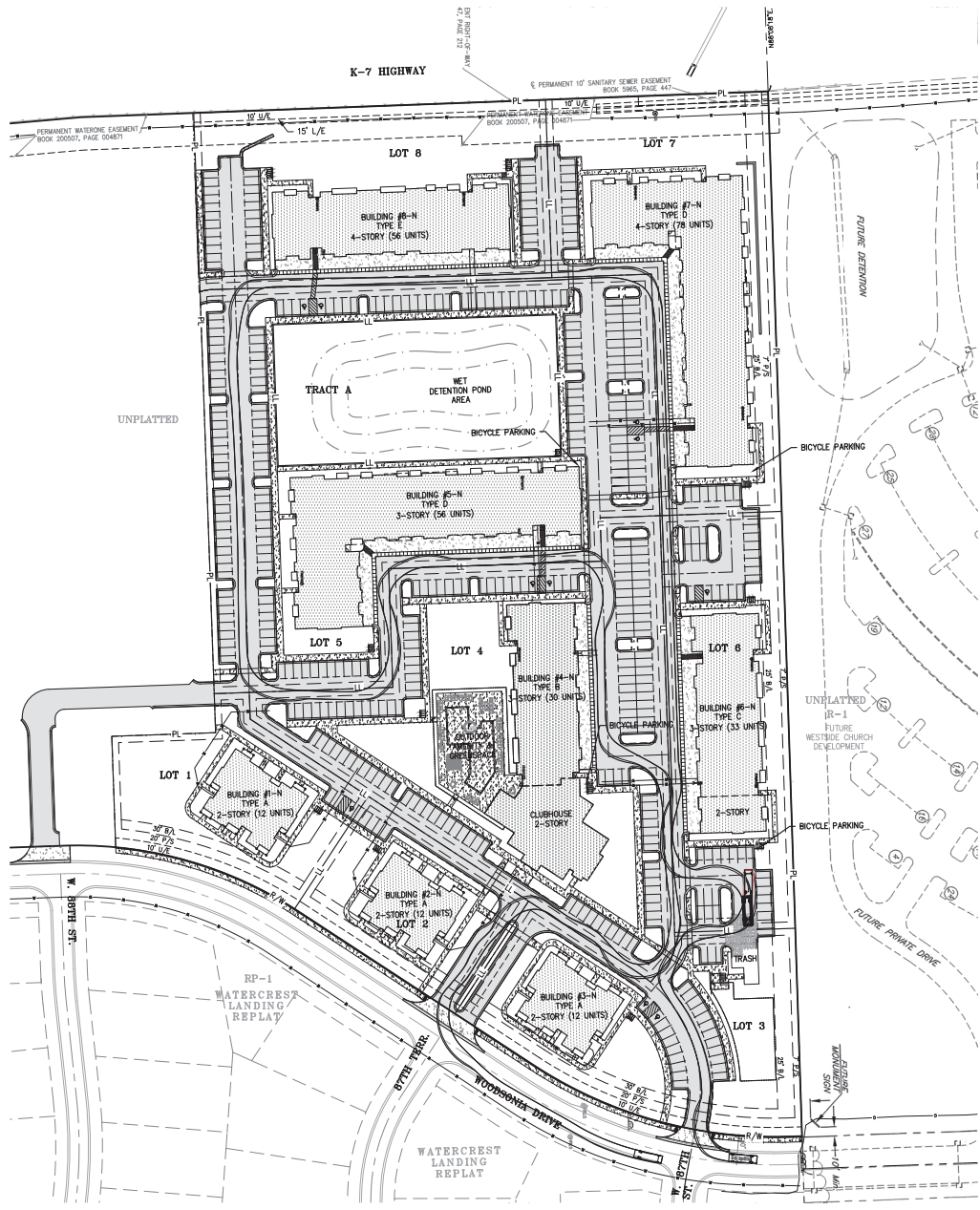


Architect: **PH**
 Planning & Architecture
 1000 N. Westside
 Lenexa, Kansas 66157
 Phone: 781-388-8888
 Fax: 781-388-8889
 www.pharchitect.com



SITE PLAN ENLARGEMENT
 THE RESERVE AT COPPER CREEK — PHASE I
 LENEXA, KANSAS

PROJECT NO.	230504	DATE	11/07/23
BY	MS	DATE	11/07/23
REVISIONS			
NO.		DESCRIPTION	
1		CITY COMMENTS	
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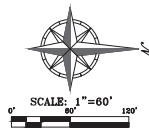
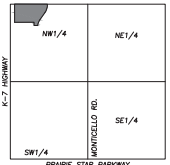
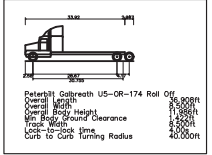
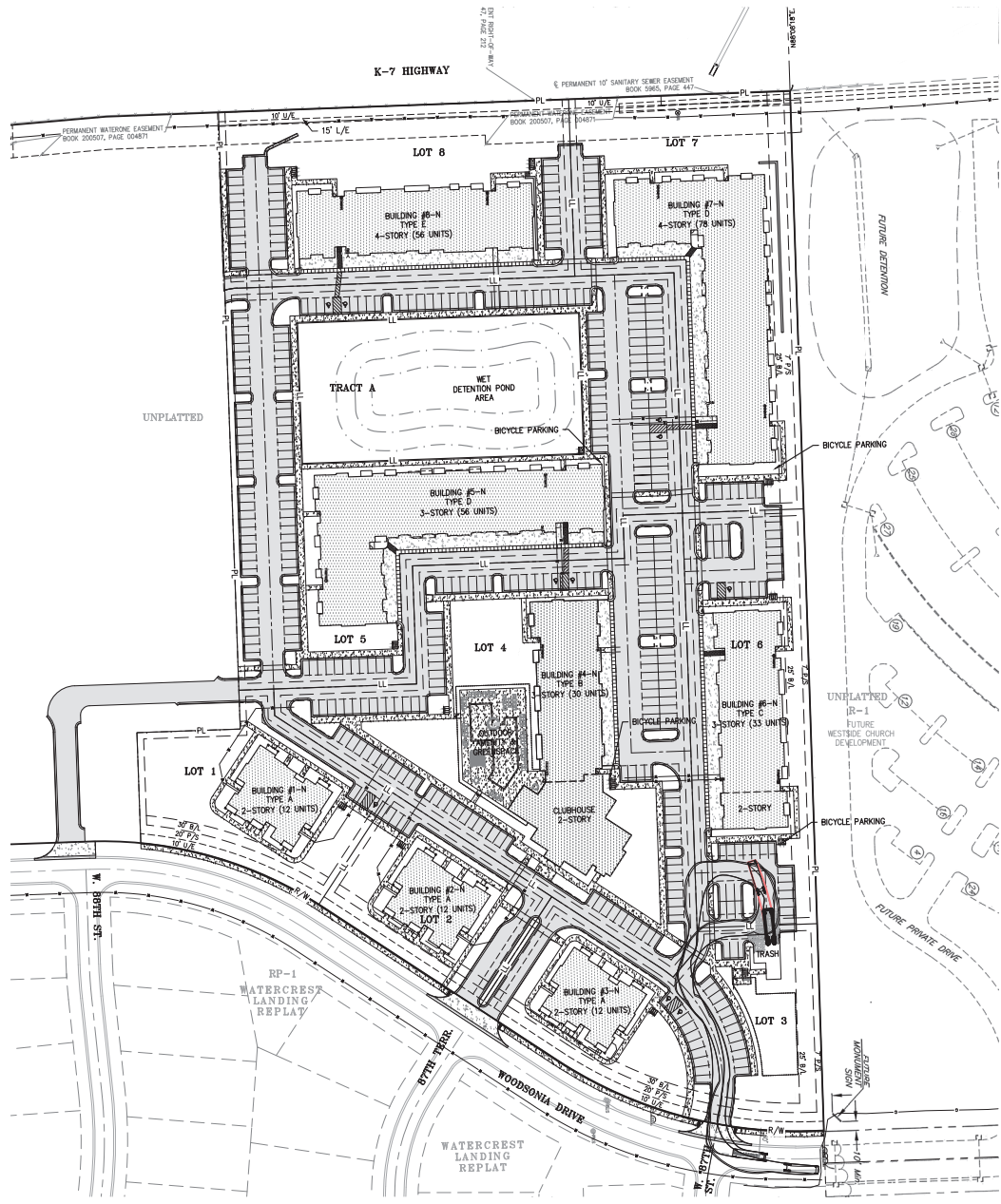
Planning Consultants, Inc.
 1001 N. Westside
 Lenexa, Kansas 66157
 Phone: 781-333-3333
 Fax: 781-333-3334
 www.planninginc.com



TRUCK TURN PLAN
 THE RESERVE AT COPPER CREEK - PHASE I
 LENEXA, KANSAS

PROJECT NO.	NO.	DATE	BY	REVISIONS
230504	1	07-27-2024	BAJ/ESL	CITY COMMENTS
CHAIRMAN OF APPLICANT CHAIRMAN OF APPLICANT CHAIRMAN OF APPLICANT				

SHEET
C1.3



Prepared by: Galbreath US-OR-174 Roll Off
 Overall Length: 36'0"
 Overall Body Height: 10'0"
 Front Body Ground Clearance: 10'0"
 Load-bearing time: 400000
 Curb to Curb turning Radius: 400000

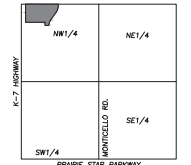
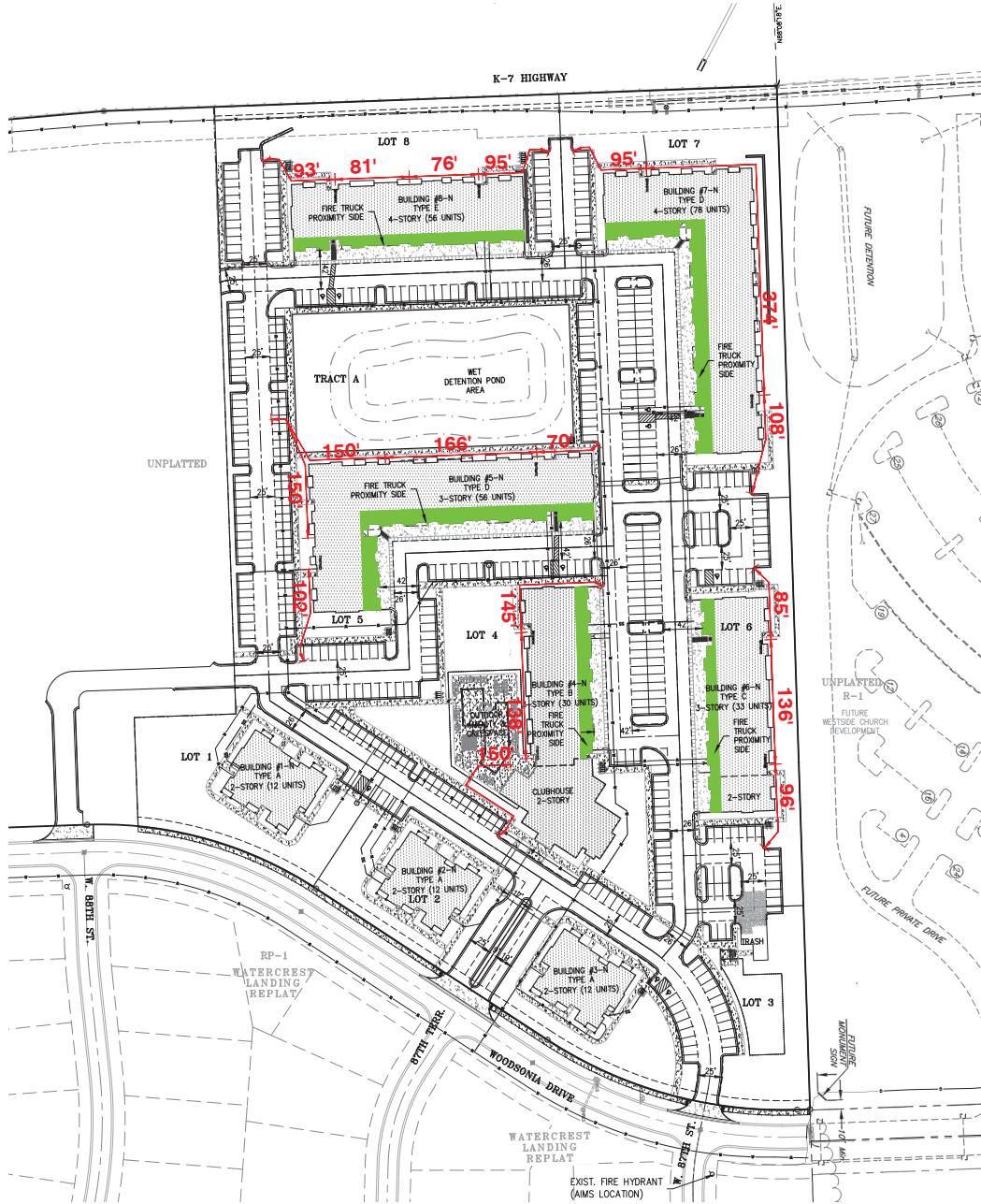


TRUCK TURN PLAN
 THE RESERVE AT COPPER CREEK - PHASE I
 LENEXA, KANSAS

PROJECT NO.	NO.	DATE	BY	REVISIONS
22006	1	02-22-2024	BAJ/ESL	CITY COMMENTS
22006	2	02-22-2024	BAJ/ESL	
22006	3	02-22-2024	BAJ/ESL	
22006	4	02-22-2024	BAJ/ESL	
22006	5	02-22-2024	BAJ/ESL	
22006	6	02-22-2024	BAJ/ESL	
22006	7	02-22-2024	BAJ/ESL	
22006	8	02-22-2024	BAJ/ESL	
22006	9	02-22-2024	BAJ/ESL	
22006	10	02-22-2024	BAJ/ESL	
22006	11	02-22-2024	BAJ/ESL	
22006	12	02-22-2024	BAJ/ESL	
22006	13	02-22-2024	BAJ/ESL	
22006	14	02-22-2024	BAJ/ESL	
22006	15	02-22-2024	BAJ/ESL	
22006	16	02-22-2024	BAJ/ESL	
22006	17	02-22-2024	BAJ/ESL	
22006	18	02-22-2024	BAJ/ESL	
22006	19	02-22-2024	BAJ/ESL	
22006	20	02-22-2024	BAJ/ESL	

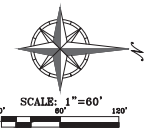
SHEET
C1.4

\\p0101-wm\project\132004\p0101\FIRE PROTECTION PLAN.dwg User: JLT Apr 22, 2024 - 11:20am - 2024.dwg



- LEGEND:**
- PL — PROPERTY LINE
 - L — LOT LINE
 - R/W — RIGHT-OF-WAY
 - H/R — HOSE REACH
 - H — FIRE HYDRANT
 - F — FIRE TRUCK PROXIMITY SIDE
 - P — PHASING LINE

GENERAL NOTE:
ALL DIMENSIONS FROM CURB ARE TO THE FACE OF CURB.



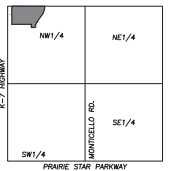
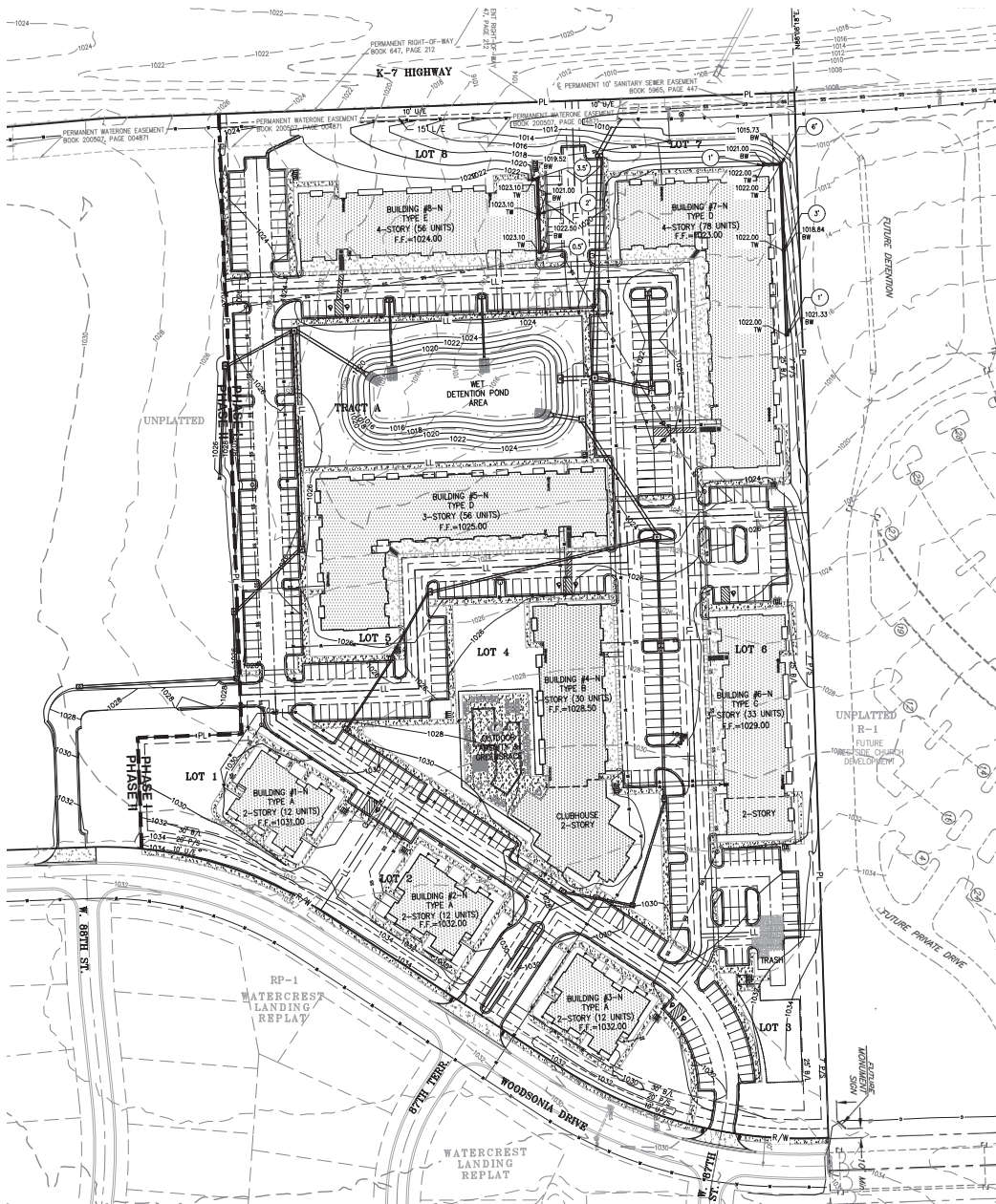
Professional Services, Inc.
1111 N. Washington
Lenexa, Kansas 66157
Tel: 913.341.9900
Fax: 913.341.9901
www.ppi-engineers.com



FIRE PROTECTION PLAN
THE RESERVE AT COPPER CREEK — PHASE I
LENEXA, KANSAS

PROJECT NO.	NO.	DATE	BY	CHKD.	REVISIONS
232004	1	07-22-2024	BAJ	BAJ	CITY COMMENTS
CHECKED BY APPROVED (S) _____ DATE OF APPROVAL _____ CHECKED BY APPROVED (S) _____ DATE OF APPROVAL _____					

SHEET
C1.5



VICINITY MAP
SEC. 34-12-23

LEGEND

— PL	PROPERTY LINE
— LL	LOT LINE
— R/W	RIGHT-OF-WAY
— C/G & O	2' CURB & GUTTER
— 202	EXISTING CONTOURS
— 102	PROPOSED CONTOURS
— 912	PROPOSED STORM SEWER
— 910	PROPOSED STORM PUMP
— 911	PROPOSED RETAINING WALL
— PH	PHASING LINE

SITE GRADING NOTES:

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate finish grade. Contractor shall have surveys to show for pavement and sub-base thickness.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 4 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fill.
- TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. As completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visibly inspected and accepted by the owner and fill.
- Contractor shall adjust and/or cut existing pavement as necessary to ensure a smooth fit and continuous grade. Contractor shall ensure positive drainage away from buildings for all natural and paved areas.
- SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
- PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. All areas of retained subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be reconstructed shall be over-excavated and replaced with controlled structure fill.
- EARTHWORK:
 - A) GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Solid report and its recommendations are hereby incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - B) SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - C) FILL: All fill shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than one foot, building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - D) BUILDING SUBGRADE: As specified in the Geotechnical Engineering report, the upper section of building subgrade shall consist of low volume Chapter 152 material tested or approved, compacted greater fill to be moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of composite granular materials with a maximum particle size of less than 1/2 inch or less, such as limestone screenings, under geotechnical approval.
 - E) EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be bench graded to a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the construction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose fill measurement), unless otherwise approved by the Geotechnical Engineer.
 - F) COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety percent (90%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be a range of 2% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within the range until completion of the work. Where compaction of earth fill by a tamper roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 4" from finish floor and slope away another 4" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- TESTING AND INSPECTION: Owner's independent Testing Laboratory (T/L) shall make tests of materials during construction and observe the placement of fill and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The T/L will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavations.
- PERMANENT RESTORATION: All areas disturbed by earthwork operations shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate of existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state NPDES permit for storm water discharge associated with construction activities. Refer to project S.B.P.P.S. requirements.

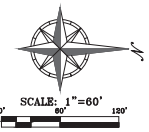
BENCHMARK:

VERTICAL DATUM = NAVD83 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK
 1. JOHNSON COUNTY BENCH MARK NO. 289:
 TRAVELING WEST ON 95TH STREET FROM I-35 APPROX. 6.5 MILES TO BRIDGE OVER HWY 7. MONUMENT IS SET ON TOP OF CONCRETE GUARD RAIL ON THE SE CORNER ON BRIDGE.
 ELEVATION = 1001.55

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LENEXA, COMMUNITY NO. 220185, JOHNSON COUNTY, KANSAS, MAP NO. 2009IC0032G, AND DATED AUGUST 3, 2009.

UTILITY NOTES:
 VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



Prepared by: Brady Galt
 Checked by: [Signature]
 Date: 04/22/2024
 Website: www.bradygalt.com



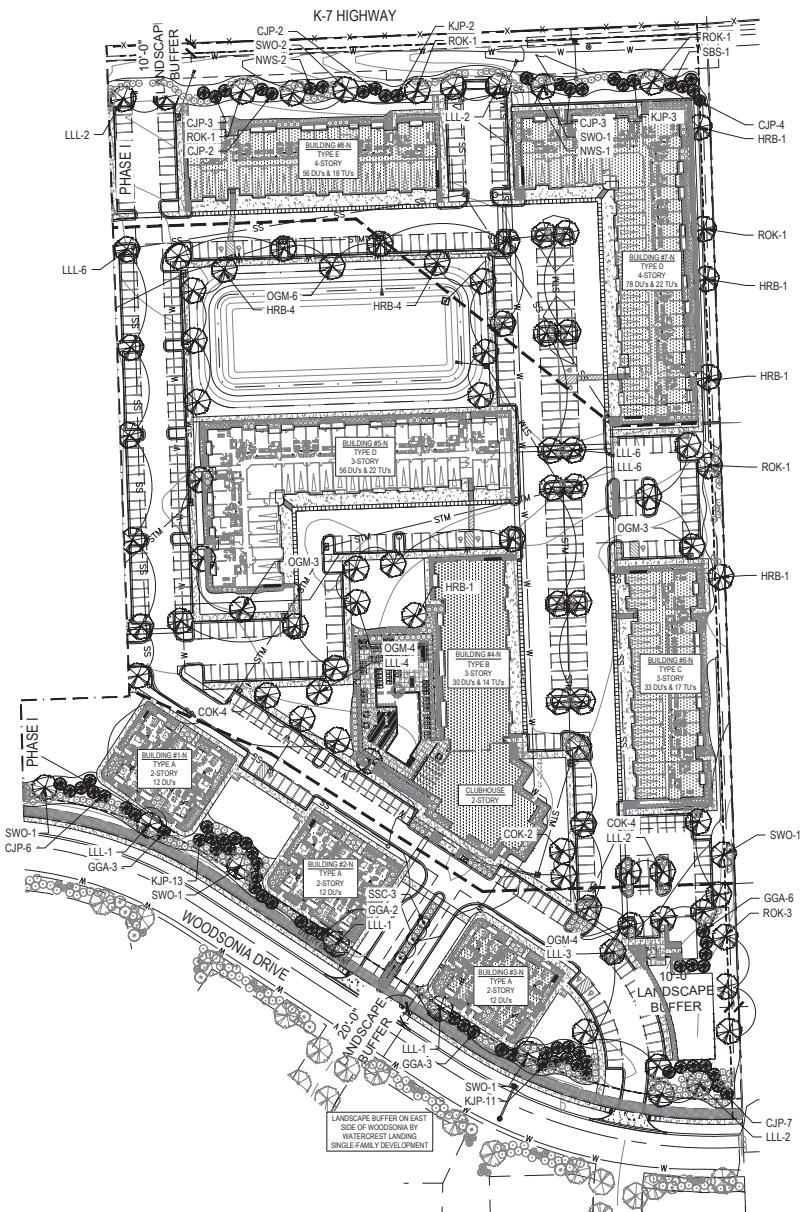
GRADING PLAN
 THE RESERVE AT COPPER CREEK - PHASE I
 LENEXA, KANSAS

PROJECT NO.	230504
DATE	11/22/2023
BY	Brady Galt
CITY COMMENTS	
DATE	
BY	
DATE	
BY	
DATE	
BY	
DATE	
BY	
DATE	

SHEET
 C2.0

GENERAL NOTES:

- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - CREeping GROUNDcover SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- REFER TO L1.00 SERIES SHEETS FOR TREE PLANTINGS.
- REFER TO L2.00 SERIES SHEETS FOR SHRUB PLANTINGS & ROCK MATERIALS.
- REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.
- IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN. ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION. THESE TREES SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 8" BELOW ROOT BALLS/BOTTOM OF CONTAINER. REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
- ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL TO BE SOD. SOD TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
- STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SENC0 MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE, 2-3" THICK.



PRELIMINARY TREE PLANTING PLAN - PHASE I
1" = 80'-0"

PLANT LIST:

Code	Common Name	Botanical Name	Size	Notes
Overstory Trees				
COK	Columnar Crimson Spire Oak	Quercus alba x Q. Inber 'Crimsonchief'	2' cal	B&B
HRB	Heritage River Birch	Betula nigra 'Heritage'	2' cal	B&B
LLL	Greenleaf Linden	Tilia cordata 'Greenleaf'	2' cal	B&B
OGM	October Glory Red Maple	Acer rubrum 'October Glory'	2' cal	B&B
ROK	Rock Oak	Quercus alba	2' cal	B&B
SWO	Swamp White Oak	Quercus bicolor	2' cal	B&B
Evergreen Trees				
GRS	Colorado Blue Spruce	Picea pungens 'Specter'	8-10' H	B&B
KJP	Kentucky Juniper	Juniperus chinensis 'pfitzenra'	8-10' H	B&B
OGA	Green Giant Arborvitae	Thuja plicata	8-10' H	B&B
KJP	Kentucky Juniper	Juniperus chinensis 'Specter'	8-10' H	B&B
HRB	Heritage River Birch	Betula nigra 'Heritage'	8-10' H	B&B
SBS	Swamp Spruce	Picea canadensis	8-10' H	B&B
Ornamental Trees				
HRB	Heritage River Birch	Betula nigra 'Heritage'	6' H	B&B
SSM	Spring Snow Crabapple	Malus 'Spring Snow'	6' H	B&B
SSC	Spring Snow Crabapple	Malus 'Spring Snow'	6' H	B&B
PRC	Prunella Crabapple	Malus x 'Prunella'	6' H	B&B
WSD	Wildflower	Corea canadensis 'White Bluff'	6' H	B&B

THE ABOVE PLANT LIST IS A RANGE OF POTENTIAL PLANT MATERIAL AND IS SUBJECT TO CHANGE. MINIMUM SHRUBS REQUIRED FOR PERIMETER AND BUFFER LANDSCAPE REQUIREMENTS. MINIMUM AREA REQUIRED TO MEET INTERIOR LANDSCAPING OF PARKING LOTS AREA REQUIREMENTS. FOUNDATION PLANTINGS BEYOND MIN. REQ.

PHASE I - LANDSCAPE REQUIREMENTS (LENEXA)

- PERIMETER PLANTINGS (4-1-D-2-L):
- WEST PROPERTY LINE - ADJACENT TO FREEWAY (K-7) = +/-800 L.F. REFER TO LAND USE BUFFER REQUIREMENTS.
 - EAST PROPERTY LINE - ADJACENT TO COLLECTOR (WOODSONIA DRIVE) = +/-812 L.F. REFER TO LAND USE BUFFER REQUIREMENTS.
 - NORTH PROPERTY LINE - ALONG LOT LINE = +/-1,119 L.F. REFER TO LAND USE BUFFER REQUIREMENTS.
- INTERNAL PARKING LOT, LANDSCAPED AREAS (4-1-D-2-M):
- 10% OF TOTAL PARKING LOT AREA = 207,956' 10" = 20,796 SF
 - 1 TREE PER 300 SF OF OVERALL LANDSCAPED AREA, WITH AT LEAST 1 TREE PLANTED IN EACH ISLAND. THE REMAINDER OF THE ISLAND SHALL BE LANDSCAPED WITH ADDITIONAL TREES, SHRUBS, GROUND COVER OR TURF. REQUIRED: 20,796 SF / 300 SF = 70 TREES PROVIDED: 70 TREES

- LAND USE BUFFERS (4-1-D-2-N):
- NORTH PROPERTY LINE: +/-1,119 L.F. DUE TO ADJACENT LAND USE, LAND USE BUFFER NOT REQUIRED AS INDICATED IN STAFF REVIEW OF FINAL DEVELOPMENT PLAN APPLICATION. STANDARD PERIMETER PLANTING USED.
 - EAST PROPERTY LINE (LUI 6) = +/-813 L.F. ADJACENT TO RESIDENTIAL = LUI 1 - INTERVENING R.O.W. COLLECTOR STREET - LUI 2 LUI FACTOR DIFFERENCE = 6-1/2 x 3
- | | |
|----------------------------|--------------------|
| REQUIRED: | PROVIDED: |
| 813 L.F. / 100 = 8.13 * 1 | 27 WIDTH |
| 813 L.F. / 100 = 8.13 * 2 | 20' WIDTH MIN. |
| 813 L.F. / 100 = 8.13 * 20 | 8 SHADE TREES MIN. |
| | 49 EVERGREENS MIN. |
| | 163 SHRUBS |
| | 163 SHRUBS MIN. |
- WEST PROPERTY LINE = +/-615 L.F. DUE TO ADJACENT LAND USE, LAND USE BUFFER NOT REQUIRED AS INDICATED IN STAFF REVIEW OF FINAL DEVELOPMENT PLAN APPLICATION. STANDARD PLANTINGS USED.

- PERIMETER PLANTS (4-1-D-2-L)
- NORTH PROPERTY LINE = +/- 1,119 L.F. BUILDING AND OPEN AREA = +/- 883 L.F. / 100 L.F. = 8.83
- | | |
|---------------------|----------------|
| REQUIRED: | PROVIDED: |
| 8.83 X 1 SHADE TREE | 9 SHADE TREES |
| 2.36 X 1 SHADE TREE | 1 SHADE TREE |
| 2.36 X 9 SHRUBS | 21 SHRUBS MIN. |
- PARKING LOT AREA = +/- 236 L.F. / 100 L.F. = +/- 2.36
- | | |
|---------------------|----------------|
| REQUIRED: | PROVIDED: |
| 2.36 X 1 SHADE TREE | 1 SHADE TREE |
| 2.36 X 9 SHRUBS | 21 SHRUBS MIN. |
- WEST PROPERTY LINE (ADJACENT FREEWAY) = +/- 615 L.F. BUILDING AND OPEN AREA = +/- 489 L.F. / 100 L.F. = 4.89
- | | |
|---------------------------|---------------|
| REQUIRED: | PROVIDED: |
| 4.89 X 1 SHADE TREE | 5 SHADE TREES |
| 4.89 X 3 EVERGREENS TREES | 15 EVERGREENS |
| 4.89 X 12 SHRUBS | 59 SHRUBS |
- PARKING LOT AREA = +/- 126 L.F. / 100 L.F. = +/- 1.26
- | | |
|---------------------------|--------------|
| REQUIRED: | PROVIDED: |
| 1.26 X 1 SHADE TREE | 1 SHADE TREE |
| 1.26 X 3 EVERGREENS TREES | 4 EVERGREENS |
| 1.26 X 3 SHRUBS | 4 SHRUBS |

ARCHITECTURE
LANDSCAPE
ENERGY SERVICES

NSPJ

ARCHITECTS INC.
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

A NEW MULTIFAMILY DEVELOPMENT FOR:
**THE RESERVE AT
COPPER CREEK**
W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

REVISIONS

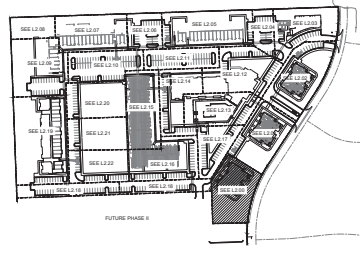
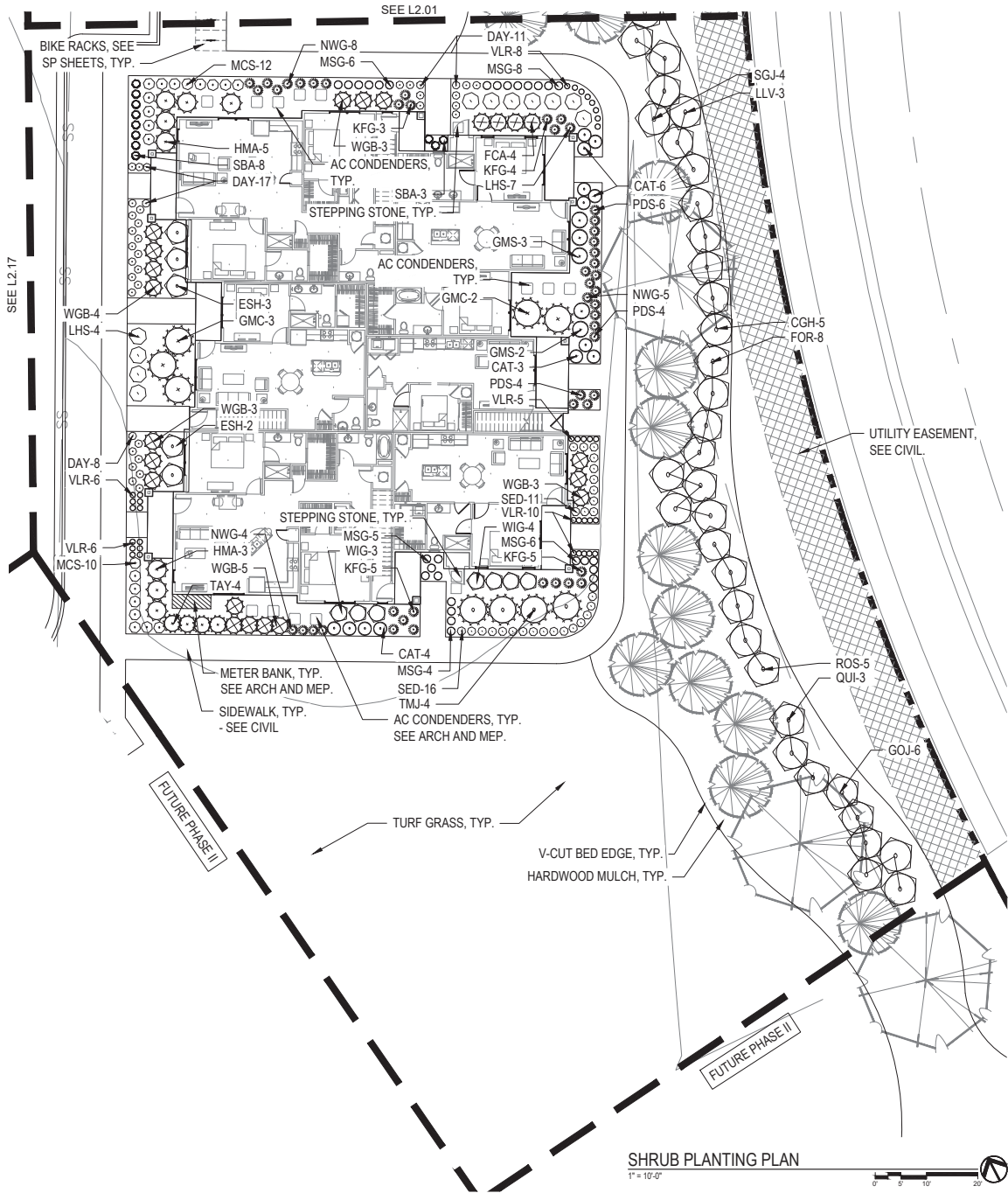
DATE: 04.22.24

REVISIONS

JOB NO: 747723
DRAWN BY: BH / MM

SHEET NAME: TREE PLANTING PLAN - PHASE I
SHEET NO: L1.00

FINAL DEVELOPMENT PLAN



KEY PLAN
1" = 200'-0"

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Creeping Shrubs				
CGH	China Girl Holly / Boy Holly	<i>Ilex & meserveae 'Meador' / 'Meador'</i>	5 Gal	S 1 Rate
FCA	Fern Chief Arborvitae	<i>Thuja occidentalis 'Sunglider'</i>	5 Gal	
GMC	Gold Mop Cypress	<i>Chamaecyparis pisifera 'Valley Thread Branch'</i>	5 Gal	
SGJ	Silver Ginkgo	<i>Liquidambar styraciflua 'Silver Gink'</i>	5 Gal	
HMA	Hater Major Arborvitae	<i>Thuja occidentalis 'Hater Major'</i>	5 Gal	
TLX	Tan Japanese	<i>Lonicera japonica</i>	5 Gal	
LVV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal	
PCF	Portula cactus	<i>Lithopodium obscurum</i>	6 1/2"	6 1/2"
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal	
WGB	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	6 1/2"	36-48"
Deciduous Shrubs				
CGH	Cherry Girl Holly / Boy Holly	<i>Cornus alba 'Sour Cherry'</i>	5 Gal	
EDH	Endless Summer Hydrangea	<i>Hydrangea macrophylla 'Endless Summer'</i>	5 Gal	
FGH	Fern Chief Arborvitae	<i>Fraxinus americana 'Sunglider'</i>	5 Gal	
GIL	Ginkgo Low Spine	<i>Ginkgo biloba</i>	5 Gal	
GSE	Gold Mop Cypress	<i>Juniperus communis 'Sunglider'</i>	5 Gal	
KNE	Knotroot Rose	<i>Rosa kneri</i>	5 Gal	
LHS	Lilac Henry	<i>Syringa vulgaris 'Lilac Henry'</i>	5 Gal	
MCJ	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal	
QJL	Queen's Gardenia	<i>Chamaecyparis pisifera 'Queen's Gardenia'</i>	5 Gal	
ROS	Rose of Sharon	<i>Hibiscus syriacus 'Zinnia Rose Scarlet'</i>	5 Gal	
TKV	Tan Japanese	<i>Trichostema flavescens</i>	5 Gal	
Grasses				
EDH	Endless Summer Hydrangea	<i>Calamagrostis canadensis 'Yard Frontier'</i>	2 Gal	
MLC	Mountain Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal	
WVW	Wormwood	<i>Artemisia vulgaris 'Wormwood'</i>	2 Gal	
PDS	Prairie Doggone	<i>Sporobolus vaginatus</i>	2 Gal	
ULV	Upright Liriodendron	<i>Liriodendron tulipifera</i>	8" pot	
Perennials				
CAT	Catmint	<i>Nepeta x 'Six Hills' 'Walker's Low'</i>	1 Gal	
BEY	Black-eyed Susan	<i>Rudbeckia hirta var. 'E. G. Squire'</i>	1 Gal	
DAY	Daylily	<i>Hosta 'Black Pearl'</i>	1 Gal	
REB	Blue Flag Iris	<i>Iris sibirica 'Blue Bird'</i>	1 Gal	
REB	Blue Flag Iris	<i>Salvia nemorosa 'May Knight'</i>	1 Gal	
SEA	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	1 Gal	
SED	Autumn Joy Sedum	<i>Hydrangea 'Autumn Joy'</i>	1 Gal	

GENERAL NOTES:

- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - A CREEPING GROUND COVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 2' FROM PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
- REFER TO L1.00 SERIES SHEETS FOR TREE PLANTINGS.
- REFER TO L2.00 SERIES SHEETS FOR SHRUB PLANTINGS & ROCK MATERIALS.
- REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.
- IN THE EVENT OF WORK IN OR ON THE JOV SANITARY MAIN. ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 8" BELOW RIVER BOTTOM/BOTTOM OF CONTAINER, REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
- ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL TO BE SOD. SOD TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
- STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SEMCO MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE. 2-3" THICK.

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4100 PRAIRIE VILLAGE

A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAINING ENGINEER, P.E.

● 01/25/24 101 PDP SUBMITTAL
● 03/12/24 240 PDP SUBMITTAL
● 04/22/24 PDP SUBMITTAL
● 04/22/24 PDP RE-SUBMITTAL

REVISIONS

JOB NO: 747723
DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME:
**SHRUB PLANTING PLAN
- BUILDING #1-N**
SHEET NO.

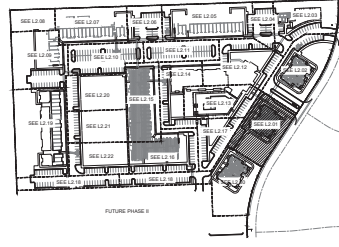
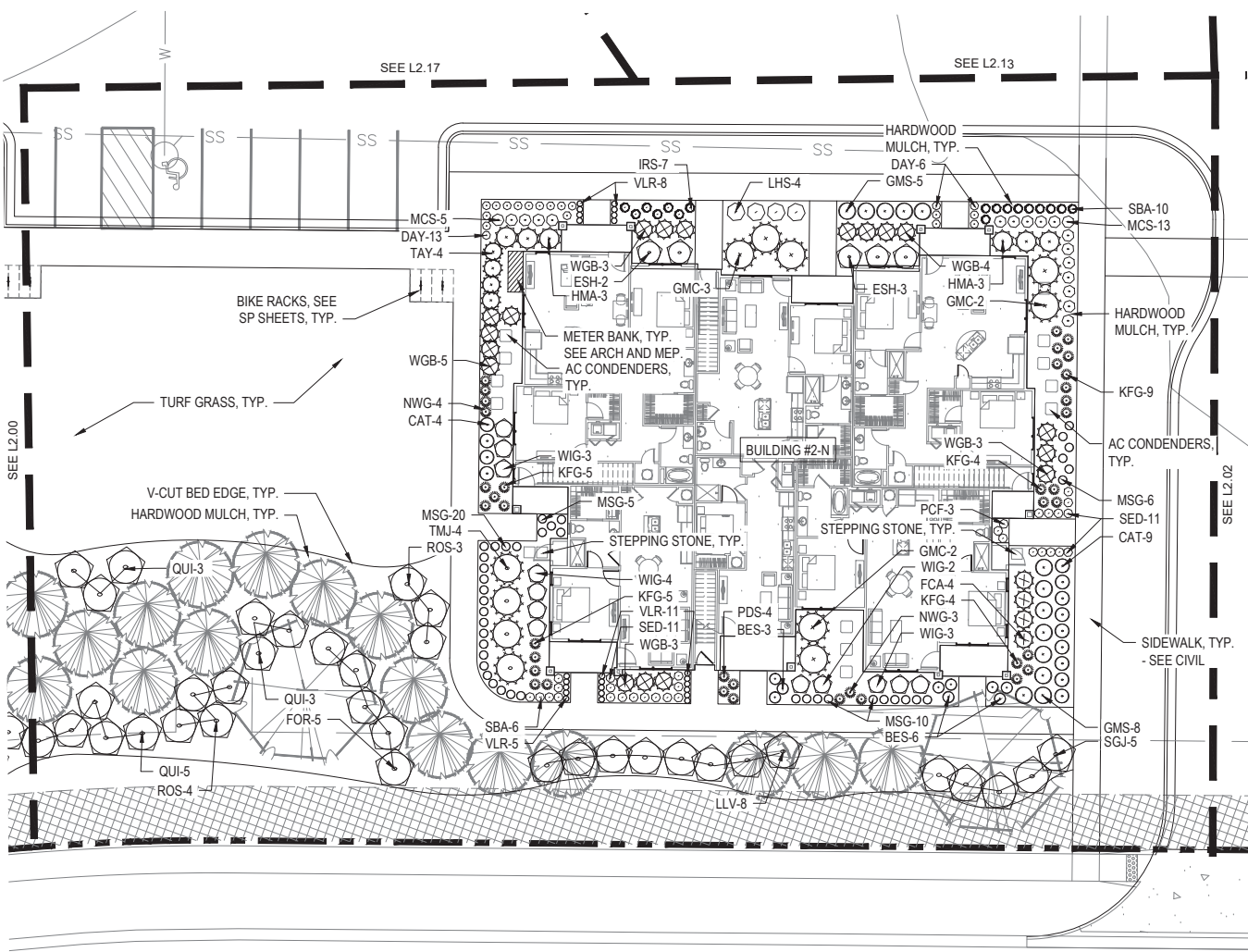
L2.00

SHRUB PLANTING PLAN
1" = 10'-0"

FINAL DEVELOPMENT PLAN

24x36 SHEET (WxH)^T

2/19/2024, 10:28:41 AM



KEY PLAN

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Creeping Shrubs				
CGM	China Girl Holly / Boy Holly	<i>Hexa x meserveae 'Merrill' / 'Merrill'</i>	5 Gal	S.1 Ratio
FCM	Flora Choc Anemone	<i>Theba icohortensis 'Concolor'</i>	5 Gal	
GMC	Gold Mop Corners	<i>Chamaecrista patula 'Yellow Thread Branch'</i>	5 Gal	
SOI	Sunny Day Sedges	<i>Ampelisca virginiana 'Sunny Day'</i>	5 Gal	
HMA	Holz Mugel Abundant	<i>Thalictrum occidentale 'Hetz Mugel'</i>	5 Gal	
TLD	Tom Thumb	<i>Lupinus albus</i>	5 Gal	
LVJ	Leatherleaf Viburnum	<i>Viburnum thibetophorum</i>	5 Gal	
FLC	Floridula Juniper	<i>Lupinus chinensis 'Floridula'</i>	5 Gal	
SGJ	Sea Green Juniper	<i>Lupinus chinensis 'Sea Green'</i>	5 Gal	
FFJ	Ferret Juniper	<i>Lupinus chinensis 'Ferret'</i>	5 Gal	
WGB	Winter Green Boxwood	<i>Buxus microphylla 'Winter Green'</i>	8.85	36-48"
Deciduous Shrubs				
VOO	Varianteel Red Tangled Dogwood	<i>Cornus alba 'Serotina'</i>	5 Gal	
EWH	Endless Summer Hydrangea	<i>Hydrangea macrophylla 'Balmain'</i>	5 Gal	
FOR	Flora Cold Fuchsia	<i>Proxiphys x americana 'Vaporant Cold'</i>	5 Gal	
GIL	Giro Low Spirea	<i>Spirea Argemone</i>	5 Gal	
GAS	Gardeners Spirea	<i>Spirea japonica 'Goldmound'</i>	5 Gal	
NDB	Naked Lady Spirea	<i>Spiraea japonica</i>	5 Gal	
LHS	Little Henry Spiraea	<i>Spiraea japonica 'Little Henry'</i>	5 Gal	
MCS	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal	
LIL	Limestone Spirea	<i>Spiraea japonica 'Limestone Spirea'</i>	2 Gal	
RTO	Rugosa 1 1/2 Sizes of Shanon/Alba	<i>Hibiscus syriacus 'Alberca Irene Scott'</i>	5 Gal	
HIO	Hill Side Dogwood	<i>Hippocrepis complanata</i>	2 Gal	
Grasses				
NYS	New York Bluegrass	<i>Calamagrostis canadensis 'Keel Frontier'</i>	2 Gal	
MLC	Morning Light Maiden Grass	<i>Microanthus sinensis 'Morning Light'</i>	2 Gal	
HWB	Hortensia Sea Broom Grass	<i>Pharosia virginica 'Witchman'</i>	2 Gal	
PDS	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal	
LUL	Verticillata Linum	<i>Linum miscanthum variegatum</i>	9" pot	
Perennials				
CAJ	Calliopsis	<i>Saxifraga x nemoralis 'Walker's Low'</i>	1 Gal	
REE	Reverend's Susan	<i>Rudbeckia hirta var. 'Frisco'</i>	1 Gal	
DAY	Daylily	<i>Hamamelis 'Black Eye Susie' or 'Little Boonies'</i>	1 Gal	
REB	Blue Day Lilies	<i>Prunella virginiana 'Shimmer'</i>	1 Gal	
MDS	Madame Sappho	<i>Silene nemorensis 'May Knight'</i>	1 Gal	
WKB	Winnipeg Wonder Beauty	<i>Hebe 'Summer Beauty'</i>	1 Gal	
SED	Autumn Joy Sedum	<i>Sedum spectabile 'Autumn Joy'</i>	1 Gal	
Herbs				

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SHRUB PLANTING PLAN

1" = 10'-0"



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F. 913.831.1563
KANSAS CITY, MISSOURI 64124

A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**
W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAINAGE ENGINEER, P.E.

913.254.1611 FOR SUBMITTALS
913.254.2424 FOR SUBMITTALS
913.254.1611 FOR SUBMITTALS

REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME:
SHRUB PLANTING PLAN
- BUILDING #2-N
SHEET NO.:

L2.01

FINAL DEVELOPMENT PLAN

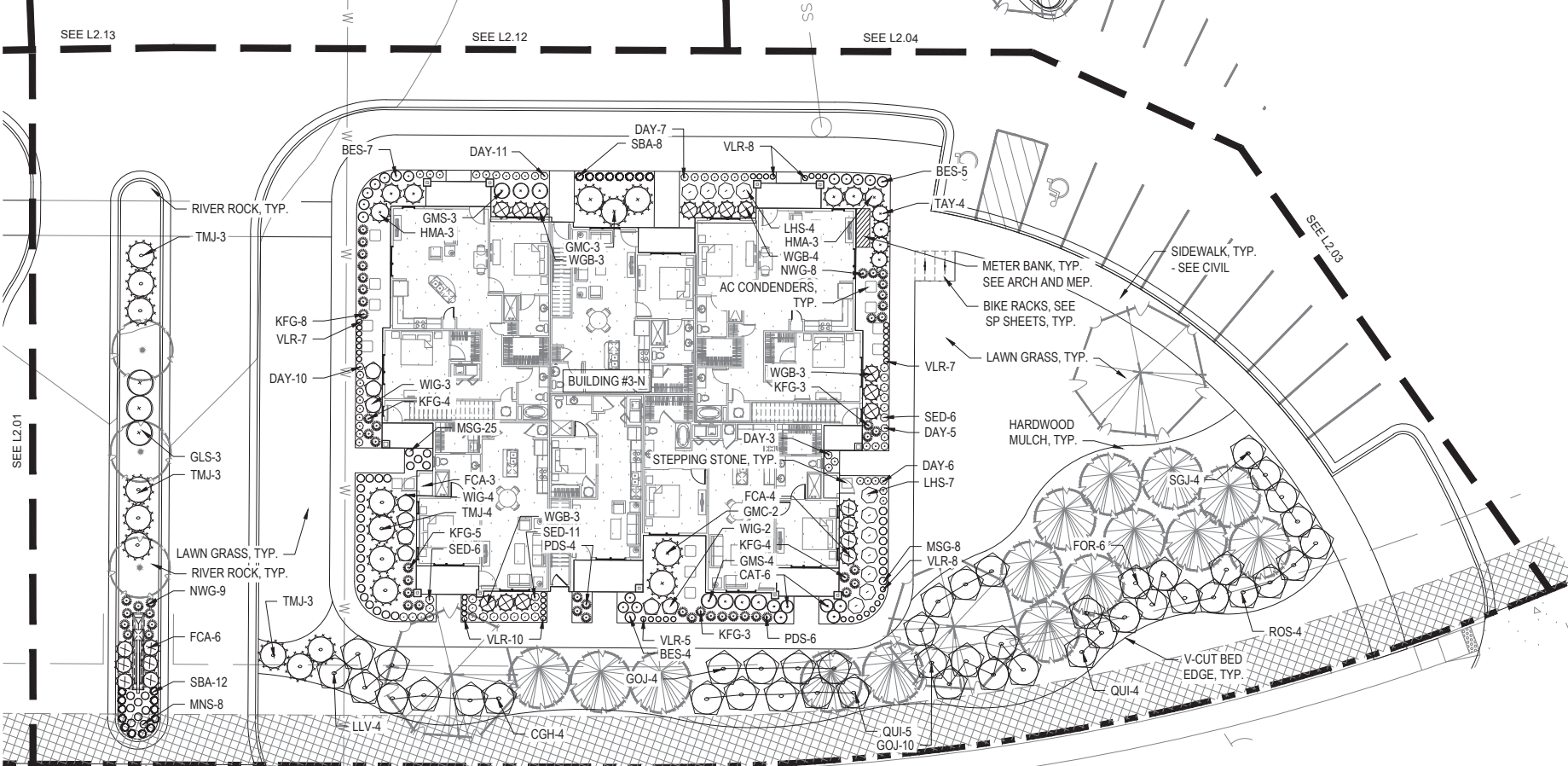
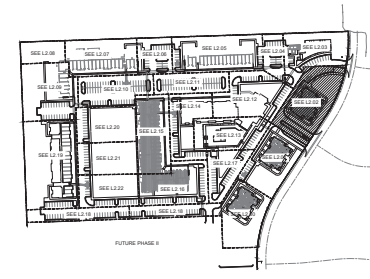
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PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
FCA	China Girl Holly / Boy Holly	<i>Ilex x meservei 'Meredol'</i>	5 Gal.	5:1 Ratio
FCA	Pink Obedient	<i>Thuja occidentalis 'Sprenger'</i>	5 Gal.	
GMG	Gold Mop Cypress	<i>Chamaecyparis platens 'Yellow Thread Branch'</i>	5 Gal.	
GOJ	Grey Oak Juniper	<i>Juniperus virginiana 'Grey Owl'</i>	5 Gal.	
HMA	Hardy Major Arbutus	<i>Thuja occidentalis 'Hard Major'</i>	5 Gal.	
LLV	Little Leaf Yew	<i>Taxus canadensis</i>	5 Gal.	
LLV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLV	Parrotia Lindley	<i>Parrotia chinensis 'Parrotia'</i>	5 Gal.	8' H
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
WIG	White Wintergreen	<i>Amelanchier alnifolia</i>	5 Gal.	
WVR	Winter Green Rowanwood	<i>Rhus microcarpa 'Winter Green'</i>	5 Gal.	36-48"
Deciduous Shrubs				
DAY	Variegated Red Twigged Dogwood	<i>Cornus alba 'Variegata'</i>	5 Gal.	
FCA	Common Nannyberry	<i>Viburnum acerifolium 'Nannyberry'</i>	5 Gal.	
FCA	Lyons Gold Forsythia	<i>Lyonia alba 'Lyon's Gold'</i>	5 Gal.	
GLS	Little Leaf Juniper	<i>Juniperus horizontalis 'Little Leaf'</i>	5 Gal.	
GLS	Goldcrest Spirea	<i>Spiraea japonica 'Goldcrest'</i>	5 Gal.	
KWG	Knockout Rose	<i>Rosa 'Knockout'</i>	5 Gal.	
LLV	Little Leaf Yew	<i>Taxus canadensis</i>	5 Gal.	
MCS	Major Carpet Spirea	<i>Spiraea japonica 'Major Carpet'</i>	5 Gal.	
QIB	Queen Elizabeth	<i>Chimonodoxys spicata 'Queen Elizabeth'</i>	5 Gal.	
ROS	Rose of Sharon/White	<i>Hibiscus syriacus 'America Home Scott'</i>	5 Gal.	
WVG	White Wine Volex	<i>Viburnum bicolor</i>	5 Gal.	
Grasses				
WAL	Wool Fescue Grass	<i>Calamagrostis scaberrima 'Wool Fescue'</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
RRS	Redhead Switch Grass	<i>Panicum virgatum 'Redhead'</i>	2 Gal.	
PFB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
LLV	Little Leaf Yew	<i>Taxus canadensis</i>	5 Gal.	
Perennials				
CANR	Canada Anemone	<i>Anemone canadensis 'Holland's Hope'</i>	1 Gal.	
BES	Black End Susan	<i>Rudbeckia hirta var. Fulla</i>	1 Gal.	
DAY	Daylily	<i>Hemerocallis 'Black Eye Stella' or 'Little Blossom'</i>	1 Gal.	
GLS	Goldcrest Spirea	<i>Spiraea japonica 'Goldcrest'</i>	1 Gal.	
MSG	Message Spirea	<i>Spiraea japonica 'Message'</i>	1 Gal.	
SIA	Summer Snowflake	<i>Alchemilla 'Summer Snowflake'</i>	1 Gal.	
BJD	Autumn Joy Sedum	<i>Hylotelephium 'RedHotRider' Autumn Joy</i>	1 Gal.	



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1100 PRAIRIE VILLAGE RD.
PRAIRIE VILLAGE, KS 66208

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DRAINING ENGINEER

01/23/24 101 PDP SUBMITTAL
02/13/24 202 PDP SUBMITTAL
04/12/24 PDP SUBMITTAL

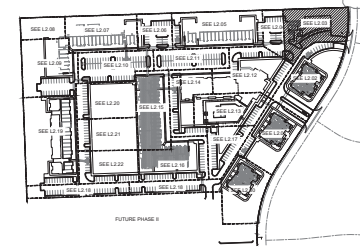
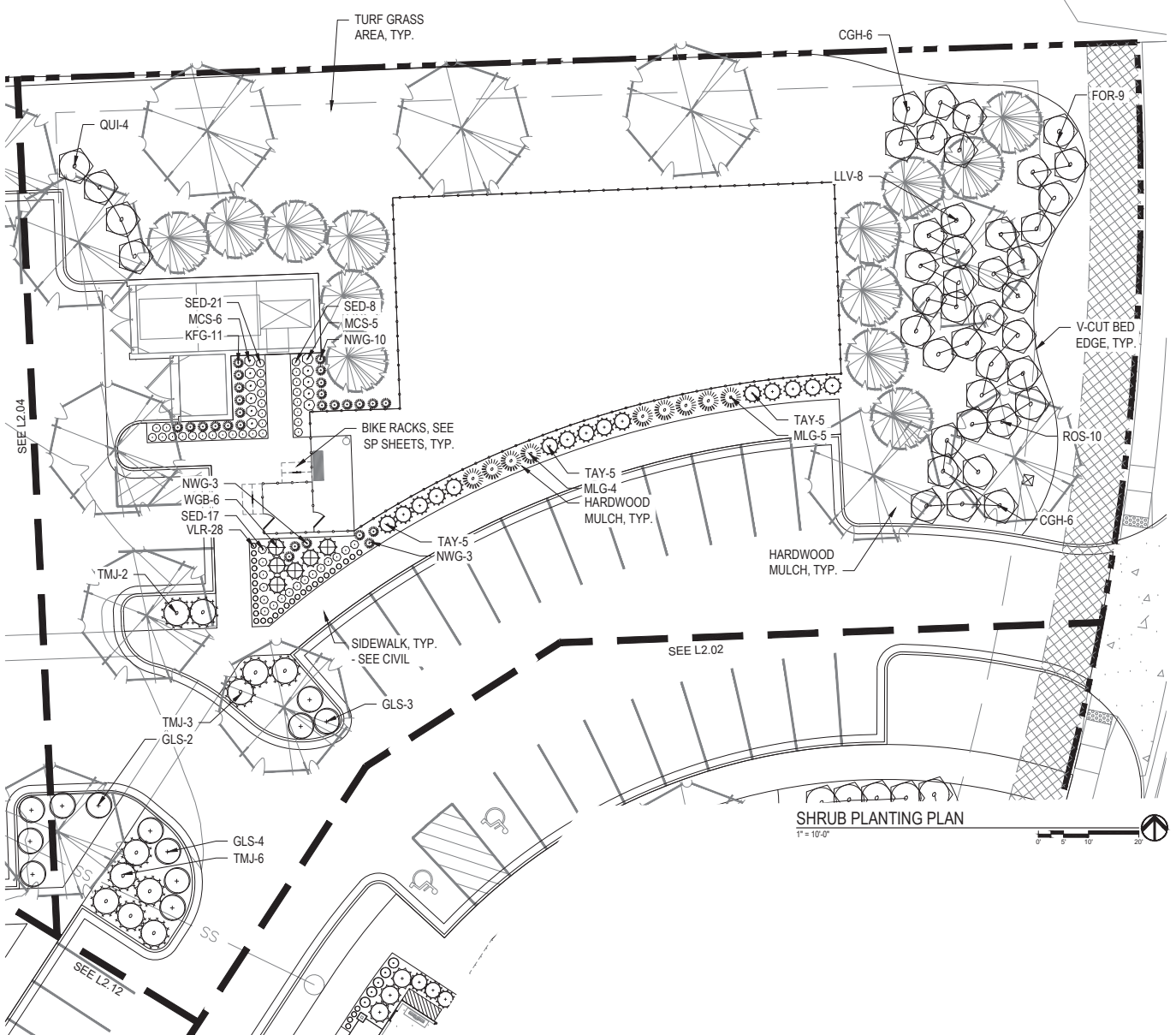
REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME: SHRUB PLANTING PLAN - BUILDING #3-N
SHEET NO. L2.02

SHRUB PLANTING PLAN
1" = 10'-0"

FINAL DEVELOPMENT PLAN



KEY PLAN
1" = 200'-0"

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGH	China Girl Holly / Boy Holly	<i>Ilex x meservei 'Merry'</i>	5 Gal	5:1 Ratio
FCR	Fire Chief Arborvitae	<i>Thuja occidentalis 'Tomcopo'</i>	5 Gal	
GMK	Gold Mop Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal	
SOA	Silly Old Soldier	<i>Amelanchier virginiana 'Silly Old'</i>	5 Gal	
HMA	Holz Mispel Arborvitae	<i>Thuja occidentalis 'Hetz Mispel'</i>	5 Gal	
TRD	Tom Thumb	<i>Lonicera caerulea</i>	5 Gal	
LLV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal	
PLC	Perfoliate Juniper	<i>Juniperus horizontalis 'Purpurea'</i>	5 Gal	8' H.
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal	
FRF	Fraser Fir	<i>Abies fraseri</i>	5 Gal	
WGB	Winter Green Boxwood	<i>Buxus microphylla 'Winter Green'</i>	6-8B	36-48"
Deciduous Shrubs				
TCOR	Transected Red Tangled Dogwood	<i>Cornus alba 'Solei'</i>	5 Gal	
EHR	Endless Summer Hydrangea	<i>Hydrangea macrophylla 'Endless'</i>	5 Gal	
FOR	Firewood Gold Forsythia	<i>Forsythia x intermedia 'Firewood Gold'</i>	5 Gal	
GLS	Green Low Spine	<i>Rhus aromatica</i>	5 Gal	
GAB	Goldenrod Spice	<i>Spiraea japonica 'Goldenrod'</i>	5 Gal	
KOR	Knoxout Rose	<i>Rosa knoxiana</i>	5 Gal	
LHS	Little Henry Lavender	<i>Lavandula angustifolia 'Little Henry'</i>	5 Gal	
MCS	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal	
GLS	Greening Spirea	<i>Chamaecyparis japonica 'Green Spirea'</i>	5 Gal	
RDS	Rugosa 1/2 Size of Shanon/Rhena	<i>Rubus cuneifolius 'Alberca'</i>	5 Gal	
HW	Hot Pink Dogwood	<i>Hydrangea paniculata 'Hot Pink'</i>	5 Gal	
Grasses				
MCJ	Mini Fountain Grass	<i>Calamagrostis canadensis 'Mini Fountain'</i>	2 Gal	
MLC	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal	
WVG	Whispering Willow Grass	<i>Phlox paniculata 'Whispering'</i>	2 Gal	
PDS	Purple Drizzle	<i>Sporobolus heterostachyus</i>	2 Gal	
ULS	Uniquely Lined	<i>Lycopodium obscurum</i>	9" pot	
Perennials				
GLT	Galium	<i>Galium x leucostachyae 'Walker's Low'</i>	1 Gal	
RES	Black-eyed Susan	<i>Rudbeckia hirta 'Black-eyed Susan'</i>	1 Gal	
JAY	Jay's Blue	<i>Hamamelis 'Black Eye Blue'</i>	1 Gal	
RES	Blue Iris	<i>Iris virginica 'Blue Bird'</i>	1 Gal	
MSD	Mossy Sage	<i>Salvia nemorosa 'May Knight'</i>	1 Gal	
SEA	Summer Candy Asters	<i>Aster 'Summer Candy'</i>	1 Gal	
SED	Autumn Joy Sedum	<i>Sedum spectabile 'Autumn Joy'</i>	1 Gal	

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- REFER TO L2.00 SERIES SHEETS FOR SHRUB PLANTINGS & ROCK MATERIALS.
- REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.
- IN THE EVENT OF WORK IN OR ON THE JOV SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 8" BELOW ROOT BALLS/BOTTOM OF CONTAINER, REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
- ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL TO BE SOD. SOD TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
- STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SEMCO MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE, 2-3" THICK.

SHRUB PLANTING PLAN
1" = 10'-0"

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3515 W. 25TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208



A NEW MULTIFAMILY DEVELOPMENT FOR:
**THE RESERVE AT
COPPER CREEK**
W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAWING REVISION LOG

01/25/24	101 PDP SUBMITTAL
02/15/24	200 PDP SUBMITTAL
04/12/24	100 PDP SUBMITTAL

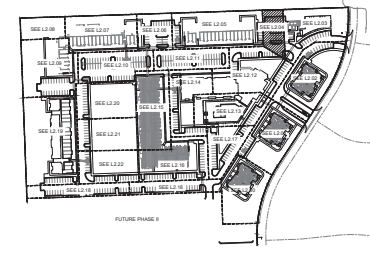
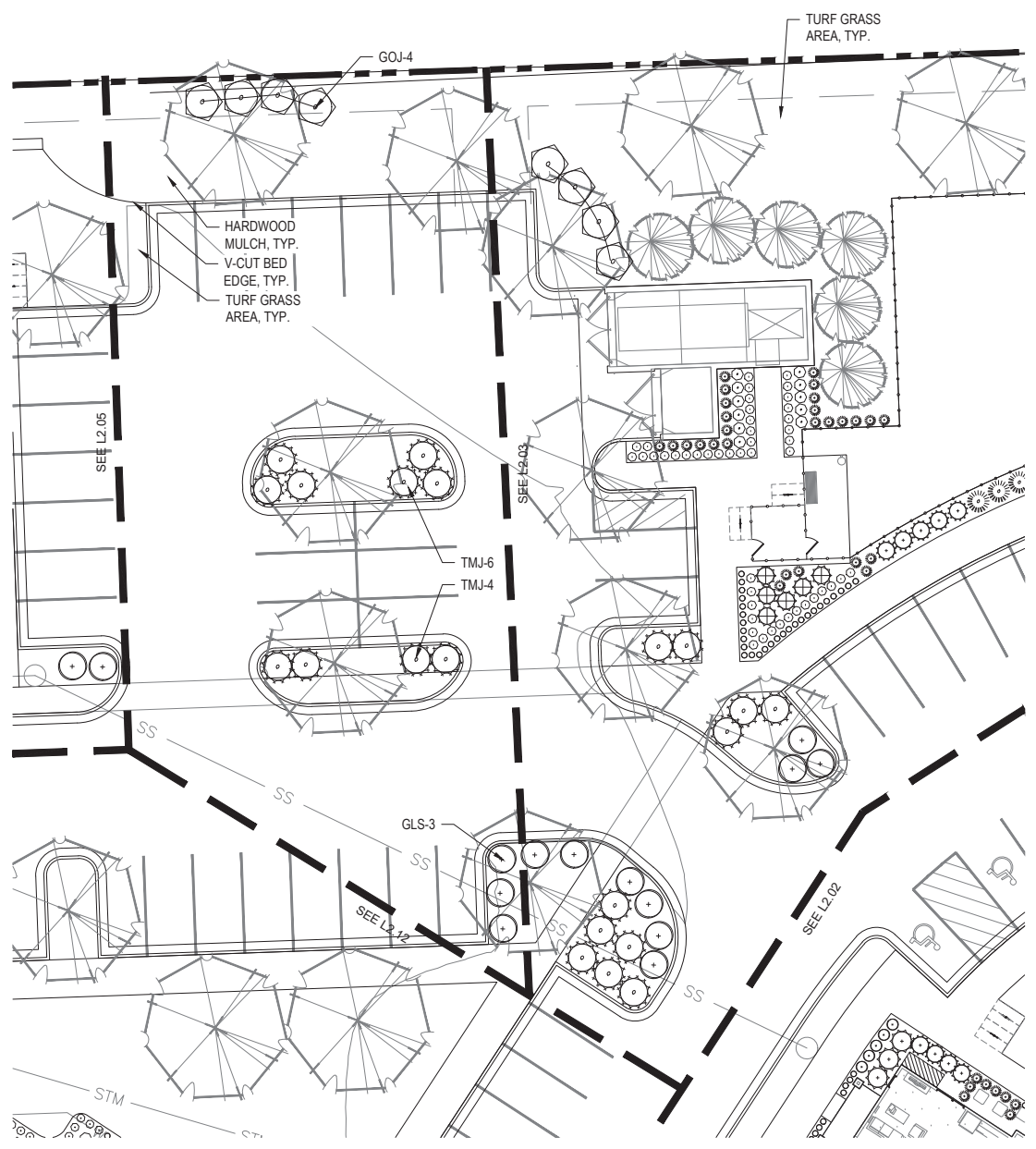
REVISIONS

JOB NO: 747723
DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME: SHRUB PLANTING PLAN - DOG PARK
SHEET NO.

L2.03

FINAL DEVELOPMENT PLAN



KEY PLAN
1" = 200'-0"

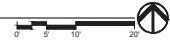
PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGM	China Girl Holly / Boy Holly	<i>Nax x meserveae 'Mingol' / 'Mendol'</i>	5 Gal	S 1 Ratio
FCA	Fern Chelidonium	<i>Thalictrum flavum 'Sungold'</i>	5 Gal	
GMC	Gold Mop Cornus	<i>Chamaecornus palmata 'Yellow Thread Branch'</i>	5 Gal	
SOA	Stony Cliff Juniper	<i>Juniperus virginiana 'Stony Cliff'</i>	5 Gal	
HMA	Holz Mispel Abundant	<i>Maackia occidentalis 'Hetz Mispel'</i>	5 Gal	
TRJ	Tan Juniper	<i>Juniperus chinensis</i>	5 Gal	
LVJ	Leatherleaf Viburnum	<i>Viburnum thyrsiflorum</i>	5 Gal	
PCJ	Pacific Juniper	<i>Juniperus procumbens 'Pacifcar'</i>	5 Gal	8' H.
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal	
FAJ	Fawn Leaf Juniper	<i>Juniperus virginiana 'Fawn Leaf'</i>	5 Gal	
WBJ	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	6-8" B&B	36-48"
Deciduous Shrubs				
TRD	Trained Red Tangled Dogwood	<i>Cornus alba 'Solei Steier'</i>	5 Gal	
EHJ	Endless Summer Hydrangea	<i>Hydrangea macrophylla 'Endless Summer'</i>	5 Gal	
FOR	Firewood Gold Forsythia	<i>Forsythia x intermedia 'Firewood Gold'</i>	5 Gal	
GLS	Green Low Spirea	<i>Spiraea Argemone</i>	5 Gal	
GAB	Goldmound Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal	
KUR	Korobokuro Spirea	<i>Spiraea japonica 'Korobokuro'</i>	5 Gal	
LHS	Little Henry Spiraea	<i>Spiraea japonica 'Little Henry'</i>	5 Gal	
MCS	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal	
LIS	Limestone Spirea	<i>Chaenactis japonica 'Limestone Spirea'</i>	5 Gal	
RDS	Rising Sun Dogwood	<i>Cornus alternifolia 'Rising Sun'</i>	5 Gal	
WCS	White Flowering Dogwood	<i>Cornus florida 'White Flowering'</i>	2 Gal	
MLC	Morning Light Maiden Grass	<i>Microstachys sinensis 'Morning Light'</i>	2 Gal	
WVCS	Whispering Willows Grass	<i>Pharosia virginica 'Whispering Willows'</i>	2 Gal	
PDS	Purple Drizzle Dogwood	<i>Sporobolus heterostachyus</i>	2 Gal	
ULS	Uniquely Lined Spirea	<i>Spiraea japonica 'Uniquely Lined'</i>	5 Gal	
Perennials				
CAT	Catmint	<i>Nepeta x faassenii 'Walker's Low'</i>	1 Gal	
RES	Black-eyed Susan	<i>Rudbeckia hirta var. 'Frills'</i>	1 Gal	
DAY	Daylily	<i>Hemerocallis 'Black Eye Sailor' or 'Little Boatsman'</i>	1 Gal	
REB	Blue Bell Iris	<i>Iris virginica 'Blue Bell'</i>	1 Gal	
MBG	Master Spiga	<i>Salvia nemorosa 'May Knight'</i>	1 Gal	
SKA	Summer Hardy Aster	<i>Aster 'Summer Hardy'</i>	1 Gal	
BEA	Autumn Joy Sedum	<i>Sedum spectabile 'Autumn Joy'</i>	1 Gal	
Herbs				

GENERAL NOTES:

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- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - CREEPING GROUND COVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
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SHRUB PLANTING PLAN
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W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAWING REVISION LOG

01/25/24 101 FOR SUBMITTAL
02/13/24 202 FOR SUBMITTAL
04/12/24 FOR SUBMITTAL

REVISIONS

JOB NO: 747723
DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME:
SHRUB PLANTING AREA
PLAN - PARKING AREA
SHEET NO.

L2.04

FINAL DEVELOPMENT PLAN

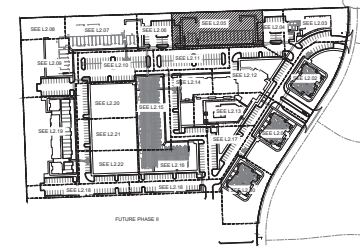
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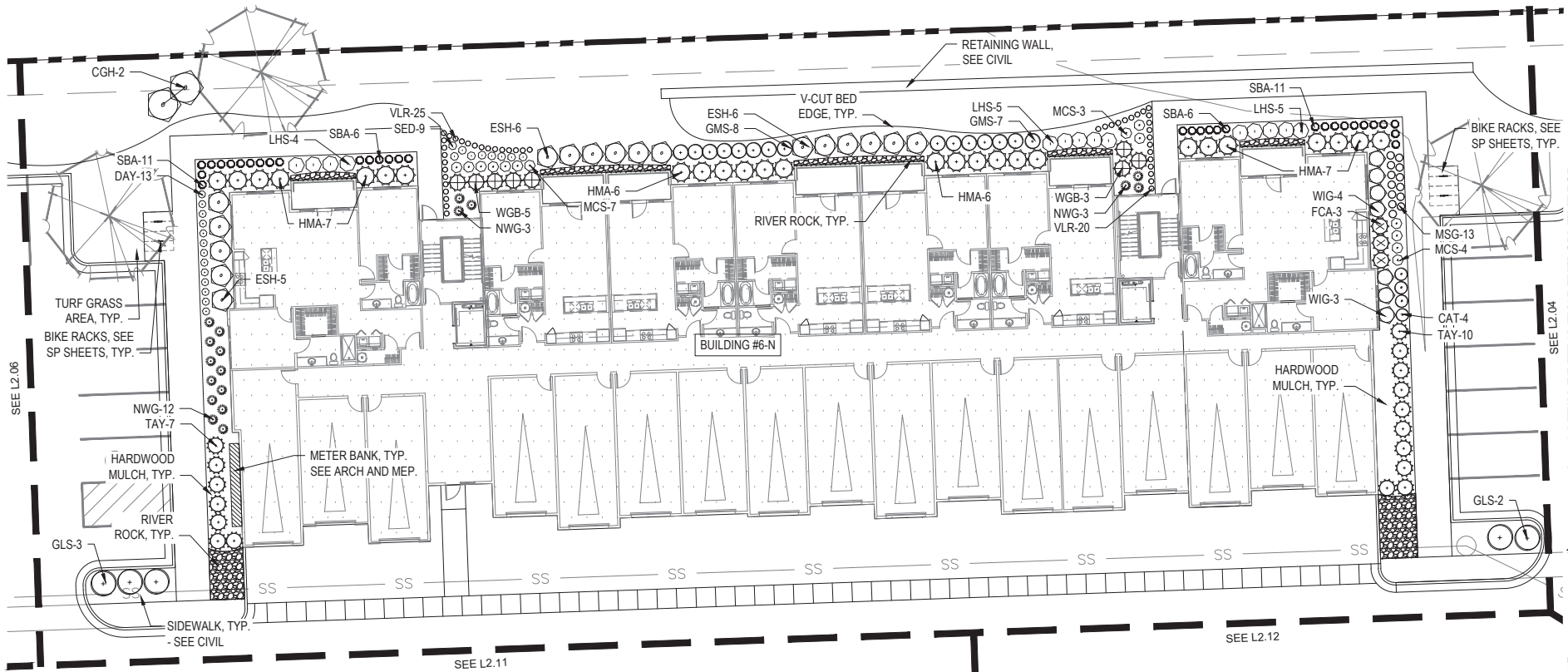
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PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGH	China Girl Holly / Boy Holly	<i>Ilex x meservei</i> 'Merrill'	5 Gal	S 1 Ratio
FGA	Fire Chief Arborvitae	<i>Thuja occidentalis</i> 'Sprenger'	5 Gal	
GAAC	Gold Mop Cypress	<i>Chamaecyparis platens</i> 'Yellow Thread Branch'	5 Gal	
GDA	Gray Oak Juniper	<i>Juniperus virginiana</i> 'Gray Owl'	5 Gal	
HMA	Ham Midget Arborvitae	<i>Thuja occidentalis</i> 'Ham Midget'	5 Gal	
IMJ	Iron Juniper	<i>Juniperus sibirica</i>	5 Gal	
LLV	Lambert's Viburnum	<i>Viburnum lumbosibiricum</i>	5 Gal	
PLF	Pinkleaf Juniper	<i>Juniperus chinensis</i> 'Pinkspire'	6-8" 2' H	
SGJ	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	5 Gal	
TPY	Twelve Angel	<i>Juniperus horizontalis</i> 'Lager'	5 Gal	
VGR	Winter Green Boxwood	<i>Buxus microcarpa</i> 'Winter Green'	6-8" 36-48"	
Deciduous Shrubs				
CGW	Carroll's Red Twig Dogwood	<i>Cornus alba</i> 'Vary Holly'	5 Gal	
CGY	Cherry Sentinel Nannybush	<i>Hamamelis macrocarpa</i> 'Nannybush'	5 Gal	
FGB	Firewood Gold Forsythia	<i>Lonicera sibirica</i> 'Firewood Gold'	5 Gal	
GDL	Gold Leaf Spiraea	<i>Spiraea alba</i>	5 Gal	
GDM	Gold Mound Spiraea	<i>Spiraea japonica</i> 'Goldmound'	5 Gal	
KWB	Knockout Rose	<i>Rosa knockout</i>	5 Gal	
LIS	Little Henry Sweetgum	<i>Liquidambar styraciflua</i> 'Little Henry'	5 Gal	
MCS	Major Carpet Spirea	<i>Spiraea japonica</i> 'Major Carpet'	2 Gal	
QSR	Queen's Garden	<i>Chaenactis lanceata</i> 'Queen's Garden'	5 Gal	
ROS	Rose Hip Rose of Sharon/White	<i>Hibiscus syriacus</i> 'America Rose Scott'	5 Gal	
WVJ	White Wine Vineland	<i>Vitis rotundifolia</i> 'Vineland'	5 Gal	
Grasses				
WFL	Wool Fescue Grass	<i>Calamagrostis acutiflora</i> 'Wolf Fescue'	2 Gal	
MBG	Morning Light Maiden Grass	<i>Miscanthus sinensis</i> 'Morning Light'	2 Gal	
RRS	Red River Switch Grass	<i>Panicum virgatum</i> 'Red River'	2 Gal	
POB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal	
SLR	Strawberry Lacecap	<i>Limonium maculatum</i>	2 Gal	
Perennials				
CANR	Canada	<i>Nepeta x racemosa</i> 'Walker's Line'	1 Gal	
BEK	Black-eyed Susan	<i>Rudbeckia hirta</i> var. 'Fulsola'	1 Gal	
DAY	Daylily	<i>Hemerocallis</i> 'Black-eyed Stella' or 'Little Bells'	1 Gal	
DS	Dwarf Daylily	<i>Hemerocallis</i> 'Dwarf Daylily'	1 Gal	
HSG	Heavenly Sages	<i>Salvia nemorosa</i> 'May Knight'	1 Gal	
ISA	Iceberg Summer Bloom	<i>Alchemilla</i> 'Iceberg Summer Bloom'	1 Gal	
BJO	Autumn Joy Sedum	<i>Hylotelephium</i> 'Redhead'	1 Gal	
Annuals				



KEY PLAN
1" = 200'-0"



A NEW MULTIFAMILY DEVELOPMENT FOR:
**THE RESERVE AT
COPPER CREEK**
W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAINING EXCESSIVE FOR:
 01/26/24 PDP SUBMITTAL
 02/14/24 2ND PDP SUBMITTAL
 04/22/24 PDP SUBMITTAL

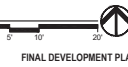
REVISIONS

JOB NO: 747723 DATE: 04.22.24
 DRAWN BY: BH/MM

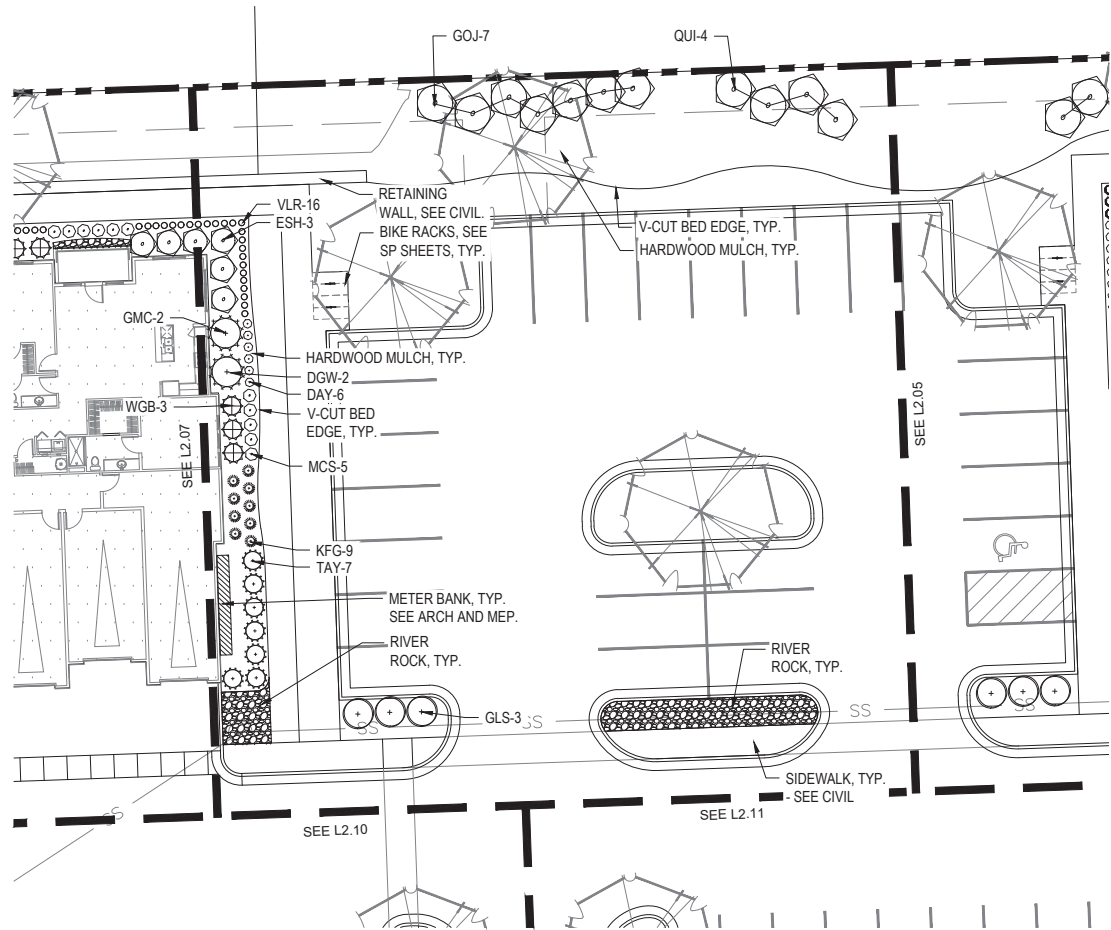
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 SHRUB PLANTING PLAN
 - BUILDING #6-N
 SHEET NO.

L2.05

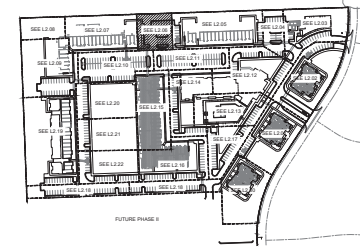
SHRUB PLANTING PLAN
1" = 10'-0"



FINAL DEVELOPMENT PLAN



SHRUB PLANTING PLAN
1" = 10'-0"



KEY PLAN
1" = 200'-0"

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGM	China Girl Holly / Boy Holly	<i>Ilex x meservei 'Merrill' / 'Merrill'</i>	5 Gal	5:1 Ratio
FCR	Fire Chief Arborvitae	<i>Thuja occidentalis 'Sungold'</i>	5 Gal	
GMC	Gold Mop Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal	
SOJ	Stony Oak Juniper	<i>Juniperus virginiana 'Stony Oak'</i>	5 Gal	
HMA	Half Midget Arborvitae	<i>Thuja occidentalis 'Half Midget'</i>	5 Gal	
TRE	Tom Thumb	<i>Juniperus chinensis</i>	5 Gal	
LVV	Leatherleaf Viburnum	<i>Viburnum thyrsiflorum</i>	5 Gal	
PLC	Parishia Juniper	<i>Juniperus virginiana 'Parishia'</i>	5 Gal	8' H.
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal	
WFB	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	5 Gal	36-48"
Deciduous Shrubs				
VOG	Variegated Red Tipped Dogwood	<i>Cornus alba 'Solei Roi'</i>	5 Gal	
EH	Endless Summer Hydrangea	<i>Hydrangea macrophylla 'Endless Summer'</i>	5 Gal	
FOR	Firewood Gold Forsythia	<i>Forsythia x intermedia 'Firewood Gold'</i>	5 Gal	
GLS	Green Low Spine	<i>Rosa Acuminata</i>	5 Gal	
GMS	Goldmound Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal	
NDR	Knockout Rose	<i>Rosa Knockout</i>	5 Gal	
LHS	Little Henry Spiraea	<i>Spiraea japonica 'Little Henry'</i>	5 Gal	
MCS	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal	
PLC	Parishia Juniper	<i>Juniperus virginiana 'Parishia'</i>	5 Gal	
RDS	Rose of Sharon/Rose of Sharon	<i>Hibiscus syriacus 'Alone in the Snow'</i>	5 Gal	
WV	White Wagoner	<i>Hydrangea paniculata 'White Wagoner'</i>	5 Gal	
Grasses				
WV	White Wagoner Grass	<i>Chamaecrista nictitans 'White Wagoner'</i>	2 Gal	
MLO	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal	
WV	White Wagoner Grass	<i>Chamaecrista nictitans 'White Wagoner'</i>	2 Gal	
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Perennials				
CAT	Catmint	<i>Nepeta x faassenii 'Walker's Low'</i>	1 Gal	
BE	Black-eyed Susan	<i>Rudbeckia hirta var. 'Frugal'</i>	1 Gal	
DAY	Daylily	<i>Hamamelis 'Black Eye Devil' or 'Little Boonies'</i>	1 Gal	
RE	Blue Rug Iris	<i>Iris virginica 'Shirley'</i>	1 Gal	
RS	Rose of Sharon	<i>Hibiscus syriacus 'Alone in the Snow'</i>	1 Gal	
SK	Summer Sensitive Plant	<i>Impatiens 'Summer Sensitive'</i>	1 Gal	
BE	Black-eyed Susan	<i>Rudbeckia hirta var. 'Frugal'</i>	1 Gal	

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- STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SEMCO MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE, 2-3" THICK.

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A NEW MULTIFAMILY DEVELOPMENT FOR:
THE RESERVE AT COPPER CREEK
W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAWING REVISION LOG
 01/25/24 101 FOR SUBMITTAL
 02/15/24 202 FOR SUBMITTAL
 04/12/24 303 FOR SUBMITTAL

REVISIONS

JOB NO. 747723 DATE 04.22.24
 DRAWN BY BH / MM

SHEET NAME SHRUB PLANTING PLAN - PARKING AREA
 SHEET NO. L2.06

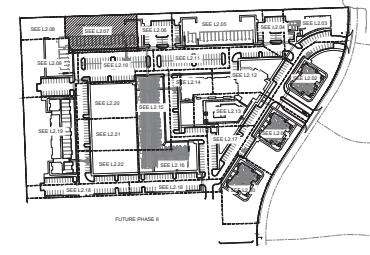
GENERAL NOTES:

- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - CREEPING GROUNDCOVER SHALL BE A MINIMUM OF 4" FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
- REFER TO L1.00 SERIES SHEETS FOR TREE PLANTINGS.
- REFER TO L2.00 SERIES SHEETS FOR SHRUB PLANTINGS & ROCK MATERIALS.
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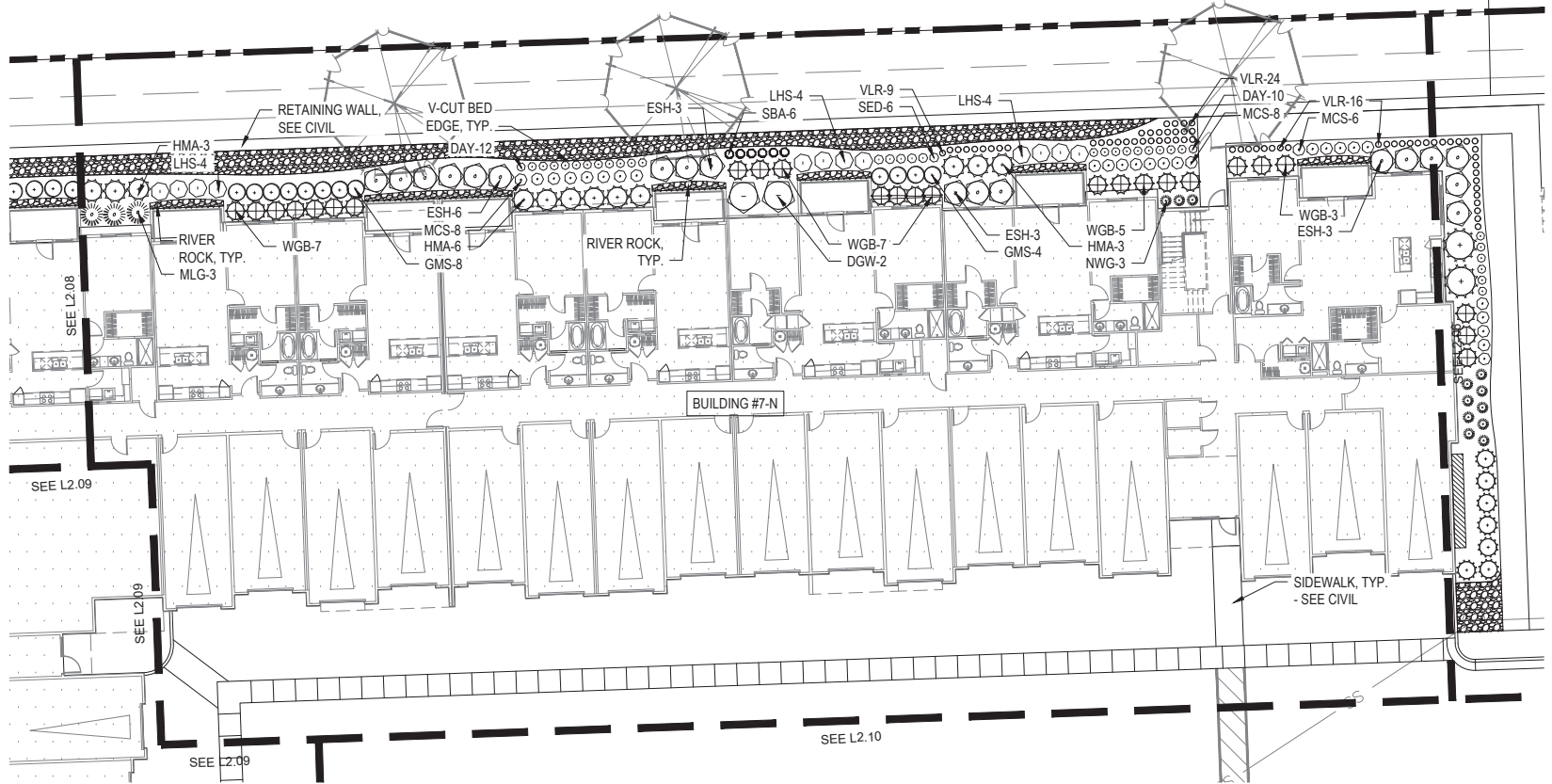
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- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 8" BELOW ROOT BALLS/BOTTOM OF CONTAINER, REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
- ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL, TO BE SOI. SOI TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
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PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGH	China Girl Holly / Boy Holly	<i>Ilex x microcarpa 'Merrill'</i>	5 Gal.	5:1 Ratio
FAA	Forsythia	<i>Forsythia koreana</i>	5 Gal.	
GAAC	Gold Mop Camellia	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal.	
GOA	Gray Oak Juniper	<i>Juniperus virginiana 'Gray Owl'</i>	5 Gal.	
HMA	Hardy Major Arbutus	<i>Thuja occidentalis 'Hardy Major'</i>	5 Gal.	
IMJ	Iron Juniper	<i>Juniperus sibirica</i>	5 Gal.	
LLV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLF	Parrotia Finlaysoniana	<i>Parrotia chinensis 'Parrotia'</i>	600	2' H.R.
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
TOF	Toddler Juniper	<i>Juniperus horizontalis 'Togata'</i>	5 Gal.	
WGR	Winter Green Rowanwood	<i>Rosa microcarpa 'Winter Green'</i>	600	36-48"
Deciduous Shrubs				
DOG	Decorative Red Twigged Dogwood	<i>Cornus alba 'Variegata'</i>	5 Gal.	
FRS	Flamingo Summer Hydrangea	<i>Hydrangea macrophylla 'Flamingo'</i>	5 Gal.	
FLR	Flamingo Gold Forsythia	<i>Forsythia x intermedia 'Flamingo Gold'</i>	5 Gal.	
GLS	Gold Leaf Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal.	
GLM	Goldmound Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal.	
KWB	Knockout Rose	<i>Rosa 'Knockout'</i>	5 Gal.	
LHS	Little Henry Sweetgum	<i>Liquidambar styraciflua 'Little Henry'</i>	5 Gal.	
MCS	Major Carpet Spirea	<i>Spiraea japonica 'Major Carpet'</i>	2 Gal.	
PCS	Patience Candice	<i>Chamaecyparis obtusa 'Patience Candice'</i>	5 Gal.	
ROS	Roger's Rose of Sharon/Althea	<i>Hibiscus syriacus 'America Home Scott'</i>	5 Gal.	
WV	White Wine Vitis	<i>Vitis rotundifolia 'White Wine'</i>	5 Gal.	
Grasses				
DFG	Dwarf Fountain Grass	<i>Calamagrostis x acutiflora 'Wolf Fountains'</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
NSG	Northern Sea Broom	<i>Panicum virgatum 'Northern Sea'</i>	2 Gal.	
POB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Striped Liriodendron	<i>Liriodendron tulipifera</i>	5 Gal.	
Perennials				
CLM	Common Clematis	<i>Clematis integrifolia 'Common'</i>	5 Gal.	
RES	Black-eyed Susan	<i>Rudbeckia hirta var. 'Fulgate'</i>	5 Gal.	
DAY	Daylily	<i>Hemerocallis 'Black-eyed Stella'</i> or 'Little Blossoms'	5 Gal.	
DIS	Black Day Iris	<i>Iris 'Black Day'</i>	5 Gal.	
HSG	Headed Sage	<i>Salvia nemorosa 'May Knight'</i>	5 Gal.	
ISA	Summer Beauty Alum	<i>Alumina 'Summer Beauty'</i>	5 Gal.	
RED	Autumn Joy Sedum	<i>Hydrangeaphyllum 'Red-Headed'</i> Autumn Joy	5 Gal.	
Annuals				



KEY PLAN
1" = 200'-0"



SHRUB PLANTING PLAN
1" = 10'-0"

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A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD. LENEXA, KANSAS

DRAINING/RELEASE LOG

- 01/20/24 PDF FOR SUBMITTAL
- 02/13/24 2ND PDF FOR SUBMITTAL
- 04/12/24 PDF FOR SUBMITTAL

REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME: SHRUB PLANTING PLAN - BUILDING #7-N
SHEET NO: L2.07

FINAL DEVELOPMENT PLAN

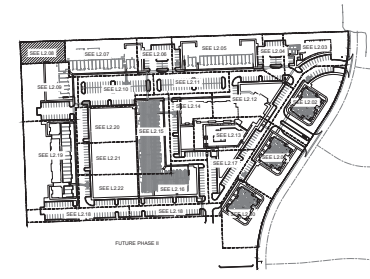
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 - CREeping GROUNDcover SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
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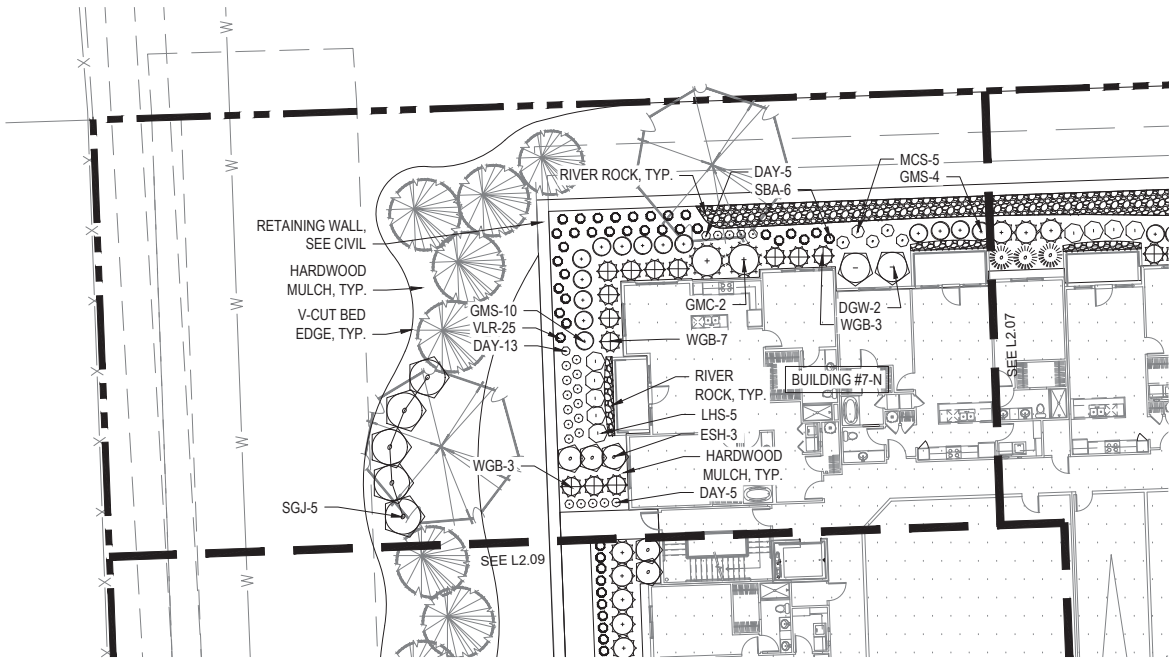
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PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
COH	China Girl Holly / Boy Holly	<i>Ilex x meservei 'Meerol'</i>	5 Gal.	5:1 Ratio
FOA	False Cedar Arborvitae	<i>Thuja occidentalis 'Sprenger'</i>	5 Gal.	
GOA	Gold Mop Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal.	
GOY	Grey Owl Juniper	<i>Juniperus virginiana 'Grey Owl'</i>	5 Gal.	
MAA	Mini Major Arborvitae	<i>Thuja occidentalis 'Mini Major'</i>	5 Gal.	
MAJ	Mini Juniper	<i>Juniperus sibirica</i>	5 Gal.	
LLV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLT	Parrotia Juniper	<i>Juniperus chinensis 'Parrotia'</i>	5 Gal.	2' H.R.
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
TRF	Trident Juniper	<i>Juniperus horizontalis 'Spartea'</i>	5 Gal.	
WGR	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	5 Gal.	36-48"
Deciduous Shrubs				
DOV	Decorative Red Twigged Dogwood	<i>Cornus alba 'Variegata'</i>	5 Gal.	
FOA	False Cedar Juniper	<i>Juniperus macrocarpa 'Spartea'</i>	5 Gal.	
FOG	False Gold Forsythia	<i>Lonicera sibirica 'L' Golden Gold'</i>	5 Gal.	
GLD	Gold Leaf Juniper	<i>Juniperus horizontalis 'Gold Leaf'</i>	5 Gal.	
GLS	Gold Spire Juniper	<i>Juniperus horizontalis 'Gold Spire'</i>	5 Gal.	
KNO	Knockout Rose	<i>Rosa Knockout</i>	5 Gal.	
LHS	Little Henry Sweetgum	<i>Liquidambar styraciflua 'Little Henry'</i>	5 Gal.	
MCS	Major Carpet Spirea	<i>Spiraea japonica 'Major Carpet'</i>	2 Gal.	
QDR	Queen of the South	<i>Chamaecyparis obtusa 'Queen of the South'</i>	5 Gal.	
ROS	Rose of Sharon/White	<i>Hibiscus syriacus 'America Home Scott'</i>	5 Gal.	
WVJ	White Vine Weigela	<i>Weigela florida 'Strawberry'</i>	5 Gal.	
Grasses				
FGS	Wool Fescue Grass	<i>Calamagrostis x acutiflora 'Wool Fescue'</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
NSG	Northwind Switch Grass	<i>Panicum virgatum 'Northwind'</i>	2 Gal.	
POB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Strawberry Top	<i>Lolium perenne 'Strawberry Top'</i>	5" pot.	
Perennials				
COB	Corn Plant	<i>Helianthus scaberrimus 'Milkmaid's Love'</i>	1 Gal.	
RES	Black-eyed Susan	<i>Rudbeckia hirta var. 'Fulgate'</i>	1 Gal.	
DAY	Daylily	<i>Hemerocallis 'Black-eyed Stella' or 'Little Blossoms'</i>	1 Gal.	
RSJ	Rose of Sharon	<i>Hibiscus syriacus 'Rose of Sharon'</i>	1 Gal.	
MSG	Maize and Sorghum	<i>Sorghum bicolor 'Maize and Sorghum'</i>	1 Gal.	
USA	Summer Beauty Aster	<i>Aster multiflorus 'Summer Beauty'</i>	1 Gal.	
BJD	Autumn Joy Sedum	<i>Hydrangea 'Autumn Joy'</i>	1 Gal.	
Annuals				



KEY PLAN
1" = 200'-0"



SHRUB PLANTING PLAN
1" = 10'-0"

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A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAINING ENGINEER: [Signature]

● 01.23.24 PDF FOR SUBMITTAL
● 02.23.24 PDF FOR SUBMITTAL
● 03.23.24 PDF FOR SUBMITTAL
● 04.23.24 PDF FOR SUBMITTAL

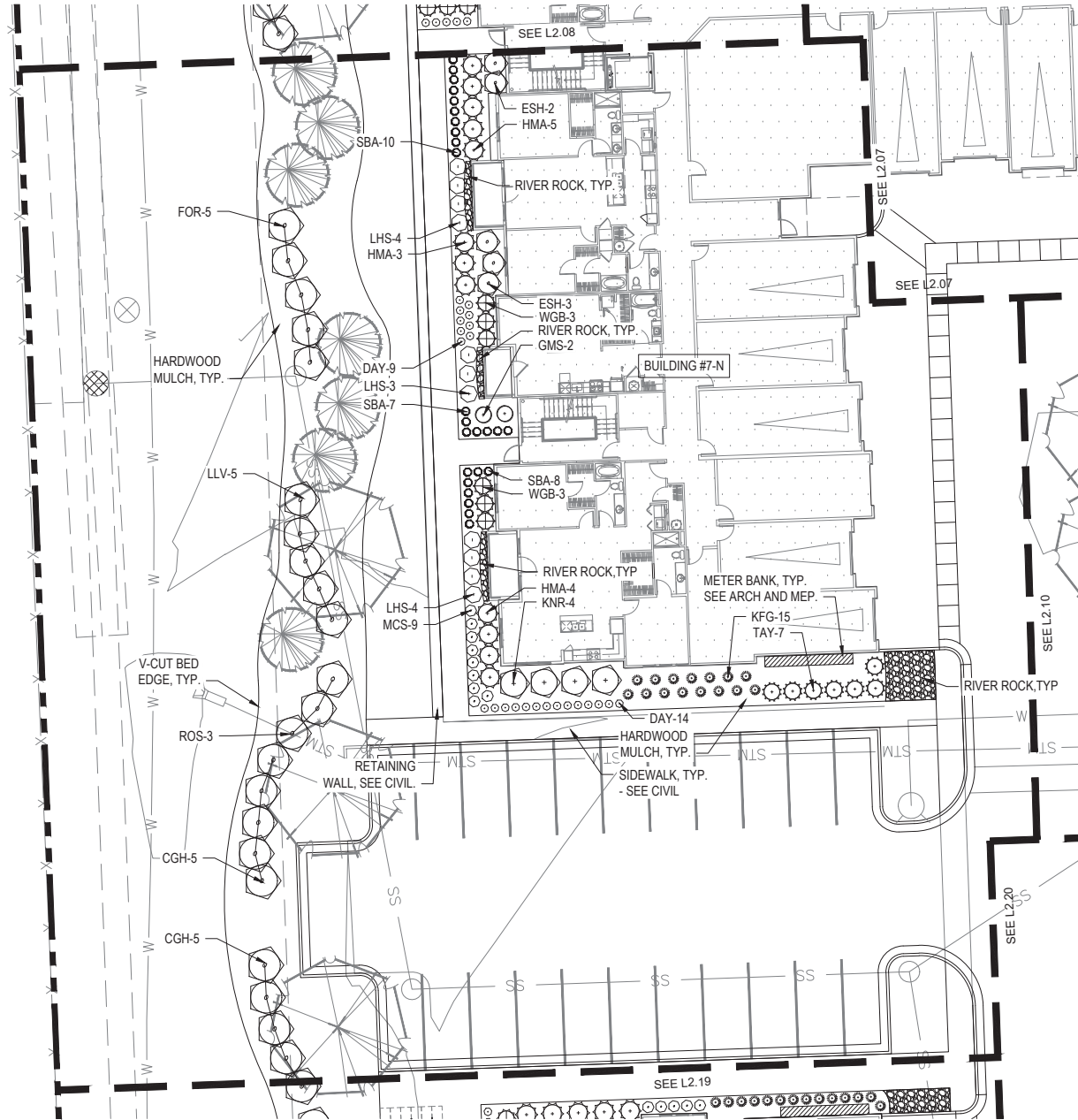
REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME:
SHRUB PLANTING PLAN
- BUILDING #7-N
SHEET NO.

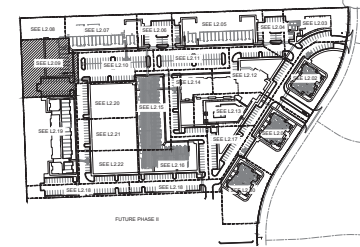
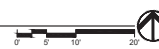
FINAL DEVELOPMENT PLAN

L2.08



SHRUB PLANTING PLAN

1" = 10'-0"



KEY PLAN

1" = 200'-0"

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGH	China Girl Holly / Boy Holly	<i>Ilex x meserveae 'Massey'</i> / <i>Massey</i>	5 Gal	S 1 Ratio
FCR	Fern Chied Arborvitae	<i>Thuja occidentalis 'Sungar'</i>	5 Gal	
GMC	Gold Mop Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal	
SOI	Silly Old Soldier	<i>Juniperus virginiana 'Silly Old'</i>	5 Gal	
HMA	Holz Midget Arborvitae	<i>Thuja occidentalis 'Hetz Midget'</i>	5 Gal	
TRJ	Tom Joad	<i>Juniperus sibirica</i>	5 Gal	
LLV	Leatherleaf Viburnum	<i>Viburnum thyrsiflorum</i>	5 Gal	
PCF	Perfoliate Juniper	<i>Juniperus communis 'Perfoliate'</i>	5 Gal	8' H.
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal	
RF	Red Juniper	<i>Juniperus virginiana 'Red'</i>	5 Gal	
WGB	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	6 1/2" B	36-48"
Deciduous Shrubs				
TOH	Tranquill Red Tangled Dogwood	<i>Cornus alba 'Totoy Hair'</i>	5 Gal	
EH	Endless Summer Hydrangea	<i>Hydrangea macrophylla 'Balmain'</i>	5 Gal	
FOR	Lancewood Gold Forsythia	<i>Fraxinus x mandshurica 'Lancewood Gold'</i>	5 Gal	
GLS	Green Low Spirea	<i>Spiraea Arbuscula</i>	5 Gal	
GMS	Goldmound Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal	
KNR	Knockout Rose	<i>Rosa knoxiana</i>	5 Gal	
LHS	Little Henry Lavender	<i>Lavandula angustifolia 'Little Henry'</i>	5 Gal	
MCS	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal	
LHS	Livingstone Spirea	<i>Chamaecyparis japonica 'Livingstone'</i>	5 Gal	
RCS	Rose of Sharon	<i>Hydrangea paniculata</i>	2 Gal	
ROS	Rose of Sharon	<i>Hydrangea paniculata</i>	2 Gal	
WLS	White Flowering Dogwood	<i>Cornus florida</i>	2 Gal	
MCS	Morning Light Maiden Grass	<i>Microstachys sinensis 'Morning Light'</i>	2 Gal	
WGB	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	2 Gal	
PCF	Perfoliate Juniper	<i>Juniperus communis 'Perfoliate'</i>	2 Gal	
LLV	Leatherleaf Viburnum	<i>Viburnum thyrsiflorum</i>	9" pot	
Perennials				
CGH	China Girl Holly	<i>Ilex x meserveae 'Walker's Low'</i>	1 Gal	
BEF	Black-Eyed Susan	<i>Rudbeckia hirta var. 'Frugal'</i>	1 Gal	
DAY	Daylily	<i>Hamamelis 'Black Eye' 'Star' or 'Little Bosses'</i>	1 Gal	
RE	Red Eye Lily	<i>Red Eye Lily</i>	1 Gal	
MS	Moss Rose	<i>Salvia nemorosa 'May Knight'</i>	1 Gal	
SK	Summer Hardy Sage	<i>Salvia 'Summer Hardy'</i>	1 Gal	
BEJ	Black Eye Lily	<i>Black Eye Lily</i>	1 Gal	
ADJ	Autumn Joy Sedum	<i>Sedum spectabile 'Autumn Joy'</i>	1 Gal	

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**THE RESERVE AT
COPPER CREEK**
W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAINAGE ENGINEER, P.E.
913.234.1811 FOR SUBMITTAL
913.234.2402 FOR SUBMITTAL
913.234.1811 FOR SUBMITTAL

REVISIONS

JOB NO. 747723 DATE 04.22.24
DRAWN BY BH / MM

SHEET NAME
SHRUB PLANTING PLAN
- BUILDING #7-N
SHEET NO.

L2.09

FINAL DEVELOPMENT PLAN

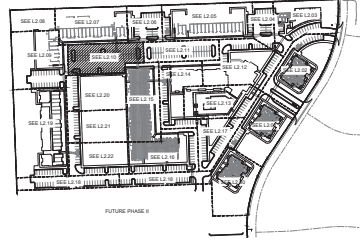
GENERAL NOTES:

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 - ALL TREES SHALL BE A MINIMUM OF 5' FROM PAVING EDGE.
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 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
- REFER TO L1.00 SERIES SHEETS FOR TREE PLANTINGS.
- REFER TO L2.00 SERIES SHEETS FOR SHRUB PLANTINGS & ROCK MATERIALS.
- REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.

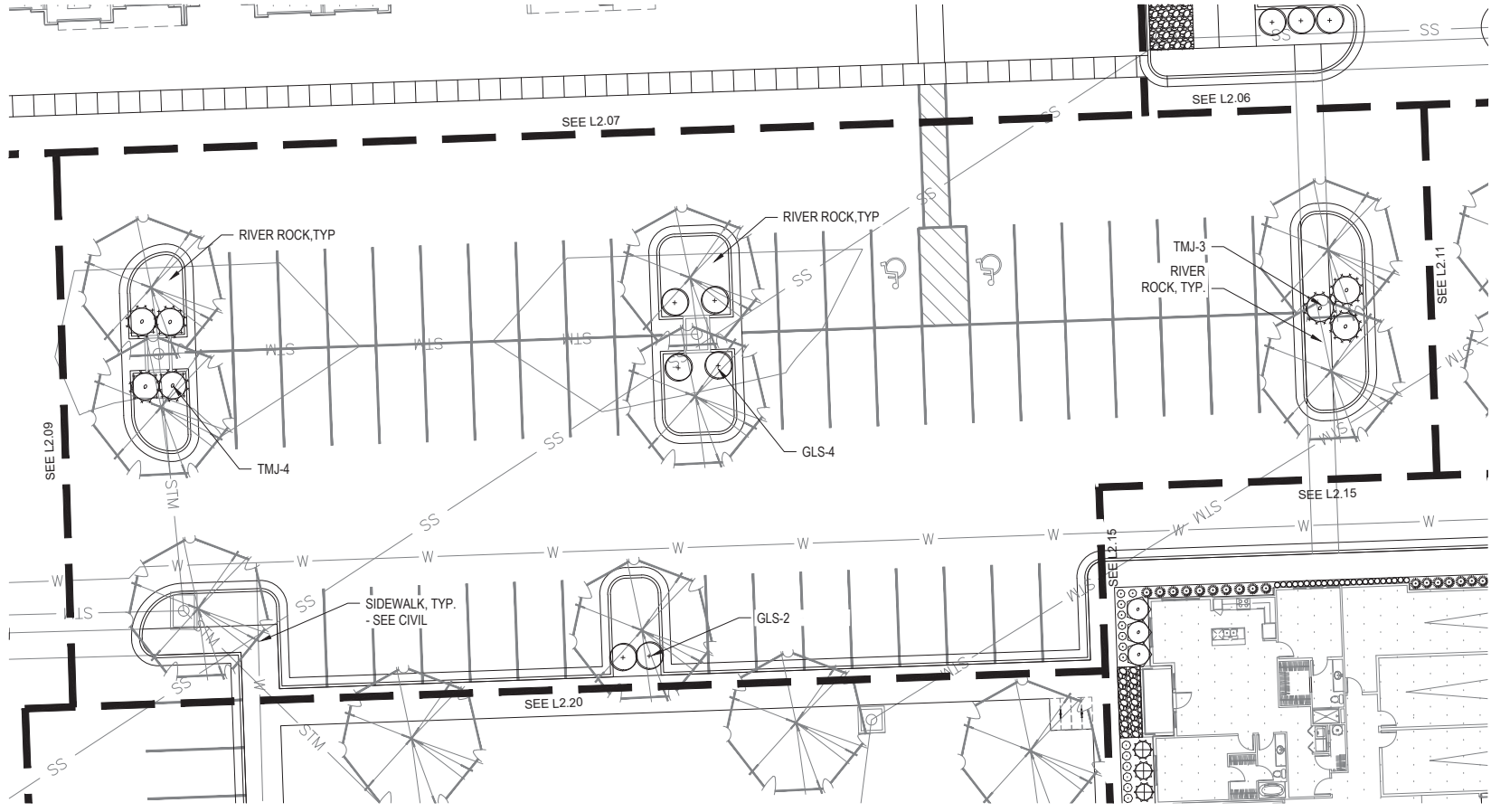
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- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 6" BELOW ROOT BALLS/BOTTOM OF CONTAINER. REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
- ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL TO BE SOD. SOD TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
- STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SEMCO MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE, 2-3" THICK.

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGH	China Girl Holly / Boy Holly	<i>Ilex x meservei 'Mecory'</i> / <i>Mecory'</i>	5 Gal.	5:1 Ratio
FOA	Fire Oak Arbutus	<i>Thuja occidentalis 'Sprenger'</i>	5 Gal.	
GAAC	Gold Moss Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal.	
GOA	Gray Oak Juniper	<i>Juniperus virginiana 'Grey Owl'</i>	5 Gal.	
MAA	Mini Major Arbutus	<i>Thuja occidentalis 'Mini Major'</i>	5 Gal.	
MAJ	Mini Juniper	<i>Juniperus sabina</i>	5 Gal.	
MLV	Mountain Viburnum	<i>Viburnum monticola</i>	5 Gal.	
PTA	Parrot Tree Arbutus	<i>Juniperus chinensis 'Parrot'</i>	5 Gal.	4' Ht.
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
TOA	Toddler Juniper	<i>Juniperus horizontalis 'Sage'</i>	1 Gal.	
WVJ	Winter Green Rowanwood	<i>Rosa microphylla 'Winter Green'</i>	5 Gal.	36-48"
Deciduous Shrubs				
DOA	Dragonhead Red Twigged Dogwood	<i>Cornus alba 'Vivid Red'</i>	5 Gal.	
EDR	Eastern Garden Hydrangea	<i>Hydrangea macrophylla 'Nelson'</i>	5 Gal.	
FLR	Flamingo Gold Forsythia	<i>Lyonsville x intermedia 'Flamingo Gold'</i>	5 Gal.	
GLS	Gold Leaf Spirea	<i>Spiraea japonica 'Golden Princess'</i>	5 Gal.	
GLS	Gold Leaf Spirea	<i>Spiraea japonica 'Golden Princess'</i>	5 Gal.	
GLS	Gold Leaf Spirea	<i>Spiraea japonica 'Golden Princess'</i>	5 Gal.	
KR	Knox Red Rose	<i>Rosa 'Knox'</i>	5 Gal.	
ML	Mini Major Arbutus	<i>Thuja occidentalis 'Mini Major'</i>	5 Gal.	
MCS	Major Carpet Spirea	<i>Spiraea japonica 'Major Carpet'</i>	2 Gal.	
QJ	Queen of Sheba Juniper	<i>Juniperus chinensis 'Queen of Sheba'</i>	5 Gal.	
ROS	Rose of Sharon/Althea	<i>Hibiscus syriacus 'America Home Scott'</i>	5 Gal.	
WV	Winter Green Rowanwood	<i>Rosa microphylla 'Winter Green'</i>	5 Gal.	
Grasses				
FG	Wool Fescue Grass	<i>Calamagrostis x acutiflora 'Wool Fescue'</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
NSG	Northwind Switch Grass	<i>Panicum virgatum 'Northwind'</i>	2 Gal.	
POB	Praline Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Starburst Linum	<i>Linum catharticum</i>	2 Gal.	
Perennials				
CG	Cornus	<i>Cornus x sinensis 'Winter's Love'</i>	1 Gal.	
ES	Black-eyed Susan	<i>Rudbeckia hirta var. 'Fulgate'</i>	1 Gal.	
GL	Daylily	<i>Hemerocallis 'Black-eyed Susan'</i> or <i>'Little Bells'</i>	1 Gal.	
HS	Hosta Frag. Itz	<i>Hosta 'Frag. Itz'</i>	1 Gal.	
MS	Maui Sage	<i>Salvia nemorosa 'Maui Knight'</i>	1 Gal.	
RA	Rainier Beauty Alum	<i>Alumina 'Rainier Beauty'</i>	1 Gal.	
RD	Autumn Joy Sedum	<i>Hylotelephium 'RedHotRider'</i> / <i>Autumn Joy</i>	1 Gal.	
Annuals				



KEY PLAN
1" = 200'-0"



SHRUB PLANTING PLAN
1" = 10'-0"

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PRAIRIE VILLAGE, KS 66208

A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD. LENEXA, KANSAS

DRAINING RELEASE LOG

- 04/22/24 101 PDP SUBMITTAL
- 04/22/24 202 PDP SUBMITTAL
- 04/22/24 PDP SUBMITTAL

REVISIONS

JOB NO: 747723
DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME:
SHRUB PLANTING PLAN - PARKING AREA
SHEET NO. **L2.10**

FINAL DEVELOPMENT PLAN

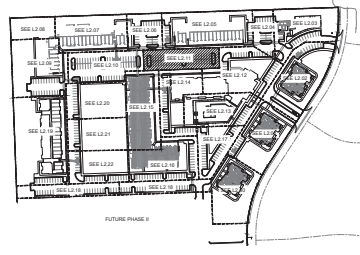
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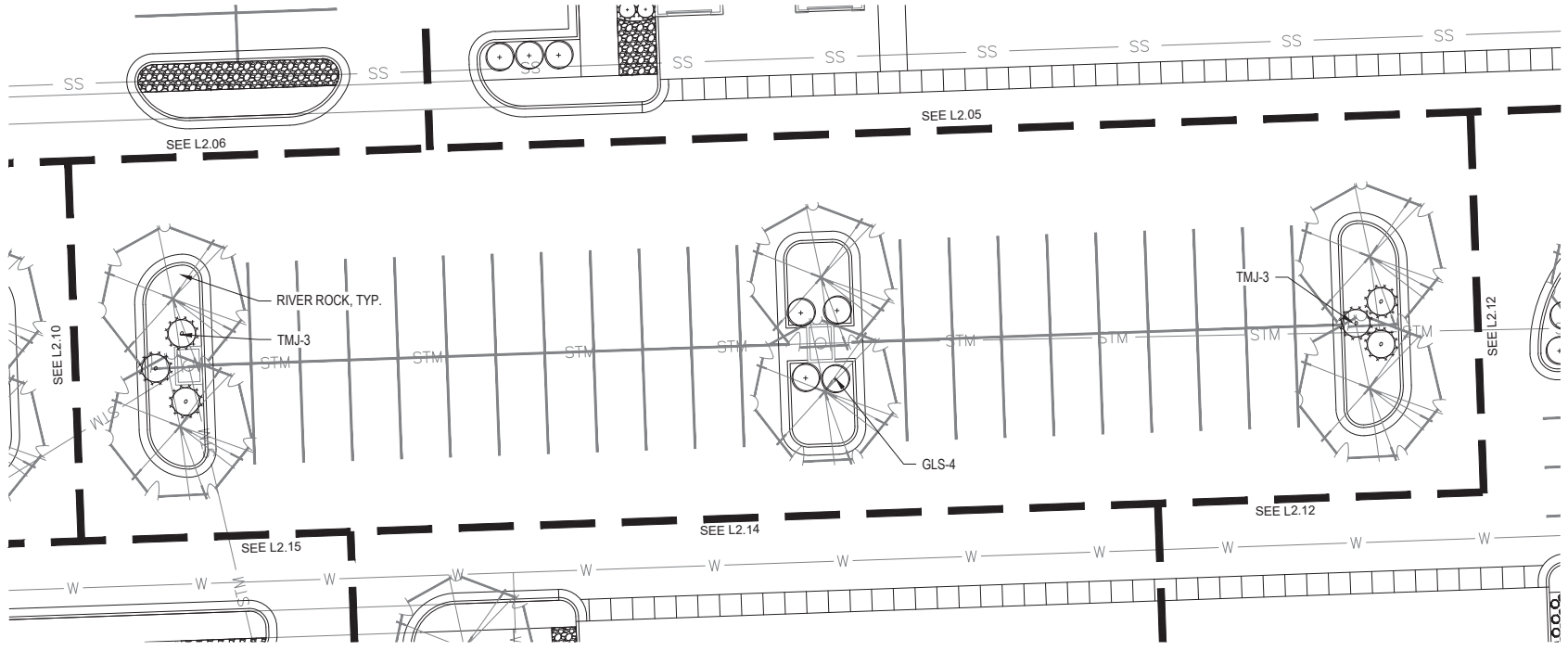
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PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
COA	China Girl Holly / Boy Holly	<i>Ilex x meservei 'Meisig' / 'Meisig'</i>	5 Gal.	5:1 Ratio
FOA	Forsythia	<i>Forsythia x intermedia 'Sprenger'</i>	5 Gal.	
GAAC	Gold Mop Cypress	<i>Chamaecyparis platens 'Yellow Thread Branch'</i>	5 Gal.	
GOA	Grey Oak Juniper	<i>Juniperus virginiana 'Grey Owl'</i>	5 Gal.	
MAA	Mane Magnet Arborvitae	<i>Thuja occidentalis 'Mane Magnet'</i>	5 Gal.	
RAJ	Red Juniper	<i>Juniperus sabina</i>	5 Gal.	
ULV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLA	Parrotia Lindero	<i>Parrotia chinensis 'Parrotia'</i>	6 GAL. 6' Ht.	
SOA	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
TOA	Taylor Juniper	<i>Juniperus horizontalis 'Taylor'</i>	5 Gal.	
WVA	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	6 GAL. 36-48"	
Deciduous Shrubs				
DOA	Harvested Red Twigged Dogwood	<i>Cornus alba 'Variegata'</i>	5 Gal.	
FOA	Forsythia	<i>Forsythia x intermedia 'Sprenger'</i>	5 Gal.	
FOA	Lionel Gold Forsythia	<i>Forsythia x intermedia 'Lionel Gold'</i>	5 Gal.	
GOA	Grey Oak Juniper	<i>Juniperus virginiana 'Grey Owl'</i>	5 Gal.	
MAA	Mane Magnet Arborvitae	<i>Thuja occidentalis 'Mane Magnet'</i>	5 Gal.	
RAJ	Red Juniper	<i>Juniperus sabina</i>	5 Gal.	
ULV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLA	Parrotia Lindero	<i>Parrotia chinensis 'Parrotia'</i>	6 GAL. 6' Ht.	
SOA	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
TOA	Taylor Juniper	<i>Juniperus horizontalis 'Taylor'</i>	5 Gal.	
WVA	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	6 GAL. 36-48"	
Grasses				
MG	Meadow Grass	<i>Poa annua</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
NSG	Northwest Switch Grass	<i>Panicum virgatum 'Northwest'</i>	2 Gal.	
POB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Strawberry Licorice	<i>Limonium carolinianum</i>	2 Gal.	
Perennials				
COA	China Girl Holly	<i>Ilex x meservei 'Meisig'</i>	1 Gal.	
DOA	Harvested Red Twigged Dogwood	<i>Cornus alba 'Variegata'</i>	1 Gal.	
FOA	Forsythia	<i>Forsythia x intermedia 'Sprenger'</i>	1 Gal.	
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SOA	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	1 Gal.	
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WVA	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	1 Gal.	



KEY PLAN
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SHRUB PLANTING PLAN
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A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD. LENEXA, KANSAS

DRAWING RELEASE LOG

- 04/22/24 10:28 AM FOR SUBMITTAL
- 04/22/24 2:02 PM FOR SUBMITTAL
- 04/22/24 4:02 PM FOR SUBMITTAL
- 04/22/24 4:02 PM FOR SUBMITTAL

REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME: SHRUB PLANTING PLAN - PARKING AREA
SHEET NO. **L2.11**

FINAL DEVELOPMENT PLAN

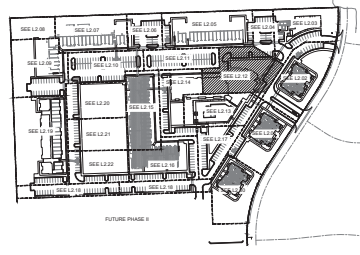
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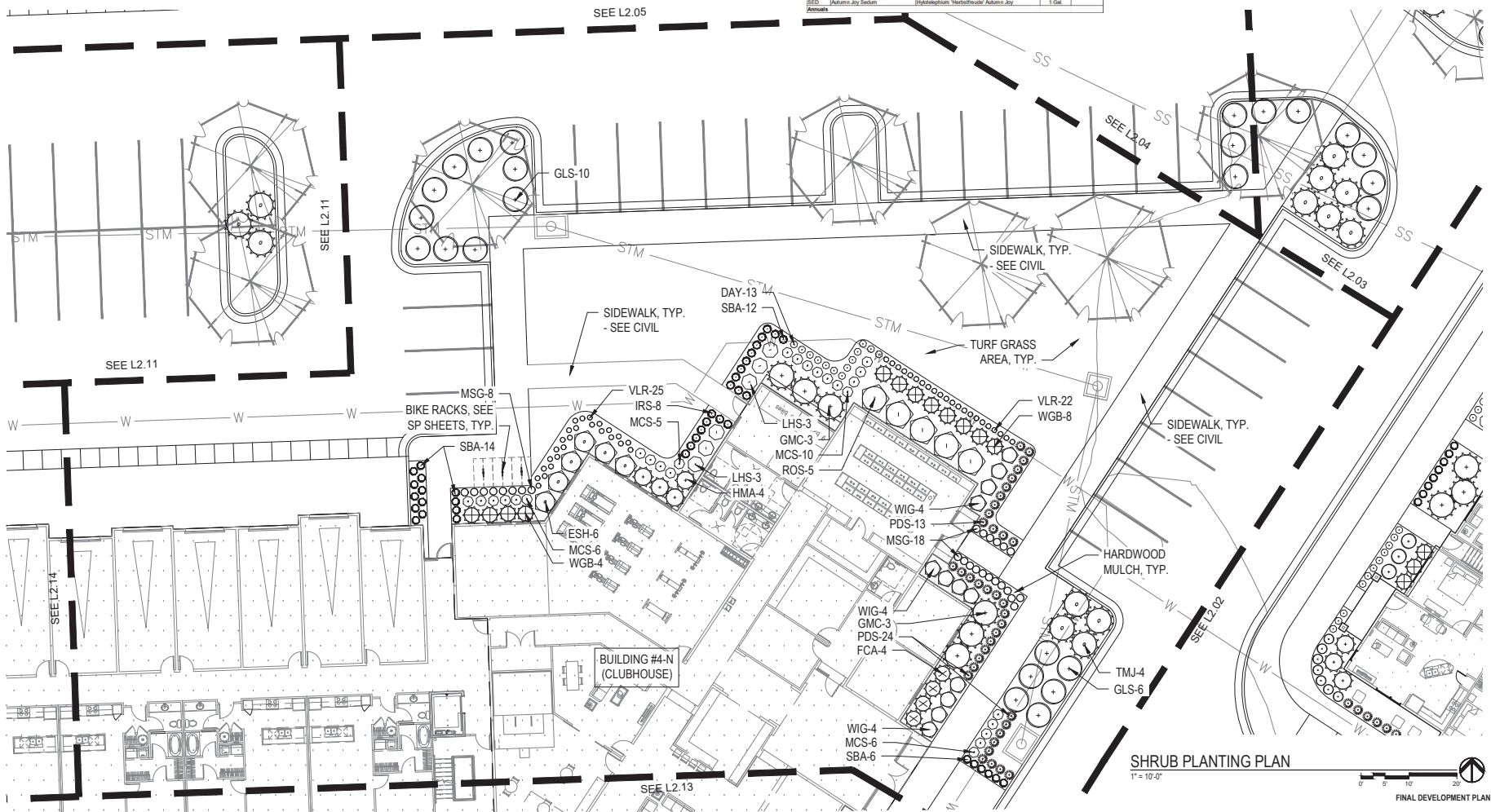
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CGH	China Girl Holly / Boy Holly	<i>Ilex x meserveae</i> 'Merrill' / 'Merrill'	5 Gal.	5:1 Ratio
FOA	Fire Chief Arborvitae	<i>Thuja occidentalis</i> 'Sprenger'	5 Gal.	
GOAC	Gold Mop Cypress	<i>Chamaecyparis platensis</i> 'Yellow Thread Branch'	5 Gal.	
GOJ	Goey Oval Juniper	<i>Juniperus sibirica</i> 'Goey Oval'	5 Gal.	
HMA	Heir Major Arbutus	<i>Thuja occidentalis</i> 'Heir Major'	5 Gal.	
IMJ	Iron Maiden	<i>Juniperus sibirica</i>	5 Gal.	
LLV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLA	Perfecta Arborvitae	<i>Juniperus chinensis</i> 'Perfecta'	6 Gal.	6:1 R.R.
SOJ	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	5 Gal.	
TOP	Topiary Juniper	<i>Juniperus sibirica</i> 'Topiary'	5 Gal.	
WGR	Winter Green Boxwood	<i>Buxus microphylla</i> 'Winter Green'	6 Gal.	30:40"
Deciduous Shrubs				
DOV	Downy Woodpecker Tree Trunk Dogwood	<i>Cornus alba</i> 'Variegata'	5 Gal.	
ELC	Electric Summer Hydrangea	<i>Hydrangea macrophylla</i> 'Endless Summer'	5 Gal.	
GLS	Green and Gold Forsythia	<i>Forsythia x intermedia</i> 'Green and Gold'	5 Gal.	
GLS	Light and Dark Forsythia	<i>Forsythia x intermedia</i> 'Light and Dark'	5 Gal.	
GLS	Goldflame Forsythia	<i>Forsythia x intermedia</i> 'Goldflame'	5 Gal.	
GLS	Goldflame Forsythia	<i>Forsythia x intermedia</i> 'Goldflame'	5 Gal.	
KWB	Knox White Rose	<i>Rosa knoxiana</i>	5 Gal.	
LHS	Little Henry Sweetgum	<i>Liquidambar styraciflua</i> 'Little Henry'	5 Gal.	
MCS	Major Carpet Stone	<i>Spiraea japonica</i> 'Major Carpet'	2 Gal.	
QIB	Queen of Hearts	<i>Chamaecyparis obtusa</i> 'Queen of Hearts'	5 Gal.	
ROS	Rose of Sharon/Althea	<i>Hibiscus syriacus</i> 'America Home Scott'	5 Gal.	
WVG	White Vine Weigela	<i>Weigela florida</i> 'Brilliant'	5 Gal.	
Grasses				
FGS	Wool Fescue Grass	<i>Calamagrostis x acutiflora</i> 'Wool Fescue'	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis</i> 'Morning Light'	2 Gal.	
NSG	Northern Sea Breeze Grass	<i>Panicum virgatum</i> 'Sea Breeze'	2 Gal.	
PDB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Striped Liriodendron	<i>Liriodendron tulipifera</i>	5 Gal.	
Perennials				
CLM	Common Clematis	<i>Clematis integriflora</i> 'Mistral'	1 Gal.	
RES	Black-eyed Susan	<i>Rudbeckia hirta</i> var. <i>fulgida</i>	1 Gal.	
DAY	Daylily	<i>Hemerocallis</i> 'Black-eyed Susan' or 'Little Blossom'	1 Gal.	
DIS	Black Day Lily	<i>Black-eyed Susan</i>	1 Gal.	
MSG	Master Garden	<i>Salvia nemorosa</i> 'May Knight'	1 Gal.	
SBA	Summer Breeze Salvia	<i>Salvia nemorosa</i> 'Summer Breeze'	1 Gal.	
WIG	White Flowering Yucca	<i>Yucca filamentosa</i> 'White Flowering'	1 Gal.	



KEY PLAN
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FINAL DEVELOPMENT PLAN

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DRAINING/SEWER LOG

- 01.25.24 101 PDP SUBMITTAL
- 02.16.24 240 PDP SUBMITTAL
- 03.23.24 PDP SUBMITTAL

REVISIONS

JOB NO: 747723
DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME:
SHRUB PLANTING PLAN
- BUILDING #4-N (CLUB)
SHEET NO.

L2.12

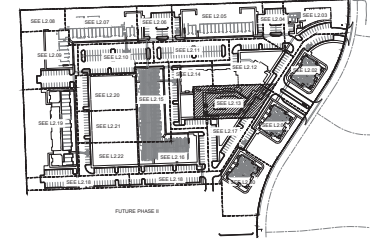
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 - A. CREEPING GROUNDCOVER SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - B. ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - C. ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - D. ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
3. NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
5. REFER TO L1.00 SERIES SHEETS FOR TREE PLANTINGS.
6. REFER TO L2.00 SERIES SHEETS FOR SHRUB PLANTINGS & ROCK MATERIALS.
7. REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.

8. IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
9. STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 6" BELOW ROOT BALLS/BOTTOM OF CONTAINER, REFER TO L3.00 FOR PLANTING SOIL MIX.
10. ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
11. ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
12. FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
13. ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL TO BE SOD. SOD TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
14. STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SEMCO MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE, 2-3" THICK.

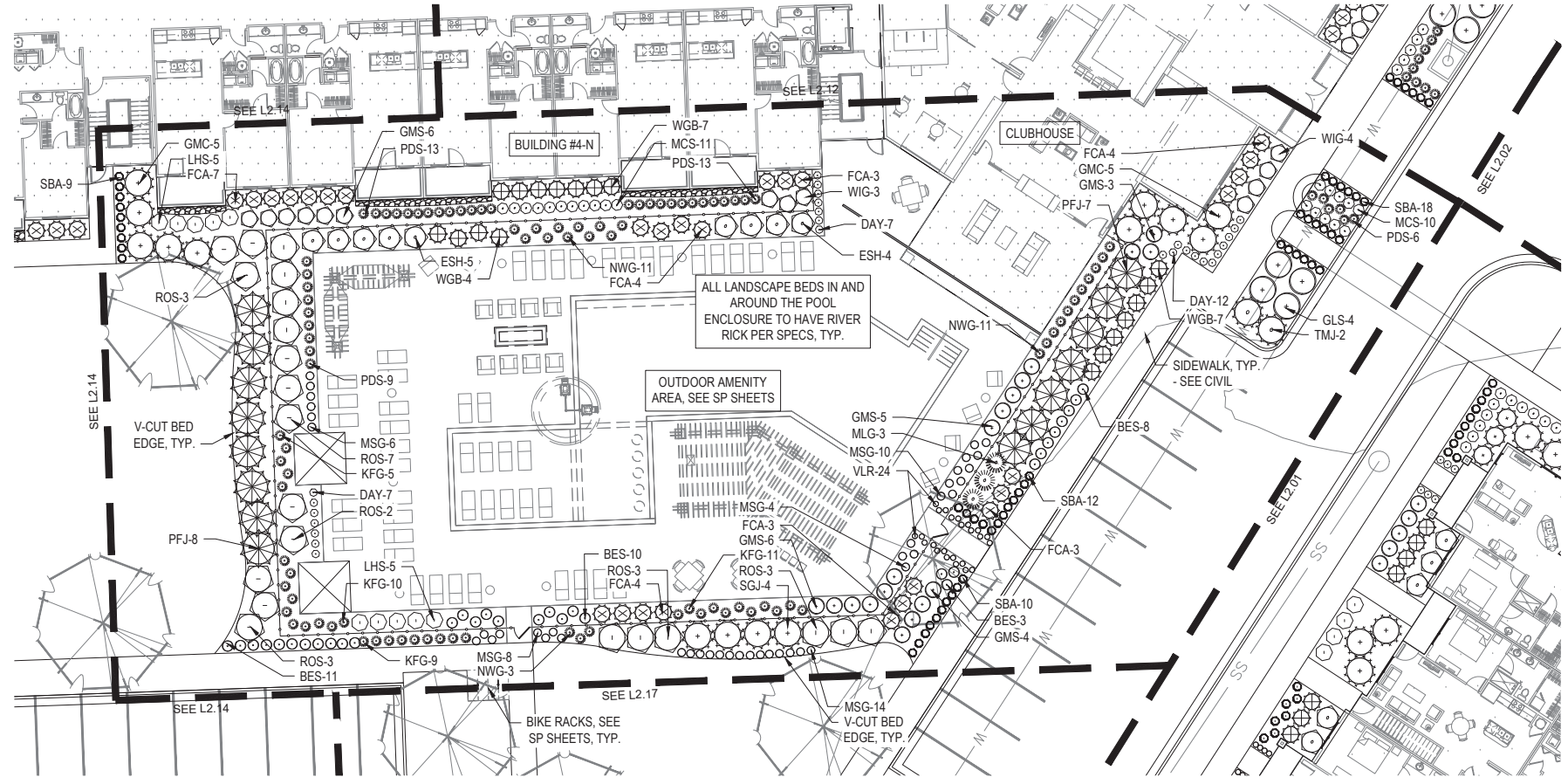
PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGM	China Girl Holly / Bay Holly	<i>Ilex microcarpa</i> 'Mexley' / 'Mexley'	5 Gal.	5:1 Ratio
FCA	Fire Chief Arborvitae	<i>Thuja occidentalis</i> 'Sprenger'	5 Gal.	
GMG	Gold Mop Cypress	<i>Chamaecyparis platensis</i> 'Yellow Thread Branch'	5 Gal.	
GOJ	Gray Joint Juniper	<i>Juniperus virginiana</i> 'Gray Joint'	5 Gal.	
HTM	Hart Midget Arbutus	<i>Thuja occidentalis</i> 'Hart Midget'	5 Gal.	
LD	Lemmon Juniper	<i>Juniperus sibirica</i>	5 Gal.	
LLV	Lambert's Yew	<i>Yewnum macrocarpum</i>	5 Gal.	
LJY	Little Leaf Yew	<i>Yewnum chinensis</i> 'Perfecta'	5 Gal.	8:18
SOJ	Sora Green Juniper	<i>Juniperus chinensis</i> 'Sora Green'	5 Gal.	
VDR	Vander Zanden Juniper	<i>Juniperus sibirica</i> 'Vander Zanden'	5 Gal.	
WVJ	Winter Green Juniper	<i>Juniperus macrocarpa</i> 'Winter Green'	5 Gal.	30:40"
Deciduous Shrubs				
DOV	Dwarf Spotted Red Twigged Dogwood	<i>Cornus alba</i> 'Vercy Hall'	5 Gal.	
FRS	Forsythia	<i>Forsythia intermedia</i> 'Forsyth'	5 Gal.	
FRK	Lowwood Gold Forsythia	<i>Forsythia intermedia</i> 'Lowwood Gold'	5 Gal.	
GRS	Gold Leaf Spirea	<i>Spiraea japonica</i>	5 Gal.	
GRV	Goldcrest Spirea	<i>Spiraea japonica</i> 'Goldcrest'	5 Gal.	
HNE	Hardy Nandina	<i>Nandina domestica</i>	5 Gal.	
HRK	Hardy Rose	<i>Rosa Knockout</i>	5 Gal.	
LHS	Little Henry Greeneyes	<i>Yucca glauca</i> 'Little Henry'	5 Gal.	
MCS	Major Carpet Spirea	<i>Spiraea japonica</i> 'Major Carpet'	2 Gal.	
MSG	Mesquero Spirea	<i>Spiraea japonica</i> 'Mesquero Spirea'	5 Gal.	
ROJ	Regent Top Rose of Sharon/Althea	<i>Hibiscus syriacus</i> 'America Home Scott'	5 Gal.	
WVG	Winter White Viburnum	<i>Viburnum bicolor</i> 'Strawford'	5 Gal.	
Grasses				
FFS	Wolf Fescue Grass	<i>Calamagrostis acutiflora</i> 'Wolf Fescue'	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Macrorhynchus tenuis</i> 'Morning Light'	2 Gal.	
NRG	Northern Border Grass	<i>Panicum virgatum</i> 'Northern Border'	2 Gal.	
PDR	Praline Drizzled	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Strawberry Limepop	<i>Lycopodium obscurum</i>	2 Gal.	
Perennials				
CSE	Cornus	<i>Nepenthes × hybridum</i> 'Lion'	5 Gal.	
BES	Black End Susan	<i>Rudbeckia hirta</i> var. <i>fulgida</i>	1 Gal.	
DWY	Dwarf Daylily	<i>Hamamelis</i> 'Black End Stella' or 'Little Bowsprit'	1 Gal.	
HSP	Hardy Spirea	<i>Spirea japonica</i>	1 Gal.	
MSG	Mesquero Spirea	<i>Spiraea japonica</i> 'Mesquero Spirea'	1 Gal.	
SBA	Siberian Bealy-flower	<i>Salix nemoralis</i> 'May Knight'	1 Gal.	
SLJ	Siberian Juniper	<i>Juniperus sibirica</i>	1 Gal.	
RJD	Autumn Joy Sedum	<i>Hylotelephium 'RedHotPoker'</i> 'Autumn Joy'	1 Gal.	



KEY PLAN

1" = 200'-0"



SHRUB PLANTING PLAN

1" = 10'-0"



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1130 WOODSON RD
PRAIRIE VILLAGE, KS 66208

A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD. LENEXA, KANSAS

DRAINAGE RELEASE LOG

- 01/25/24 181 PDF SUBMITTAL
- 02/15/24 202 PDF SUBMITTAL
- 03/22/24 PDF SUBMITTAL

REVISIONS

JOB NO: 747723
DATE: 04.22.24
DRAWN BY: BH/MM

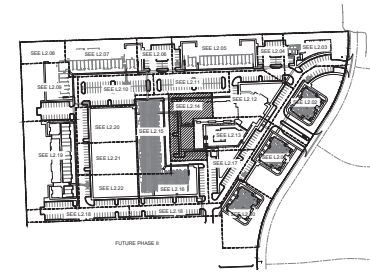
SHEET NAME:
SHRUB PLANTING PLAN - OUTDOOR AMENITY AREA
SHEET NO.:
L2.13

- GENERAL NOTES:**
- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
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 - CREEPING GROUNDCOVER SHALL BE A MINIMUM OF 7' FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 5' FROM PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
 - NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
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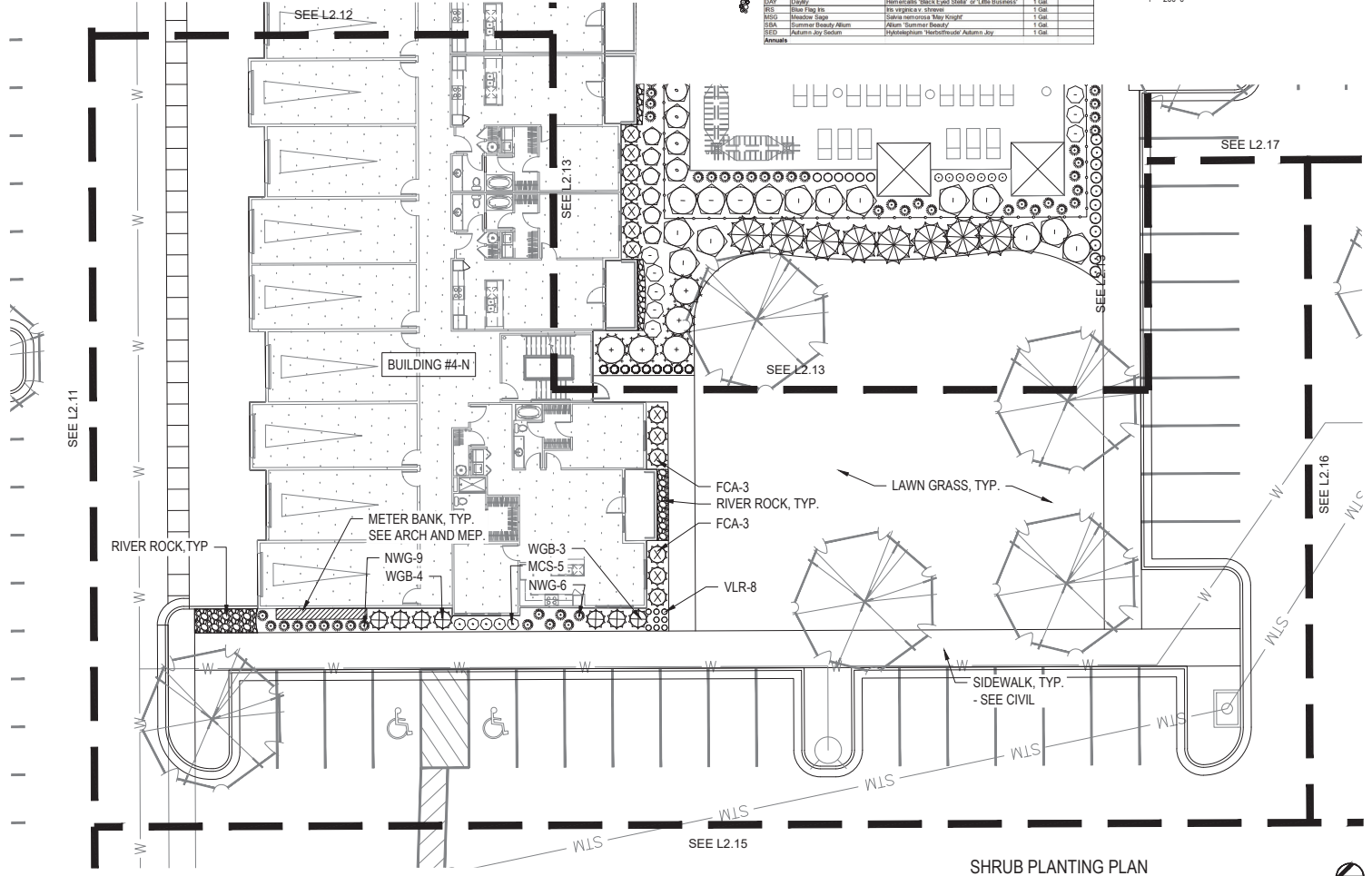
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- ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
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PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGM	China Girl Holly / Boy Holly	<i>Ilex microcarpa 'Microcl'</i>	5 Gal.	5:1 Ratio
FCA	Forsythia	<i>Forsythia viridissima</i>	5 Gal.	
GAC	Gold Mop Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal.	
GOJ	Goody Oak Juniper	<i>Juniperus virginiana 'Goody Oak'</i>	5 Gal.	
MAK	Mini Major Andromeda	<i>Thuja occidentalis 'Mini Major'</i>	5 Gal.	
MAJ	Major Juniper	<i>Juniperus horizontalis</i>	5 Gal.	
LLV	Little Leaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLV	Parrotia	<i>Parrotia chinensis 'Parrotia'</i>	6 Gal.	6:1 R.R.
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
TRV	Trident Juniper	<i>Juniperus horizontalis 'Trident'</i>	5 Gal.	
WVJ	Winter Green Rowanwood	<i>Rubus macrophylla 'Winter Green'</i>	6 Gal.	36-48"
Deciduous Shrubs				
DOJ	Decorative Red Twigged Dogwood	<i>Cornus alba 'Variegata'</i>	5 Gal.	
FCA	Forsythia	<i>Forsythia macrophylla 'Ballnet'</i>	5 Gal.	
FGB	Flamingo Gold Forsythia	<i>Forsythia x intermedia 'Flamingo Gold'</i>	5 Gal.	
GLS	Gold Leaf Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal.	
GSS	Goldmound Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal.	
KNS	Knockout Rose	<i>Rosa 'Knockout'</i>	5 Gal.	
LIS	Little Henry Sweetgum	<i>Liquidambar styraciflua 'Little Henry'</i>	5 Gal.	
MCS	Major Carpet Spirea	<i>Spiraea japonica 'Major Carpet'</i>	2 Gal.	
QIS	Queen Elizabeth	<i>Chimonodoxys tinctoria 'Queen Elizabeth'</i>	5 Gal.	
ROS	Rose of Sharon/Althea	<i>Hibiscus syriacus 'America Home Scott'</i>	5 Gal.	
WVJ	Winter Green Rowanwood	<i>Rubus 'Winter Green'</i>	5 Gal.	
Grasses				
WFL	Wool Fescue Grass	<i>Calamagrostis acutiflora 'Wool Fescue'</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
NSG	Northwind Switch Grass	<i>Panicum virgatum 'Northwind'</i>	2 Gal.	
POB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Starburst Linum	<i>Linum catharticum</i>	5" pot.	
Perennials				
CAF	Carex	<i>Nepenthes 'Mikasa's Love'</i>	1 Gal.	
SES	Black Eye Susan	<i>Rudbeckia hirta var. Fullgate</i>	1 Gal.	
TRV	Trident Juniper	<i>Juniperus chinensis 'Trident'</i>	1 Gal.	
WFL	Wool Fescue Grass	<i>Calamagrostis acutiflora 'Wool Fescue'</i>	1 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	1 Gal.	
NSG	Northwind Switch Grass	<i>Panicum virgatum 'Northwind'</i>	1 Gal.	
POB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	1 Gal.	
SLR	Starburst Linum	<i>Linum catharticum</i>	1 Gal.	
WVJ	Winter Green Rowanwood	<i>Rubus 'Winter Green'</i>	1 Gal.	
Annuals				
ADJ	Autumn Joy Sedum	<i>Hylotelephium 'RedHotRider'</i>	Autumn Joy	



KEY PLAN
1" = 200'-0"



SHRUB PLANTING PLAN
1" = 10'-0"

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A NEW MULTIFAMILY DEVELOPMENT FOR:
THE RESERVE AT COPPER CREEK
W. 89TH ST. & WOODSONIA RD. LENEXA, KANSAS

DRAINING ENGINEER

● 01/23/24 PDF SUBMITTAL
● 02/15/24 2ND PDF SUBMITTAL
● 03/14/24 PDF SUBMITTAL
● 04/23/24 PDF SUBMITTAL

REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH/MM

SHEET NAME: SHRUB PLANTING PLAN - BUILDING #4-N
SHEET NO: L2.14

FINAL DEVELOPMENT PLAN

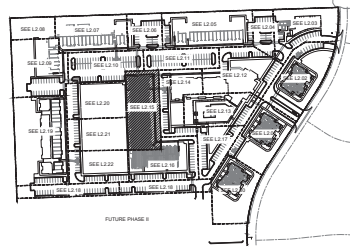
GENERAL NOTES:

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- 2. THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - A. CREEPING GROUNDCOVER SHALL BE A MINIMUM OF 4" FROM PAVING EDGE.
 - B. ALL TREES SHALL BE A MINIMUM OF 5' FROM PAVING EDGE.
 - C. ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - D. ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- 3. NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
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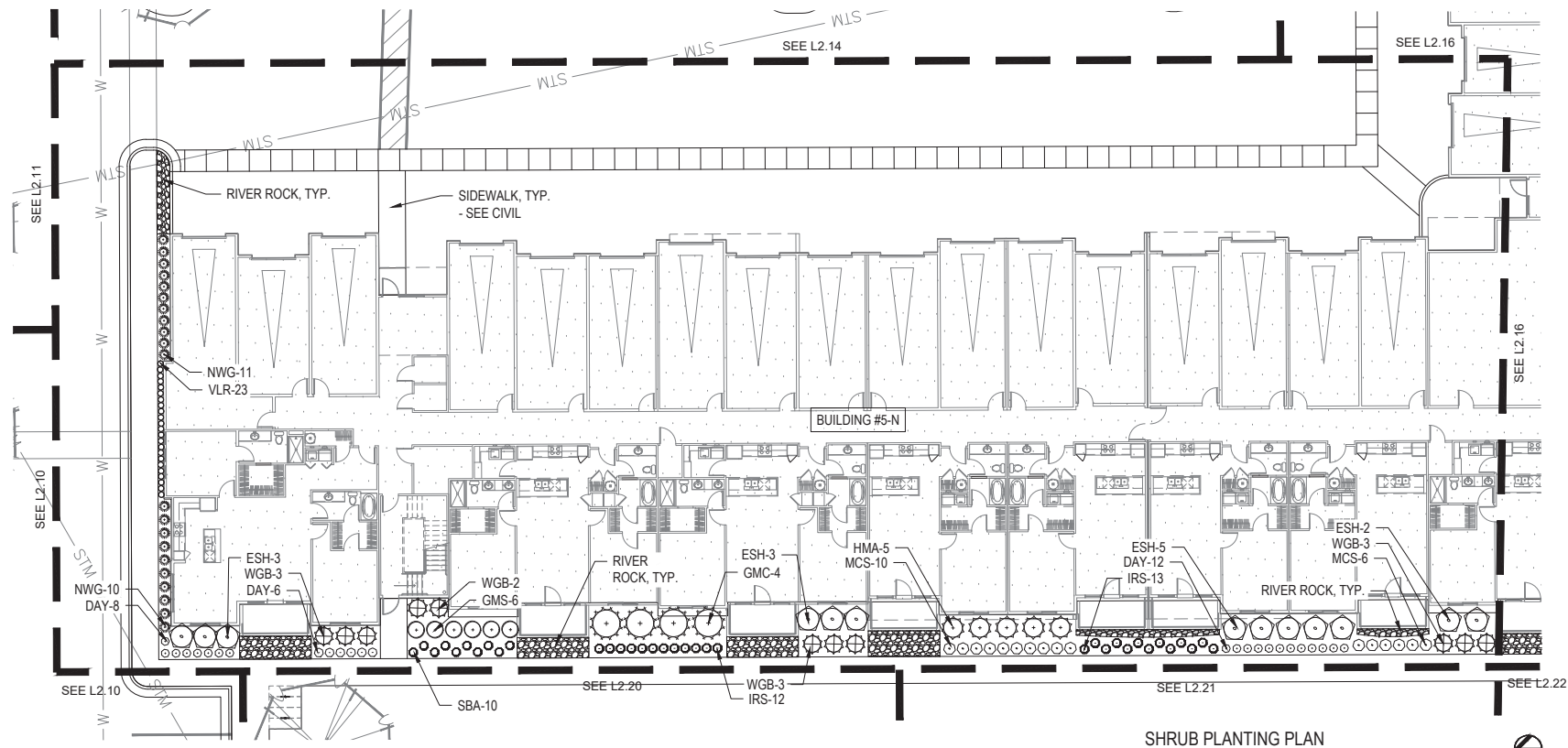
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- 10. ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1'-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- 11. ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- 12. FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
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PLANT LIST

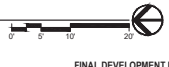
Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CAH	China Girl Holly / Boy Holly	<i>Ilex x meservei 'Meisel'</i>	5 Gal.	5:1 Ratio
FOA	Forsythia	<i>Forsythia x intermedia 'Spring'</i>	5 Gal.	
GMG	Gold Mop Cypress	<i>Chamaecyparis platens 'Yellow Thread Branch'</i>	5 Gal.	
SOJ	Scary Owl Juniper	<i>Juniperus sibirica 'Scary Owl'</i>	5 Gal.	
HAK	Hardy Major Andromeda	<i>Thuja occidentalis 'Hardy Major'</i>	5 Gal.	
PLJ	Plant Juniper	<i>Juniperus sibirica</i>	5 Gal.	
LLV	Lambert's Viburnum	<i>Viburnum xanthodorum</i>	5 Gal.	
PLF	Pacific Juniper	<i>Juniperus chinensis 'Pacifica'</i>	5 Gal.	5:1 R.R.
SOJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
TOY	Toy Juniper	<i>Juniperus horizontalis 'Spartan'</i>	5 Gal.	
WGR	Winter Green Rowanwood	<i>Ribes microcarpum 'Winter Green'</i>	600	36-48"
Deciduous Shrubs				
DOV	Decorative Red Twigged Dogwood	<i>Cornus alba 'Variegata'</i>	5 Gal.	
FLA	Florida Summer Hydrangea	<i>Hydrangea macrophylla 'Habanero'</i>	5 Gal.	
FLG	Flamingo Gold Forsythia	<i>Forsythia x intermedia 'Flamingo Gold'</i>	5 Gal.	
GLS	Gift Line Juniper	<i>Juniperus sibirica</i>	5 Gal.	
GLB	Goldspire Spirea	<i>Spiraea japonica 'Goldspire'</i>	5 Gal.	
KIB	Knockout Rose	<i>Rosa Knockout</i>	5 Gal.	
UIS	Ultra Heavy Weenopine	<i>Juniperus sibirica 'Ultra Heavy'</i>	5 Gal.	
MCS	Major Carpet Spirea	<i>Spiraea japonica 'Major Carpet'</i>	2 Gal.	
GRS	Greenery Spirea	<i>Spiraea japonica 'Greenery Spirea'</i>	5 Gal.	
ROS	Roger's Rose of Sharon/Althea	<i>Hibiscus syriacus 'America Home Scott'</i>	5 Gal.	
WVS	Wine Vines Vinehoop	<i>Vitis rotundifolia 'Stromboli'</i>	5 Gal.	
Grasses				
WFL	Wall Fountain Grass	<i>Calamagrostis x acutiflora 'Wall Fountain'</i>	2 Gal.	
MIG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
WVS	Wine Vines Vinehoop	<i>Vitis rotundifolia 'Stromboli'</i>	2 Gal.	
PDB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Striped Limbo	<i>Limonium latifolium</i>	5" pot	
Perennials				
CAF	Camellia	<i>Nandina domestica 'Mikaela's Love'</i>	1 Gal.	
SES	Black Eye Susan	<i>Rudbeckia hirta var. 'Fulgate'</i>	1 Gal.	
DAY	Daylily	<i>Hemerocallis 'Black Eye Susie'</i> or 'Little Suzanna'	1 Gal.	
RS	Red Top Iris	<i>Iris sibirica 'Red Top'</i>	1 Gal.	
HSG	Headed Sage	<i>Salvia nemorosa 'May Knight'</i>	1 Gal.	
RA	Rainier Beauty Alum	<i>Alumina 'Rainier Beauty'</i>	1 Gal.	
AD	Autumn Joy Sedum	<i>Hydrangeaphylum 'HeidiFouder'</i> Autumn Joy	1 Gal.	



KEY PLAN
1" = 200'-0"



SHRUB PLANTING PLAN
1" = 10'-0"



FINAL DEVELOPMENT PLAN

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A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD. LENEXA, KANSAS

DRAINING DECREASE LOG

- 01/24/24 101 FOR SUBMITTAL
- 02/16/24 240 FOR SUBMITTAL
- 04/12/24 FOR SUBMITTAL

REVISIONS

JOB NO: 747723
DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME:
SHRUB PLANTING
PLAN - BUILDING #5-N
SHEET NO.

L2.15

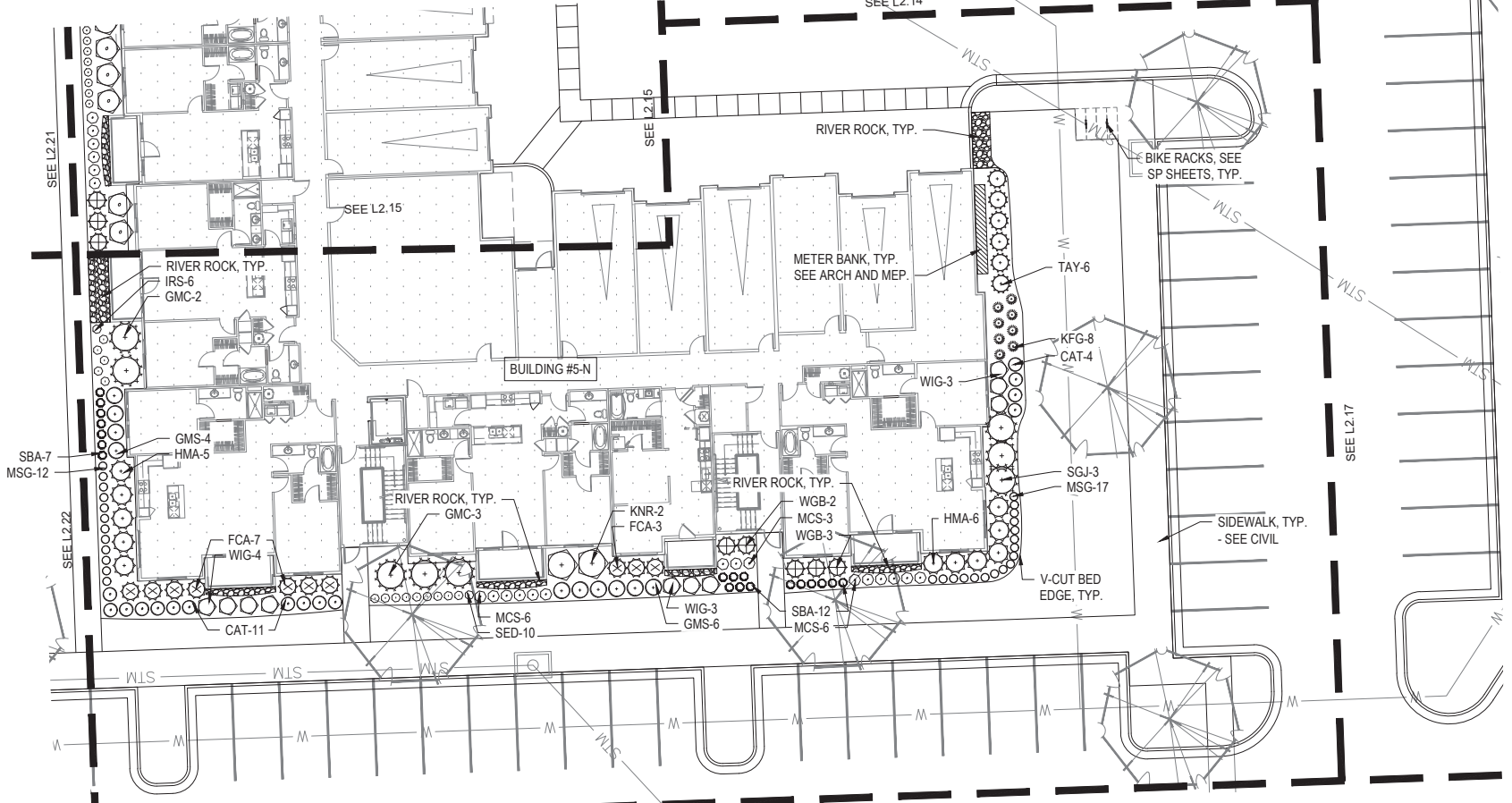
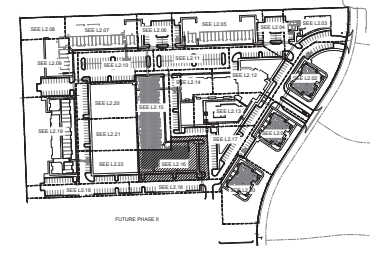
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 - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
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- REFER TO L2.00 SERIES SHEETS FOR SHRUB PLANTINGS & ROCK MATERIALS.
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- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 8" BELOW ROOT BALLS/BOTTOM OF CONTAINER. REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
- ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL TO BE SOD. SOD TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
- STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SEMCO MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE. 2-3" THICK.

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
FCA	China Girl Holly / Bay Holly	<i>Ilex microcarpa 'Merrill'</i>	5 Gal.	5:1 Ratio
FCA	Pink Cloud Arborvitae	<i>Thuja occidentalis 'Sprenger'</i>	5 Gal.	
GAAC	Gold Mop Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal.	
GOJ	Gray Oak Juniper	<i>Juniperus virginiana 'Gray Owl'</i>	5 Gal.	
HAK	Heath Midget Arborvitae	<i>Thuja occidentalis 'Heath Midget'</i>	5 Gal.	
IMJ	Iron Midge Juniper	<i>Juniperus horizontalis 'Iron Midge'</i>	5 Gal.	
LLV	Littleleaf Viburnum	<i>Viburnum trilobatum</i>	5 Gal.	
PLT	Prickly Juniper	<i>Juniperus chinensis 'Purshii'</i>	6.68' @ 18"	
SOJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
YAF	Yucca Filifera	<i>Yucca filifera 'Yucca'</i>	1 Gal.	
WGB	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	6.68' @ 18"	
Deciduous Shrubs				
DOJ	Downy Woodpecker	<i>Coronilla varia 'Vary Holly'</i>	5 Gal.	
FCA	China Girl Arborvitae	<i>Thuja occidentalis 'Sprenger'</i>	5 Gal.	
FCA	Iron Midge Juniper	<i>Juniperus horizontalis 'Iron Midge'</i>	5 Gal.	
GAAC	Gold Mop Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal.	
GOJ	Gray Oak Juniper	<i>Juniperus virginiana 'Gray Owl'</i>	5 Gal.	
HAK	Heath Midget Juniper	<i>Thuja occidentalis 'Heath Midget'</i>	5 Gal.	
IMJ	Iron Midge Juniper	<i>Juniperus horizontalis 'Iron Midge'</i>	5 Gal.	
LLV	Littleleaf Viburnum	<i>Viburnum trilobatum</i>	5 Gal.	
PLT	Prickly Juniper	<i>Juniperus chinensis 'Purshii'</i>	6.68' @ 18"	
SOJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
YAF	Yucca Filifera	<i>Yucca filifera 'Yucca'</i>	1 Gal.	
WGB	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	6.68' @ 18"	
Grasses				
WFG	Wool Fescue Grass	<i>Calamagrostis acutiflora 'Wool Fescue'</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
NSG	Norfolk Spirit Grass	<i>Panicum virgatum 'Norfolk Spirit'</i>	2 Gal.	
POB	Palms Drizzled	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Starburst Linum	<i>Linum catharticum</i>	2 Gal.	
Perennials				
CANR	Canada Reed	<i>Najas communis 'Canada Reed'</i>	1 Gal.	
SES	Black-eyed Susan	<i>Rudbeckia hirta var. 'Fulgate'</i>	1 Gal.	
DOJ	Downy Woodpecker	<i>Coronilla varia 'Black-eyed Susan'</i>	1 Gal.	
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DOJ	Downy Woodpecker	<i>Coronilla varia 'Black-eyed Susan'</i>	1 Gal.	
HSG	Heavenly Sage	<i>Salvia nemorosa 'May Knight'</i>	1 Gal.	
HSA	Heavenly Sage	<i>Salvia nemorosa 'May Knight'</i>	1 Gal.	
ADJ	Adam's Joy Sedum	<i>Hylotelephium 'Heidi's Wonder'</i>	1 Gal.	



SHRUB PLANTING PLAN
1" = 10'-0"

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A NEW MULTIFAMILY DEVELOPMENT FOR:
**THE RESERVE AT
COPPER CREEK**
W. 89TH ST. & WOODSONIA RD. LENEXA, KANSAS

DRAWING REVISION LOG

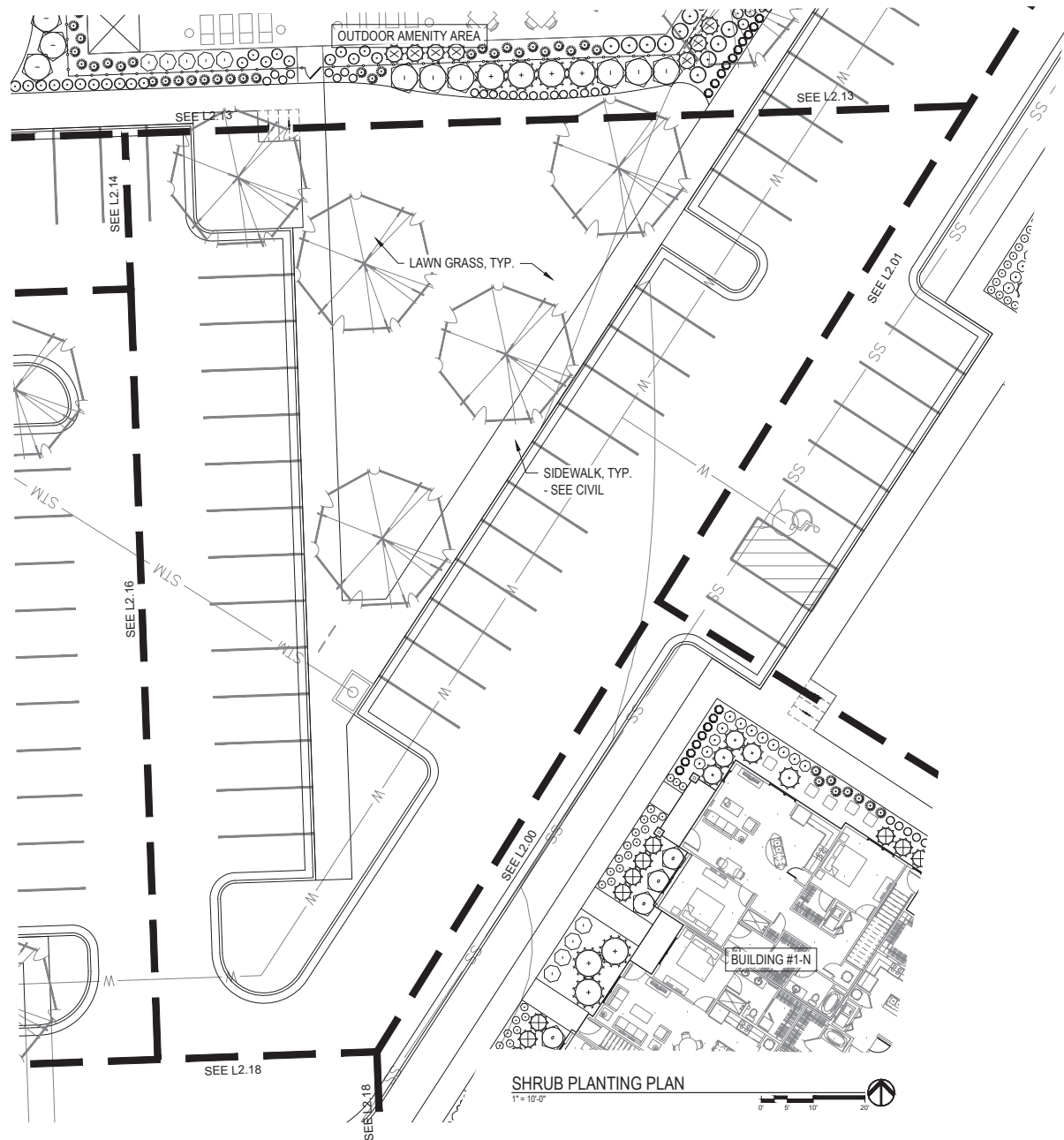
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- 04/22/24 240 PDP SUBMITTAL
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- 04/22/24 PDP SUBMITTAL

REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH / MM

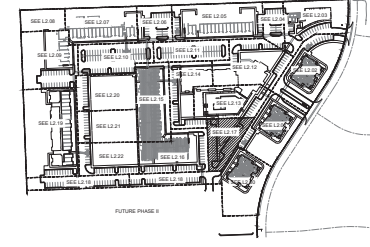
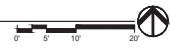
SHEET NAME: SHRUB PLANTING PLAN - BUILDING #5-N
SHEET NO. L2.16

FINAL DEVELOPMENT PLAN



SHRUB PLANTING PLAN

1" = 10'-0"



KEY PLAN

1" = 200'-0"

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGM	China Girl Holly / Boy Holly	<i>Ilex macrocarpa 'Massey'</i>	5 Gal	5:1 Ratio
FCR	Fire Chief Arborvitae	<i>Thuja occidentalis 'Sungold'</i>	5 Gal	
GMC	Gold Mop Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal	
SOA	Silly Oak Juniper	<i>Juniperus virginiana 'Silly Oak'</i>	5 Gal	
HMA	Holz Midget Arborvitae	<i>Thuja occidentalis 'Hetz Midget'</i>	5 Gal	
TRD	Tan Juniper	<i>Juniperus sp.</i>	5 Gal	
LVJ	Leatherleaf Viburnum	<i>Viburnum thyrsiflorum</i>	5 Gal	
PCF	Pacific Juniper	<i>Juniperus procumbens 'Pacifika'</i>	5 Gal	8' H.
SGJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal	
FRF	Fire Red Juniper	<i>Juniperus virginiana 'Foster'</i>	5 Gal	
WVSB	Winter Green Boxwood	<i>Buxus microphylla 'Winter Green'</i>	6.6B	36-48"
Deciduous Shrubs				
TCDF	Transected Red Tangled Dogwood	<i>Cornus alba 'Solei'</i>	5 Gal	
EHF	Endless Summer Hydrangea	<i>Hydrangea macrophylla 'Balmain'</i>	5 Gal	
FOR	Lanceleaf Gold Forsythia	<i>Forsythia x formosula 'Vanguard Gold'</i>	5 Gal	
GSL	Gloria Low Spirea	<i>Spiraea Armandii</i>	5 Gal	
GAB	Goldmound Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal	
KDR	Knockout Rose	<i>Rosa knoxiana</i>	5 Gal	
LHS	Like Henry Lavender	<i>Lonicera x like Henry</i>	5 Gal	
MCS	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal	
SLP	Showering Spirea	<i>Chaenactis japonica 'Shower Spirea'</i>	5 Gal	
RDS	Rose of Sharon/Rose	<i>Hibiscus syriacus 'Albermarle Queen Spiree'</i>	5 Gal	
HO	Hot Midge Dogwood	<i>Hydrangea paniculata 'Mophead'</i>	5 Gal	
Grasses				
KSJ	King of Spades Grass	<i>Chloropyrum x aristatum 'Leaf Framer'</i>	2 Gal	
MLG	Morning Light Maiden Grass	<i>Microstachys sinensis 'Morning Light'</i>	2 Gal	
WVSD	Wintergreen Sea Broom Grass	<i>Panicum virgatum 'Wintergreen'</i>	2 Gal	
PDS	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal	
ULS	Uniquely Lined Spirea	<i>Urtica dioica 'Uniquely Lined'</i>	8" pot	
Perennials				
CAT	Catmint	<i>Nepeta x 'Sixpack' 'Walker's Low'</i>	1 Gal	
RES	Black-eyed Susan	<i>Rudbeckia hirta var. 'Eclipse'</i>	1 Gal	
DAY	Daylily	<i>Hamamelis 'Black Day' 'Black Star' or 'Little Boonville'</i>	1 Gal	
RES	Blue Flag Iris	<i>Iris virginica x 'Shower'</i>	1 Gal	
MSG	Meadow Sage	<i>Salvia nemorosa 'May Knight'</i>	1 Gal	
ISA	Summer Candy Asters	<i>Aster 'Summer Candy'</i>	1 Gal	
SED	Autumn Joy Sedum	<i>Sedum spectabile 'Herbsttrauer'</i>	1 Gal	
Herbs				

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F. 913.831.1563
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A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAWING BY: [Logo]
 01/25/24 101 POF SUBMITTAL
 02/13/24 240 POF SUBMITTAL
 04/12/24 POF SUBMITTAL

REVISIONS

JOB NO: 747723
 DATE: 04.22.24
 DRAWN BY: BH / MM

SHEET NAME:
 SHRUB PLANTING PLAN
 - PARKING AREA
 SHEET NO.

FINAL DEVELOPMENT PLAN

L2.17

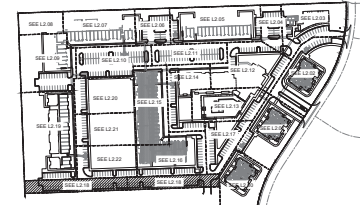
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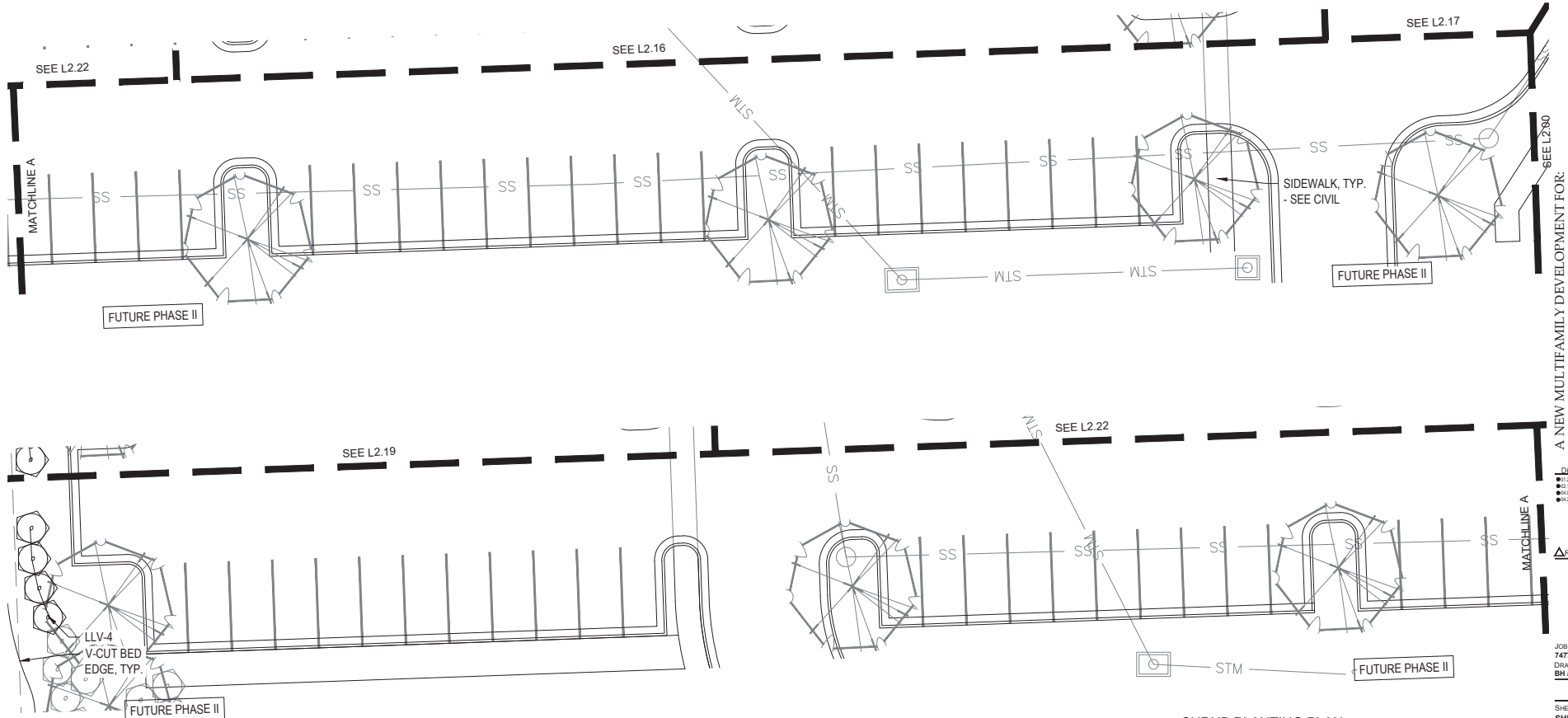
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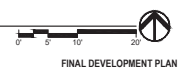
Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
COB	China Girl Holly / Boy Holly	<i>Ilex x merrilliana 'Missy' / 'Missyol'</i>	5 Gal.	5:1 Ratio
FOA	Five Color Forsythia	<i>Thymus occidentalis 'Springer'</i>	5 Gal.	
GAAC	Gold Mop Cypress	<i>Chamaecyparis platensis 'Yellow Thread Branch'</i>	5 Gal.	
GOJ	Golden Maid Juniper	<i>Juniperus horizontalis 'Sparty Chief'</i>	5 Gal.	
HMA	Hunt Major Arbutus	<i>Thuja occidentalis 'Hunt Major'</i>	5 Gal.	
IRJ	Iron Jasper	<i>Juniperus horizontalis</i>	5 Gal.	
LLV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLF	Pink Flower Juniper	<i>Juniperus chinensis 'Pinkflower'</i>	6-8" FT BR.	
SOJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
TFJ	Taylor Juniper	<i>Juniperus horizontalis 'Taylor'</i>	5 Gal.	
VOJ	Volunteer Green Rowanwood	<i>Rosa microphylla 'White Green'</i>	6-8" 30-40"	
Deciduous Shrubs				
DOV	Downy Rose / Twigg'd Dogwood	<i>Cornus alba 'Variegata'</i>	5 Gal.	
EOL	Eastern Summer Hydrangea	<i>Hydrangea macrophylla 'Nelson'</i>	5 Gal.	
FLB	Flame Leaf Forsythia	<i>Lyonia alba x subcordata 'Flame Leaf'</i>	5 Gal.	
GAL	Gold Leaf Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal.	
GAB	Garden Blue Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal.	
KRIB	Knockout Rose	<i>Rosa Knockout</i>	5 Gal.	
LSH	Little Henry Summer Spirea	<i>Spiraea japonica 'Little Henry'</i>	5 Gal.	
MCS	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal.	
QIB	Queen Elizabeth	<i>Chamaecyparis stricta 'Queen Elizabeth'</i>	5 Gal.	
ROS	Rose of Sharon/White	<i>Hibiscus syriacus 'America Home Scott'</i>	5 Gal.	
WVJ	White Wine Vines	<i>Vitacea Florida 'White Wine'</i>	5 Gal.	
Grasses				
RFJ	Ruff Fescue Grass	<i>Calamagrostis x acutiflora 'Ruff Fescue'</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
RRJ	Riverbank Spikes Grass	<i>Panicum virgatum 'Riverbank'</i>	2 Gal.	
POB	Prairie Dropseed	<i>Sporobolus heterostachys</i>	2 Gal.	
SLR	Striped Lupine	<i>Linum catharticum</i>	2" pot.	
Perennials				
COE	Cornet	<i>Hebe x exoniensis 'Missouri's Love'</i>	1 Gal.	
RES	Black End Susan	<i>Rudbeckia hirta var. 'Fulgate'</i>	1 Gal.	
DOV	Downy	<i>Hemerocallis 'Black End Susan' or 'Little Bunches'</i>	1 Gal.	
RSJ	Rose Ring Itz	<i>Hydrangea x 'Rose Ring Itz'</i>	1 Gal.	
MSJ	Master Sign	<i>Salvia nemorosa 'May Knight'</i>	1 Gal.	
ISA	Summer Beauty Alum	<i>Alumina 'Summer Beauty'</i>	1 Gal.	
BJD	Autumn Joy Sedum	<i>Hylotelephium 'RedHotRider'</i> Autumn Joy	1 Gal.	
Annuals				



KEY PLAN
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SHRUB PLANTING PLAN
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REVISIONS

JOB NO: 747723 DATE: 04.22.24
 DRAWN BY: BH / MM

SHEET NAME:
 SHRUB PLANTING -
 PARKING AREA
 SHEET NO.:

L2.18

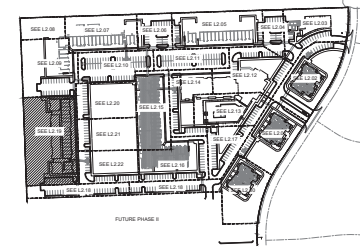
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- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
- REFER TO L1.00 SERIES SHEETS FOR TREE PLANTINGS.
- REFER TO L2.00 SERIES SHEETS FOR SHRUB PLANTINGS & ROCK MATERIALS.
- REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.

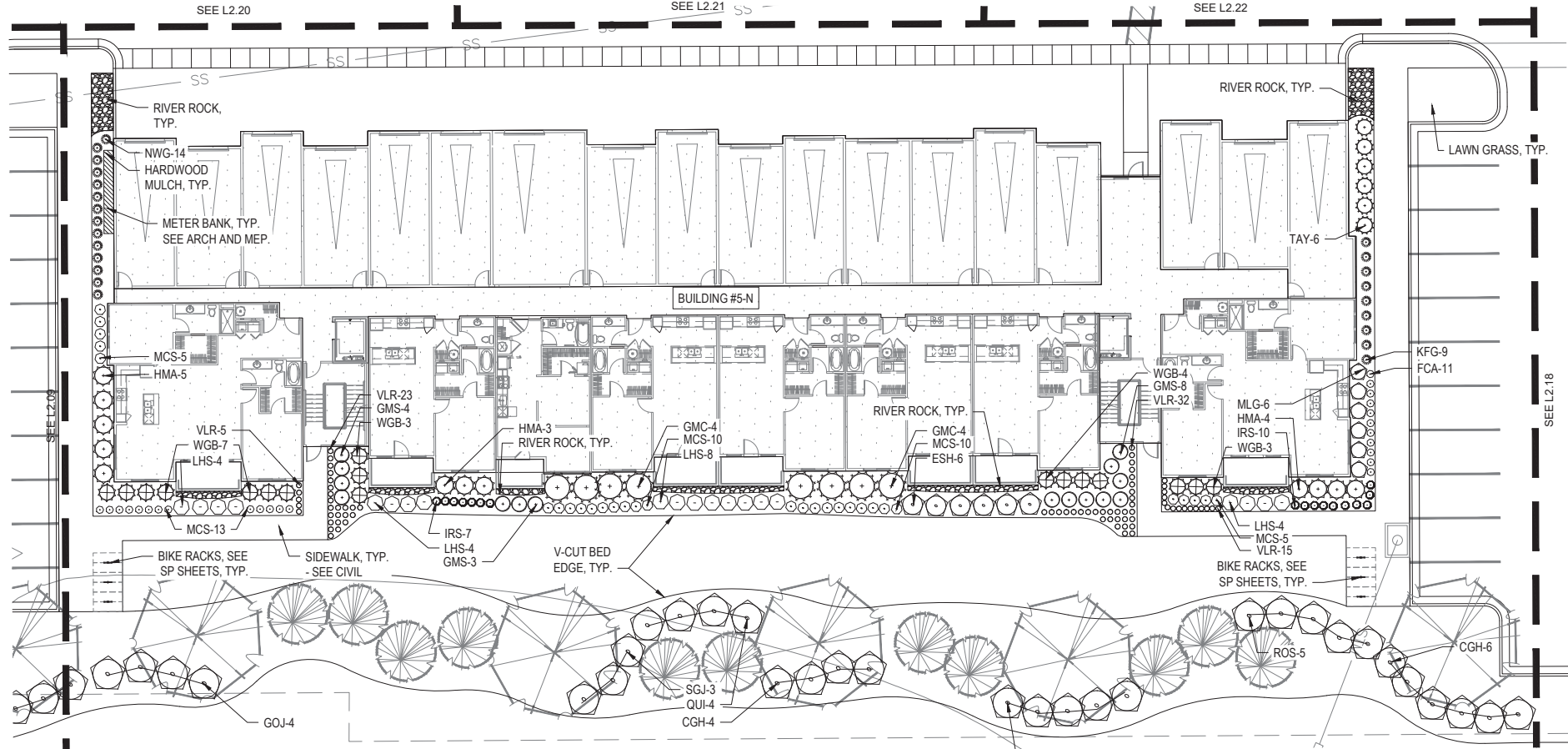
- IN THE EVENT OF WORK IN OR ON THE J.O.W SANITARY MAIN. ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 6" BELOW ROOT BALLS/BOTTOM OF CONTAINER. REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
- ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL TO BE SOD. SOD TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
- STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SEMCO MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE, 2-3" THICK.

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGH	China Girl Holly / Boy Holly	<i>Ilex x meservei</i> 'Meisley' / 'Meisley'	5 Gal	5:1 Ratio
FGA	Fire Chief Arborvitae	<i>Thuja occidentalis</i> 'Sprenger'	5 Gal	
GAC	Gold Moss Cypress	<i>Chamaecyparis platensis</i> 'Yellow Thread Branch'	5 Gal	
GOJ	Goey Oak Juniper	<i>Juniperus virginiana</i> 'Goey Oak'	5 Gal	
HMA	Ham Magnol Arborvitae	<i>Thuja occidentalis</i> 'Ham Magnol'	5 Gal	
HLU	Ham Juniper	<i>Juniperus horizontalis</i>	5 Gal	
LLV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal	
PLF	Parrotia Juniper	<i>Juniperus chinensis</i> 'Parrotia'	6 Gal	6:1 Rk
SGJ	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	5 Gal	
YAF	Yale Foli Juniper	<i>Juniperus horizontalis</i> 'Yale Foli'	5 Gal	
WGR	Winter Green Rowanwood	<i>Rosa micrantha</i> 'Winter Green'	6 Gal	30-40"
Deciduous Shrubs				
DOJ	Dorchester Red Twigged Dogwood	<i>Cornus alba</i> 'Variegata'	5 Gal	
FCA	Fancy Cream Forsythia	<i>Forsythia macrocarpa</i> 'Fancy Cream'	5 Gal	
FGB	Fancy Green Forsythia	<i>Forsythia macrocarpa</i> 'Fancy Green'	5 Gal	
GLD	Limelight Gold Forsythia	<i>Forsythia x intermedia</i> 'Limelight Gold'	5 Gal	
GLS	Light Low Spirea	<i>Spiraea alba</i>	5 Gal	
GSD	Goldmound Spirea	<i>Spiraea japonica</i> 'Goldmound'	5 Gal	
KRS	Knoxout Rose	<i>Rosa knoxout</i>	5 Gal	
LHS	Little Henry Spirea	<i>Spiraea japonica</i> 'Little Henry'	5 Gal	
MCS	Magic Carpet Spirea	<i>Spiraea japonica</i> 'Magic Carpet'	5 Gal	
QUS	Queen's Garden	<i>Chamaecyparis nana</i> 'Queen's Garden'	5 Gal	
ROS	Rosee To Rose of Sharon/Althea	<i>Hibiscus syriacus</i> 'America Home Scott'	5 Gal	
WVJ	Wine White Vinetia	<i>Viburnum bicolor</i> 'Wine White'	5 Gal	
Grasses				
WFG	Wool Fescue Grass	<i>Calamagrostis x acutiflora</i> 'Wool Fescue'	2 Gal	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis</i> 'Morning Light'	2 Gal	
RRS	Redmond Ribbon Grass	<i>Panicum virgatum</i> 'Redmond'	2 Gal	
POB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal	
LSL	Lancelot Linum	<i>Linum catharticum</i>	5" pot	
Perennials				
CLM	Claytonia	<i>Hesperis matronalis</i> 'Maiden's Love'	5 Gal	
RES	Black End Susan	<i>Rudbeckia hirta</i> var. 'Faldale'	1 Gal	
DOJ	Dorothy	<i>Hemerocallis</i> 'Black End Susan' or 'Little Susan'	1 Gal	
RSJ	Rosee To Rose	<i>H. virginica</i> var. 'Rosee'	1 Gal	
MGS	Meadow Sage	<i>Salvia nemorosa</i> 'May Knight'	1 Gal	
ISA	Italian Blue Bell	<i>Alchemilla</i> 'Summer Beauty'	1 Gal	
BJD	Autumn Joy Sedum	<i>Hydrangeaphyllum</i> 'Heidi/Helmut'	Autumn Joy	1 Gal
Annuals				



KEY PLAN
1" = 200'-0"



SHRUB PLANTING PLAN
1" = 10'-0"



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A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD. LENEXA, KANSAS

DRAWING REVISION LOG

- 01/23/24 101 FOR SUBMITTAL
- 02/13/24 2ND FOR SUBMITTAL
- 02/23/24 3RD FOR SUBMITTAL

REVISIONS

JOB NO. 747723 DATE 04.22.24
DRAWN BY BH / MM

SHEET NAME SHRUB PLANTING PLAN - BUILDING #5-N
SHEET NO.

L2.19

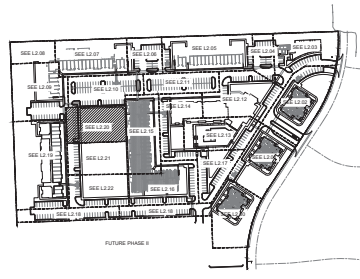
GENERAL NOTES:

- 1. EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
- 2. THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - A. CREEPING GROUNDCOVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - B. ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - C. ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - D. ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- 3. NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 4. ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
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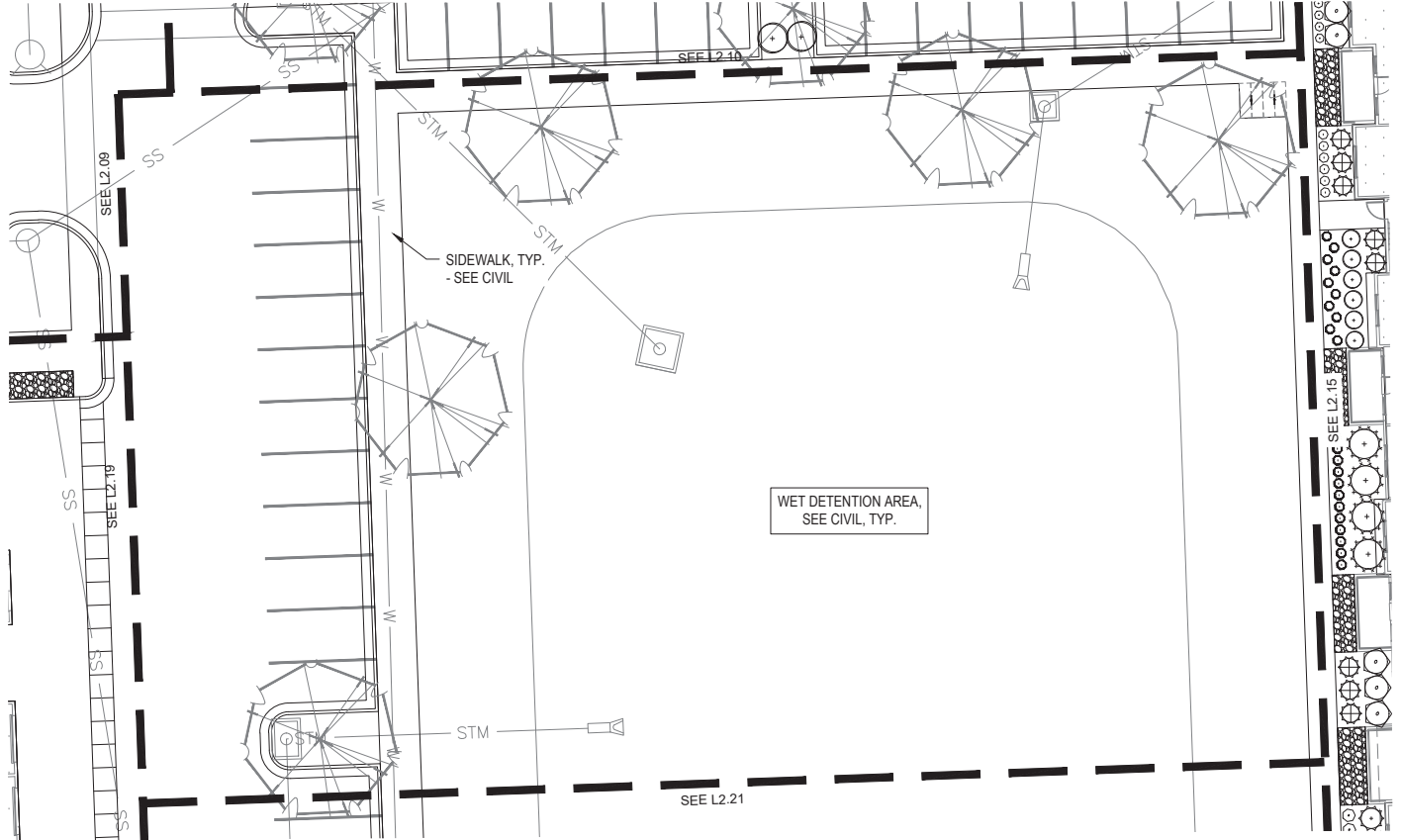
- 8. IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN. ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- 9. STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 16" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 16" OR 8" BELOW ROOT BALLS/BOTTOM OF CONTAINER. REFER TO L3.00 FOR PLANTING SOIL MIX.
- 10. ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- 11. ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- 12. FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
- 13. ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL TO BE SOG. SOG TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
- 14. STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SEMCO MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE, 2-3" THICK.

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
COH	China Girl Holly / Boy Holly	<i>Ilex x meservei 'Meisley' / 'Meisley'</i>	5 Gal.	5:1 Ratio
FOA	Fire Chief Arborvitae	<i>Thuja occidentalis 'Sprenger'</i>	5 Gal.	
GOAC	Gold Mop Cypress	<i>Chamaecyparis platens 'Yellow Thread Branch'</i>	5 Gal.	
GOY	Gold Dust Juniper	<i>Juniperus sibirica 'Silly Chef'</i>	5 Gal.	
HAK	Heath Major Arborvitae	<i>Thuja occidentalis 'Heath Major'</i>	5 Gal.	
HAJ	Heath Juniper	<i>Juniperus sibirica</i>	5 Gal.	
LLV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLA	Perfecta Juniper	<i>Juniperus chinensis 'Perfecta'</i>	6.5 Gal.	6' Hk.
SOJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
TOF	Tuff Juniper	<i>Juniperus horizontalis 'tuff'</i>	1 Gal.	
WVJ	Winter Green Boxwood	<i>Buxus microphylla 'Winter Green'</i>	6.5 Gal.	36-48"
Deciduous Shrubs				
DOV	Decorative Red Twigged Dogwood	<i>Cornus alba 'Vary Heat'</i>	5 Gal.	
COE	Cornus Summer Hurricane	<i>Viburnum macrocephala 'Ballard'</i>	5 Gal.	
FOL	Forsythia Gold Forsythia	<i>Lonicera x intermedia 'Forsyth Gold'</i>	5 Gal.	
GLS	Gold Leaf Spirea	<i>Spiraea japonica</i>	5 Gal.	
GAB	Goldmound Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal.	
KNS	Knockout Rose	<i>Rosa knockout</i>	5 Gal.	
LHS	Little Henry Sweetgum	<i>Liquidambar styraciflua 'Little Henry'</i>	5 Gal.	
MCS	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal.	
QCS	Queen of Spades	<i>Chamaecyparis stricta 'Queen of Spades'</i>	5 Gal.	
ROS	Roger's Peony	<i>Hibiscus syriacus 'America Home Scott'</i>	5 Gal.	
WVJ	Winter Green Boxwood	<i>Buxus microphylla 'Winter Green'</i>	5 Gal.	
Grasses				
WFG	Wool Fescue Grass	<i>Calamagrostis x acutiflora 'Wool Fescue'</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
NSG	Northern Sea Breeze Grass	<i>Panicum virgatum 'Northern Sea'</i>	2 Gal.	
POB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
SLR	Stargazon Linum	<i>Linum catharticum</i>	5" pot.	
Perennials				
COE	Cornus	<i>Cornus x sinensis 'Winter's Love'</i>	1 Gal.	
RES	Black-eyed Susan	<i>Rudbeckia hirta var. 'Fulgate'</i>	1 Gal.	
DOV	Dogwood	<i>Hemodictyon Black-eyed Susans'</i> or 'Little Bunches'	1 Gal.	
RSJ	Red Spirea	<i>Spiraea japonica 'Red Spirea'</i>	1 Gal.	
MSG	Maiden Sage	<i>Salvia nemorosa 'May Knight'</i>	1 Gal.	
BA	Autumn Beauty Alum	<i>Alumina autumn beauty</i>	1 Gal.	
BJD	Autumn Joy Sedum	<i>Hylotelephium 'RedHotDroser'</i> Autumn Joy	1 Gal.	
Annuals				



KEY PLAN
1" = 200'-0"



SHRUB PLANTING PLAN
1" = 10'-0"

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A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD. LENEXA, KANSAS

DRAWING RELEASE LOG

- 04/22/24 101 PDF SUBMITTAL
- 04/22/24 240 PDF SUBMITTAL
- 04/22/24 400 PDF SUBMITTAL
- 04/22/24 400 PDF SUBMITTAL

REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME: SHRUB PLANTING - DETENTION AREA
SHEET NO: **L2.20**

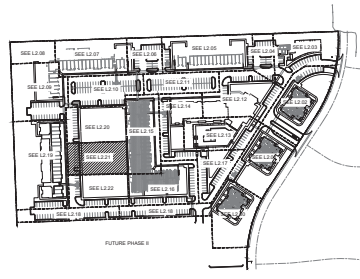
GENERAL NOTES:

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- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - CREEPING GROUNDCOVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 5' FROM PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
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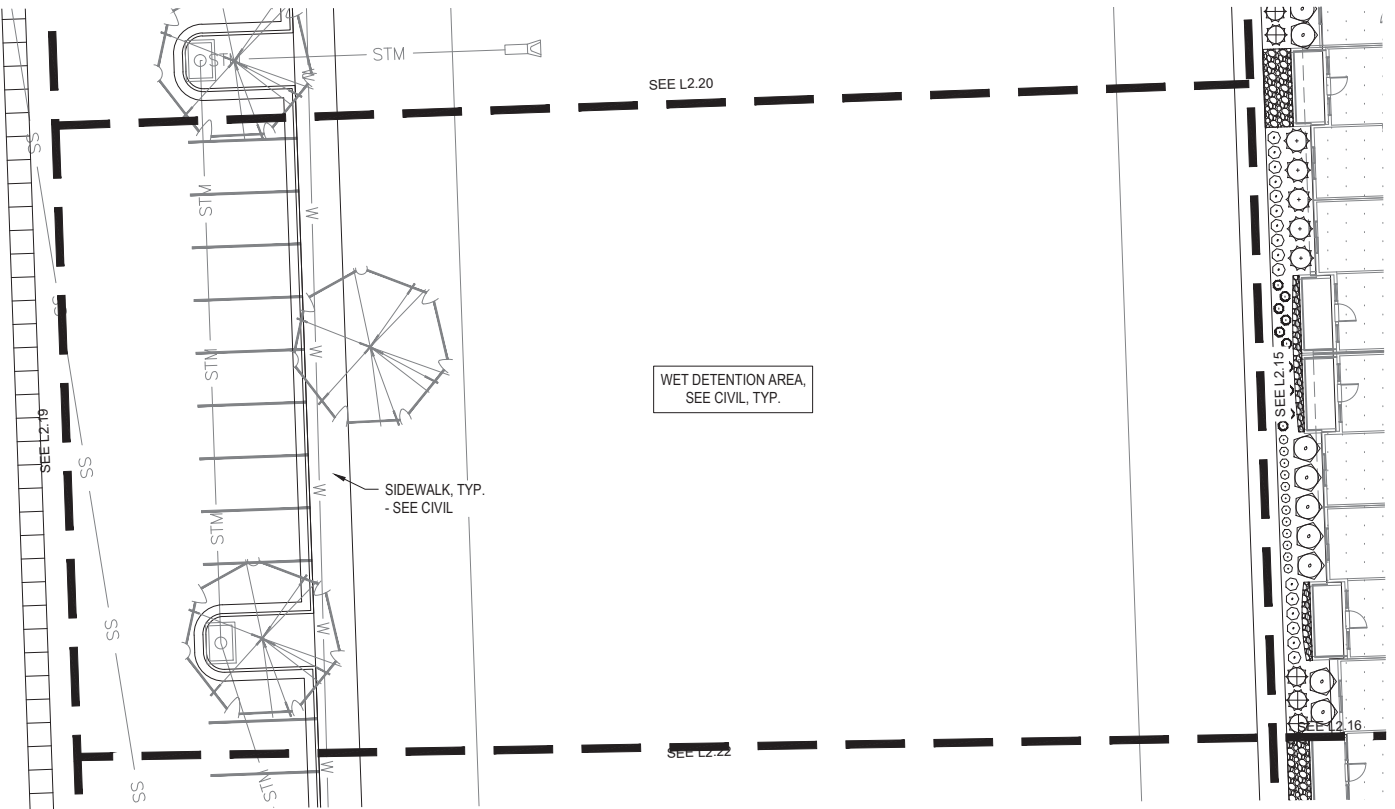
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PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
COH	China Girl Holly / Boy Holly	<i>Ilex x meservei 'Meredith'</i>	5 Gal.	5:1 Ratio
FOA	Forsythia	<i>Forsythia x intermedia 'Vivid'</i>	5 Gal.	
GUAC	Gold Mop Cypress	<i>Chamaecyparis platens 'Yellow Thread Branch'</i>	5 Gal.	
SOJ	Gray Dog Juniper	<i>Juniperus horizontalis 'Gray Dog'</i>	5 Gal.	
MAK	Heath Midget Arbutus	<i>Thuja occidentalis 'Heath Midget'</i>	5 Gal.	
PLU	Tree Juniper	<i>Juniperus sibirica</i>	5 Gal.	
LLV	Leatherleaf Viburnum	<i>Viburnum lentago</i>	5 Gal.	
PLF	Parrotia Juniper	<i>Juniperus chinensis 'Parrotia'</i>	6.00	6' H.R.
SOJ	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	5 Gal.	
LOF	Loftus Juniper	<i>Juniperus horizontalis 'Loftus'</i>	5 Gal.	
WVIB	Winter Green Boxwood	<i>Buxus microcarpa 'Winter Green'</i>	6.00	36-48"
Deciduous Shrubs				
DOG	Harvested Red Twigged Dogwood	<i>Cornus alba 'Vivid'</i>	5 Gal.	
FOA	Forsythia	<i>Forsythia x intermedia 'Vivid'</i>	5 Gal.	
FOG	Lionwood Gold Forsythia	<i>Forsythia x intermedia 'Lionwood Gold'</i>	5 Gal.	
GLS	Gold Leaf Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal.	
GLS	Goldmound Spirea	<i>Spiraea japonica 'Goldmound'</i>	5 Gal.	
KNOB	Knockout Rose	<i>Rosa Knockout</i>	5 Gal.	
URS	Ultra Heavy Sweetgum	<i>Liquidambar styraciflua 'Ultra Heavy'</i>	5 Gal.	
MCS	Magic Carpet Spirea	<i>Spiraea japonica 'Magic Carpet'</i>	2 Gal.	
GRS	Cherrybloss Spirea	<i>Spiraea japonica 'Cherry Blossom'</i>	5 Gal.	
ROS	Single Lip Rose of Sharon/Althea	<i>Hibiscus syriacus 'America Home Scott'</i>	5 Gal.	
WVJ	Franklinia	<i>Franklinia albertiana</i>	5 Gal.	
Grasses				
WFG	Wool Fescue Grass	<i>Calamagrostis x acutiflora 'Wool Fescue'</i>	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis 'Morning Light'</i>	2 Gal.	
NSG	Northwind Switch Grass	<i>Panicum virgatum 'Northwind'</i>	2 Gal.	
POB	Prairie Dropseed	<i>Sporobolus heterostachys</i>	2 Gal.	
SLR	Striped Lirioden	<i>Lirioden japonica</i>	5' pot.	
Perennials				
COE	Cornflower	<i>Helianthus scaberrimus 'Lion'</i>	1 Gal.	
RES	Black-eyed Susan	<i>Rudbeckia hirta var. 'Fulgate'</i>	1 Gal.	
DAW	Daylily	<i>Hemerocallis 'Black-eyed Stella' or 'Little Bells'</i>	1 Gal.	
RS	Red Top Iris	<i>Iris sibirica 'Red Top'</i>	1 Gal.	
MSG	Meadow Sage	<i>Salvia nemorosa 'May Knight'</i>	1 Gal.	
GA	Garden Phlox	<i>Phlox paniculata 'Garden Phlox'</i>	1 Gal.	
AD	Autumn Joy Sedum	<i>Hylotelephium 'RedHotRider' Autumn Joy</i>	1 Gal.	
Annuals				



KEY PLAN
1" = 200'-0"



SHRUB PLANTING PLAN
1" = 10'-0"

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W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAINAGE RELEASE LOG

- 01/25/24 101 PDF SUBMITTAL
- 02/15/24 202 PDF SUBMITTAL
- 04/15/24 010 PDF SUBMITTAL
- 04/22/24 010 PDF SUBMITTAL

REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH / MM

SHEET NAME: SHRUB PLANTING - DETENTION AREA
SHEET NO: **L2.21**

FINAL DEVELOPMENT PLAN

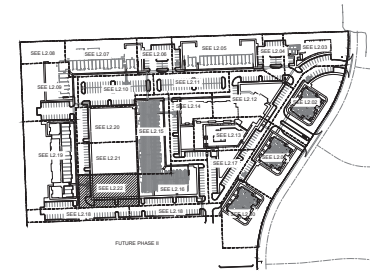
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 - CREeping GROUNDcover SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 5' FROM PAVING EDGE.
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- REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.

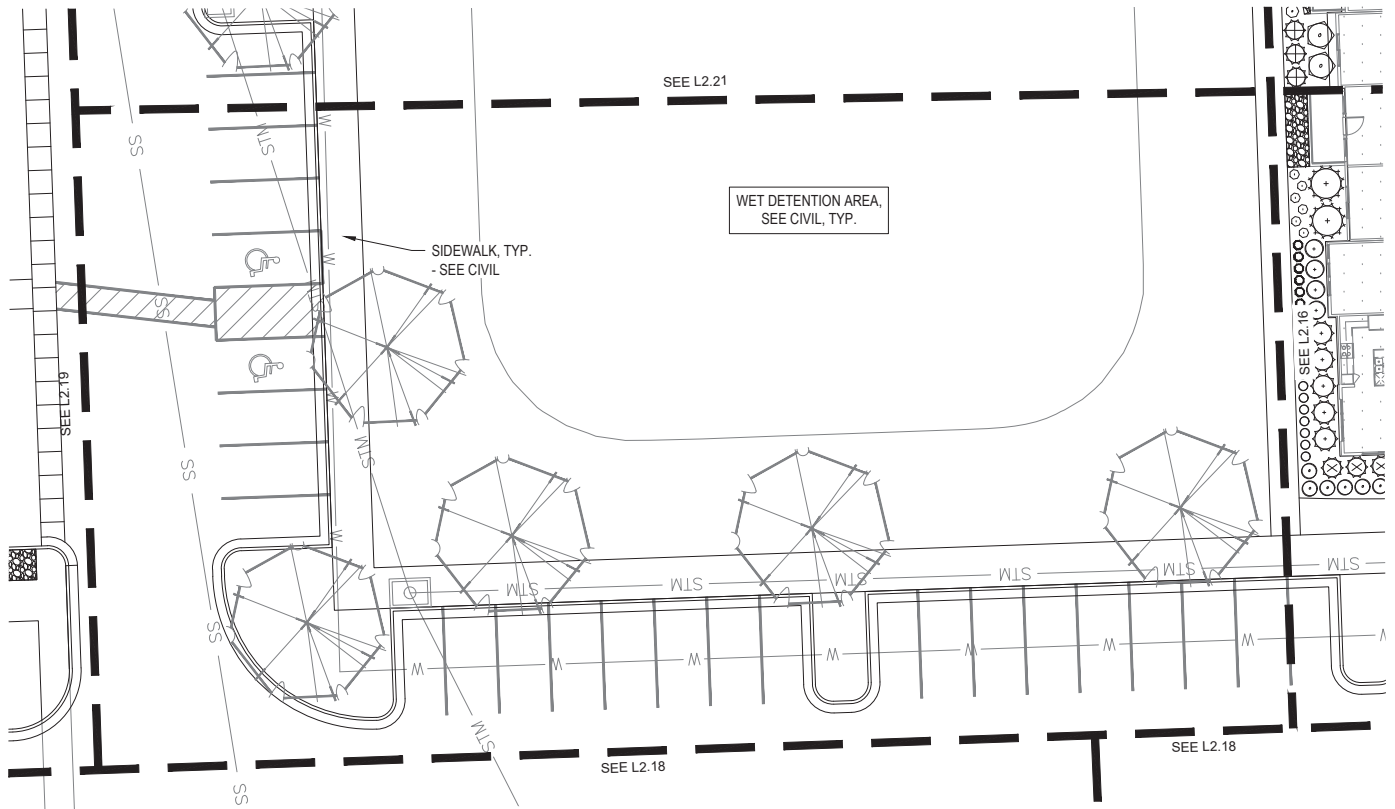
- IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN. ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 6" BELOW ROOT BALLS/BOTTOM OF CONTAINER. REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- ALL LANDSCAPE BEDS WITHIN POOL ENCLOSURE TO INCLUDE RIVER ROCK PER SPECS.
- FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.
- ALL LANDSCAPE AREAS NOT IDENTIFIED WITH MULCH, RIVER ROCK, OR OTHER PLANT MATERIAL TO BE SOD. SOD TO EXTEND TO BACK OF CURB FOR ADJACENT PUBLIC STREET.
- STEPPING STONES SHALL BE HICKORY GREY FLAGSTONE AS PROVIDED BY SEMCO MATERIALS OR APPROVED EQUAL. 24" SQ. MIN. SIZE, 2-3" THICK.

PLANT LIST

Code	Common Name	Botanical Name	Size	Notes
Evergreen Shrubs				
CGH	China Girl Holly / Boy Holly	<i>Ilex x meservei</i> 'Meisley' / 'Meisley'	5 Gal.	5:1 Ratio
PCA	Pink Cloud Arborvitae	<i>Thuja occidentalis</i> 'Sprenger'	5 Gal.	
GMAC	Gold Mist Cypress	<i>Chamaecyparis platensis</i> 'Yellow Thread Branch'	5 Gal.	
SOA	Gray Oak Juniper	<i>Juniperus virginiana</i> 'Gray Oak'	5 Gal.	
MAK	Heat Miser Viburnum	<i>Viburnum acerifolium</i> 'Heat Miser'	5 Gal.	
TAJ	Tree Juniper	<i>Juniperus sibirica</i>	5 Gal.	
LLV	Lambert's Viburnum	<i>Viburnum lumbosifolium</i>	5 Gal.	
PLJ	Perfecta Juniper	<i>Juniperus chinensis</i> 'Perfecta'	6 Gal.	6:1 R.R.
SOJ	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	5 Gal.	
LOJ	Loeb's Juniper	<i>Juniperus horizontalis</i> 'Loeb's'	5 Gal.	
WVJ	Winter Green Rowanwood	<i>Ribes microcarpum</i> 'Winter Green'	6 Gal.	36-48"
Deciduous Shrubs				
DOV	Variegated Red Twigged Dogwood	<i>Cornus alba</i> 'Variegata'	5 Gal.	
GLA	Golden Summer Hydrangea	<i>Hydrangea macrophylla</i> 'Holland'	5 Gal.	
FLR	Limegold Gold Forsythia	<i>Lonicera x viticordata</i> 'Limegold Gold'	5 Gal.	
GLS	Gold Leaf Spirea	<i>Spiraea japonica</i>	5 Gal.	
GLB	Goldmound Spirea	<i>Spiraea japonica</i> 'Goldmound'	5 Gal.	
KWB	Knockout Rose	<i>Rosa knockout</i>	5 Gal.	
LHS	Little Henry Sweetgum	<i>Liquidambar styraciflua</i> 'Little Henry'	5 Gal.	
MCS	Major Carpet Spirea	<i>Spiraea japonica</i> 'Major Carpet'	2 Gal.	
GRB	Cherrybloss Spirea	<i>Spiraea japonica</i> 'Cherry Blossom'	5 Gal.	
ROS	Shaggy Lip Rose of Sharon/Althea	<i>Hibiscus syriacus</i> 'America Home Scott'	5 Gal.	
WVJ	Pink Wine Vines	<i>Vitis rotundifolia</i> 'Briarcliff'	5 Gal.	
Grasses				
WFG	Wool Fescue Grass	<i>Calamagrostis x acutiflora</i> 'Wool Fescue'	2 Gal.	
MLG	Morning Light Maiden Grass	<i>Miscanthus sinensis</i> 'Morning Light'	2 Gal.	
NSG	Northwind Switch Grass	<i>Panicum virgatum</i> 'Northwind'	2 Gal.	
POB	Prairie Dropseed	<i>Sporobolus heterostachyus</i>	2 Gal.	
LSL	Linedup Linum	<i>Linum catharticum</i>	5" pot.	
Perennials				
CAF	Canna	<i>Canna x baccata</i> 'Mikolaj's Lily'	1 Gal.	
RES	Black-eyed Susan	<i>Rudbeckia hirta</i> var. 'Fulgate'	1 Gal.	
DAW	Daisy	<i>Hemantella</i> 'Black-eyed Stella' or 'Little Bowsaver'	1 Gal.	
RS	Red Top Iris	<i>Iris sibirica</i> 'Red Top'	1 Gal.	
MSG	Maesdig Sage	<i>Salvia nemorosa</i> 'May Knight'	1 Gal.	
GA	Golden Beauty Alum	<i>Alumina</i> 'Golden Beauty'	1 Gal.	
AD	Autumn Joy Sedum	<i>Hydrangeaphyllum</i> 'Autumn Joy'	1 Gal.	
Annuals				



KEY PLAN
1" = 200'-0"



SHRUB PLANTING PLAN
1" = 10'-0"
FINAL DEVELOPMENT PLAN

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
ENERGY SERVICES

NSPJ

ARCHITECTSSM

P. 913.831.1415
F. 913.831.1563
NSPJARCH.COM
1200 W. 19TH AVENUE

3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

A NEW MULTIFAMILY DEVELOPMENT FOR:

**THE RESERVE AT
COPPER CREEK**

W. 89TH ST. & WOODSONIA RD., LENEXA, KANSAS

DRAWING RELEASE LOG

- 01/25/24 101 PDP SUBMITTAL
- 02/01/24 200 PDP SUBMITTAL
- 04/12/24 FOR SUBMITTAL
- 04/22/24 PDP FOR SUBMITTAL

REVISIONS

JOB NO: 747723 DATE: 04.22.24
DRAWN BY: BH / MM

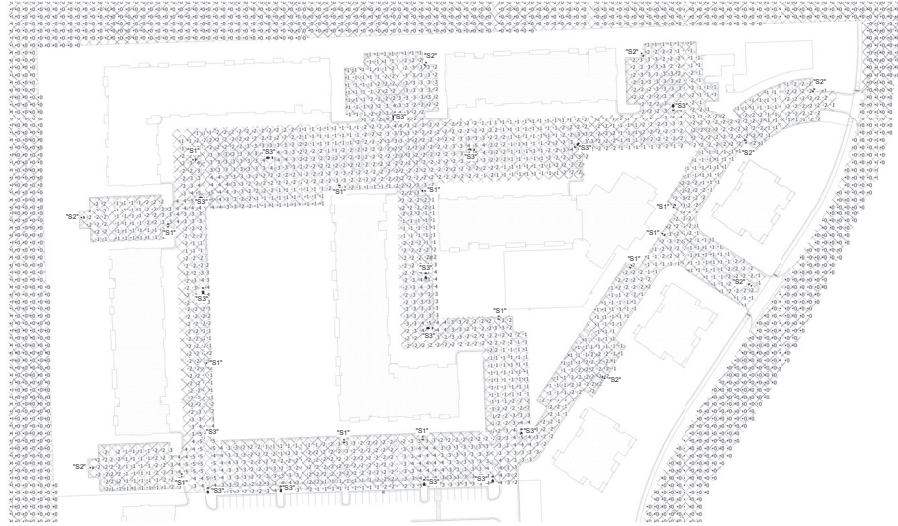
SHEET NAME: SHRUB PLANTING - DETENTION AREA
SHEET NO. **L2.22**

LUMINAIRE SCHEDULE

PLAN MARK	MANUFACTURER	MODEL	EQUIVALENT MANUF. SERIES	MOUNTING TYPE	FINISH	LUMINAIRE SOURCE			ELECTRICAL		DESCRIPTION	
						SOURCE TYPE	LUMENS	COLOR TEMP (K)	CRI	VOLTAGE		LOAD (VA)
S1	LITHONIA	DSX1 LED P4 40C RDR CRIM MOUNT PR DBL XD		POLE	BLACK	LED	16272	4000	80	120	124	D-SERIES SIZE 1 LED LIGHT FOR SITE LIGHTING. MOUNT FIXTURE AT 25' ABOVE GRADE.
S2	LITHONIA	DSX1 LED P4 40C RDR CRIM MOUNT PR DBL XD		POLE	BLACK	LED	16272	4000	80	120	124	D-SERIES SIZE 1 LED LIGHT FOR SITE LIGHTING WITH HOUSESIDE SHIELD. MOUNT FIXTURE AT 25' ABOVE GRADE.
S3	LITHONIA	DSX1 LED P4 40C RDR CRIM MOUNT PR DBL XD 185		POLE	BLACK	LED	16272	4000	80	120	124	D-SERIES SIZE 1 LED LIGHT FOR SITE LIGHTING WITH 2 HEADS AT 180. MOUNT FIXTURES AT 25' ABOVE GRADE.

SUMMARY

AVERAGE	2.1
MINIMUM	0.52
MAXIMUM	5.3
AVG/MIN RATIO	4.0
MAX/MIN RATIO	10



1 -Site Lighting Plan
SCALE: 1" = 80'-0"



NO.	DATE	DESCRIPTION

#	DATE	DESCRIPTION



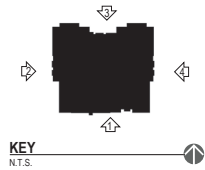
DESIGN NO.	DATE
747723	01-29-24

DRAWN BY	DATE
PM/DRFT	
SET DEFINITION	
VOLUME #	
SHEET NAME -	
SITE LIGHTING PLAN	
SHEET NO.	

E101

MATERIAL LEGEND

-  BRICK VENEER
-  STUCCO
-  STUCCO
-  LAP SIDING
-  WOOD PANEL
-  VERTICAL LAP SIDING



4 RIGHT ELEVATION
Scale: 1/8" = 1'-0"



3 REAR ELEVATION
Scale: 1/8" = 1'-0"



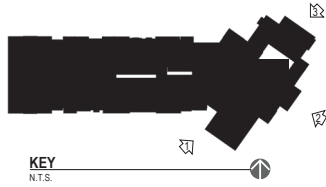
2 LEFT ELEVATION
Scale: 1/8" = 1'-0"



1 FRONT ELEVATION - VIEW FROM WOODSONIA
Scale: 1/8" = 1'-0"

MATERIAL LEGEND

- BRICK VENEER
- STUCCO
- STUCCO
- LAP SIDING
- WOOD PANEL



3 NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 EAST ELEVATION
Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

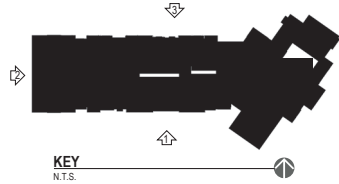


3 REAR ELEVATION

Scale: 1/8" = 1'-0"

MATERIAL LEGEND

	BRICK VENEER
	STUCCO
	STUCCO
	LAP SIDING
	WOOD PANEL



2 LEFT ELEVATION

Scale: 1/8" = 1'-0"



1 FRONT ELEVATION

Scale: 1/8" = 1'-0"

NSPJ ARCHITECTS. BUILDING #4-N -RP-4 ZONING

OAK IQ LLC - COPPER CREEK APARTMENTS W. 87TH TER. & WOODSONIA RD, LENEXA, KANSAS






MATERIAL LEGEND	
	BRICK VENEER
	STUCCO
	STUCCO
	LAP SIDING
	WOOD PANEL



2 REAR ELEVATION
Scale: 1/8" = 1'-0"



1 FRONT ELEVATION
Scale: 1/8" = 1'-0"

MATERIAL LEGEND	
	BRICK VENEER
	STUCCO
	STUCCO
	LAP SIDING
	WOOD PANEL



2 RIGHT ELEVATION
Scale: 1/8" = 1'-0"



1 LEFT ELEVATION
Scale: 1/8" = 1'-0"








4 REAR ELEVATION
Scale: 1/8" = 1'-0"



3 LEFT ELEVATION
Scale: 1/8" = 1'-0"

MATERIAL LEGEND






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-  STUCCO
-  STUCCO
-  LAP SIDING
-  WOOD PANEL



2 RIGHT ELEVATION
Scale: 1/8" = 1'-0"



1 FRONT ELEVATION
Scale: 1/8" = 1'-0"






MATERIAL LEGEND	
	BRICK VENEER
	STUCCO
	LAP SIDING
	WOOD PANEL
	STUCCO



2 REAR ELEVATION
Scale: 1/8" = 1'-0"



1 FRONT ELEVATION
Scale: 1/8" = 1'-0"

MATERIAL LEGEND	
	BRICK VENEER
	STUCCO
	STUCCO
	LAP SIDING
	WOOD PANEL



2 RIGHT ELEVATION
Scale: 1/8" = 1'-0"



1 LEFT ELEVATION
Scale: 1/8" = 1'-0"



4 REAR ELEVATION
Scale: 1/8" = 1'-0"



3 LEFT ELEVATION
Scale: 1/8" = 1'-0"

MATERIAL LEGEND

- BRICK VENEER
- STUCCO
- STUCCO
- LAP SIDING
- WOOD PANEL

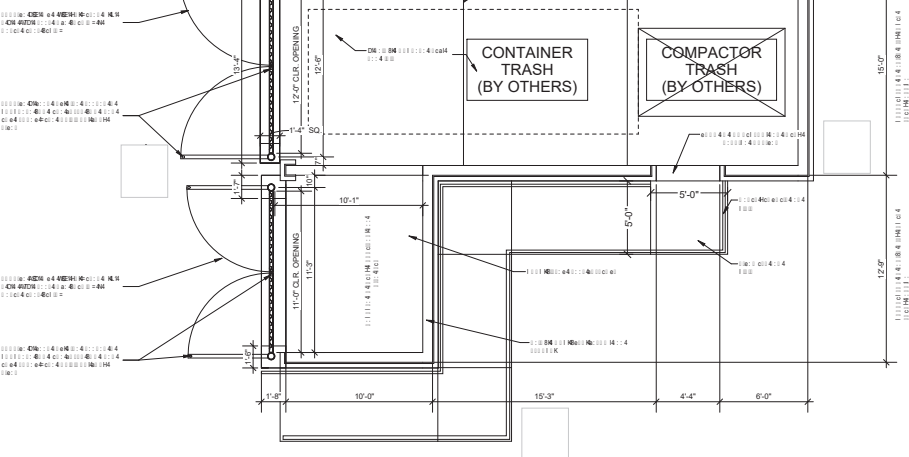


2 RIGHT ELEVATION
Scale: 1/8" = 1'-0"

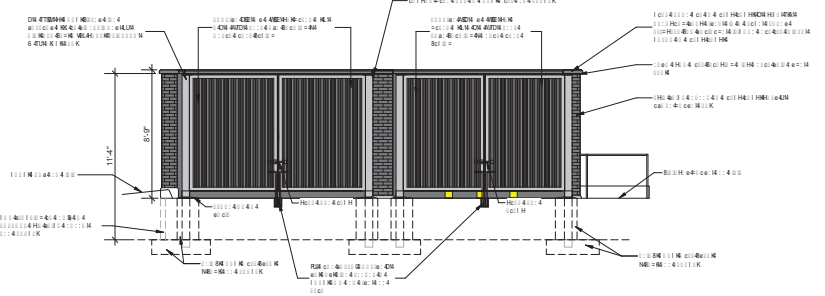


1 FRONT ELEVATION
Scale: 1/8" = 1'-0"

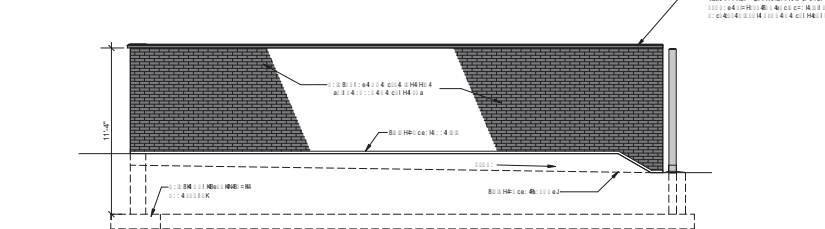
2x6 SHEET (A-M-D)



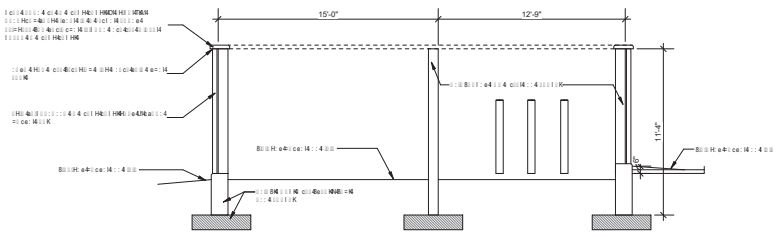
T 8' x 4' : c H 4' : c



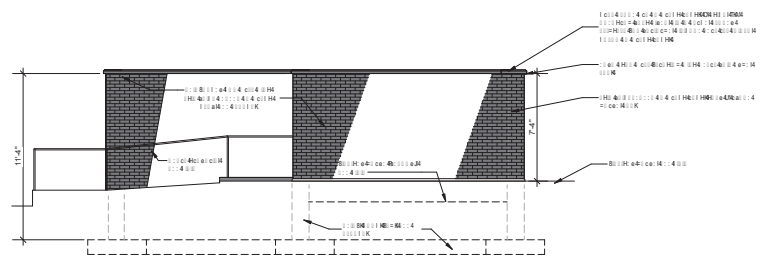
U 8' x 4' : c H 4' : c



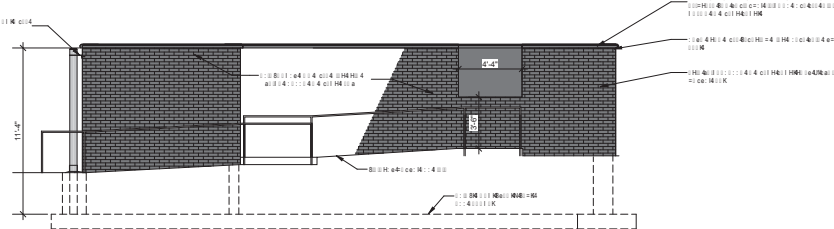
L 8' x 4' : c H 4' : c



D 15' x 12' : c H 15' : c



O ac 15' x 12' : c H 15' : c



A 15' x 12' : c H 15' : c

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
ENERGY SERVICES

NSPJ
ARCHITECTS
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208



A NEW MULTIFAMILY DEVELOPMENT FOR:
OAK IQ - COPPER CREEK
W. 89TH ST. & WOODSONIA RD.
LENEXA, KANSAS

DRAWING RELEASE LOG
01/20/24 1ST FOR SUBMITTAL
02/24/24 2ND FOR SUBMITTAL
04/22/24 FOR SUBMITTAL
04/22/24 FOR SUBMITTAL

REVISIONS

JOB NO. 747723 DATE 04.22.24
DRAWN BY BH/MM

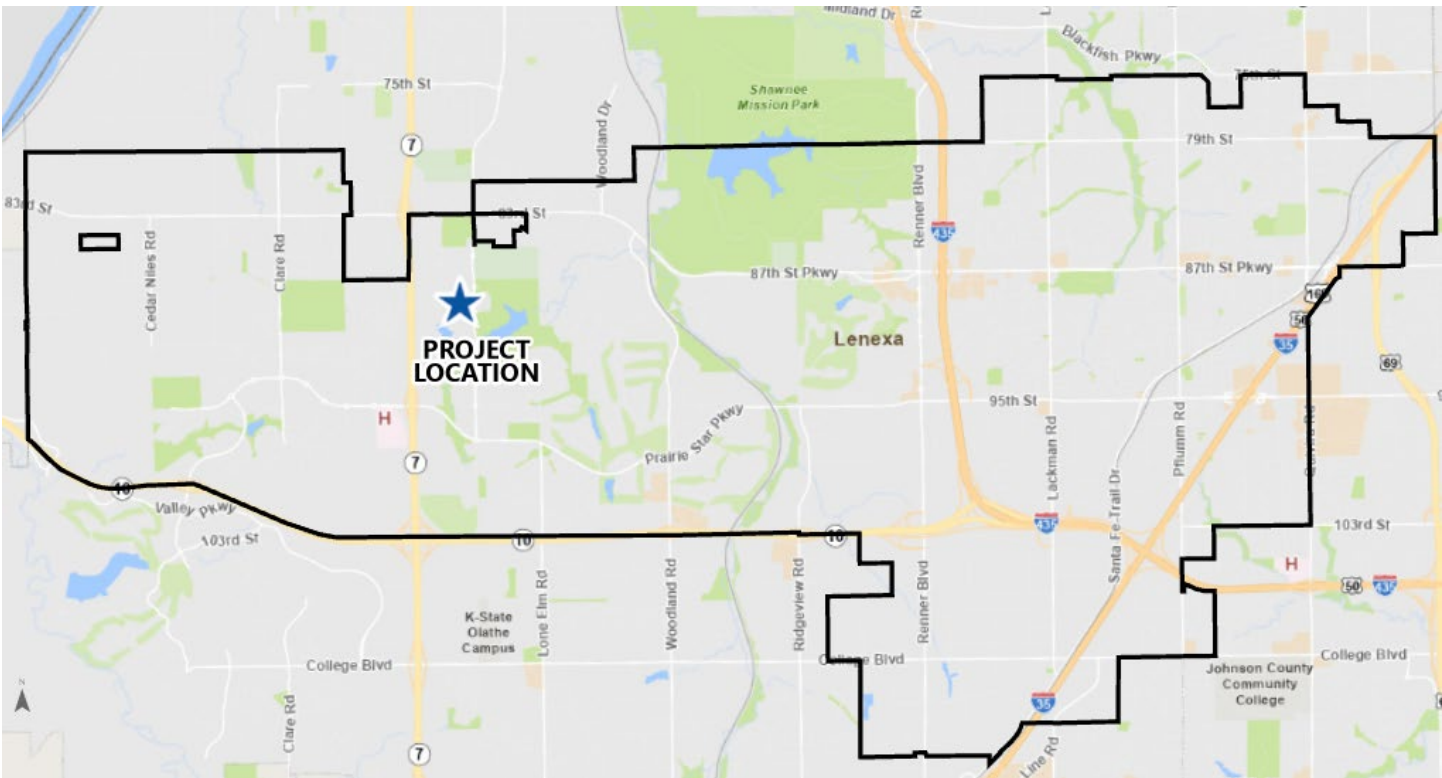
SHEET NAME TRASH ENCLOSURE

SHEET NO.

1/27/2024 5:12:56 PM

WATERCREST LANDING PRIVATE AMENITY

Project #:	PL24-05FR	Location:	Southwest Corner of 89 th Street and Monticello Road
Applicant:	Judd Claussen, Phelps Engineering	Project Type:	Revised Final Plan
Staff Planner:	Dave Dalecky	Proposed Use:	Private subdivision amenity



PROJECT SUMMARY

The applicant requests to revise the private amenity plan for the Watercrest Landing Subdivision. The revision is to remove a section of the private trail at the northwesterly part of the subdivision. The trail section is approximately 600 feet long and crosses a tract between the rear property lines of several lots. The trail was originally shown on the landscape plan submitted with the final plat for the Watercrest Landing subdivision (PT16-14F). The applicant states that a majority of the subdivision’s residents support removing the trail from the amenity plan for the subdivision. A section of the trail has been installed in a tract on the easterly side of the subdivision.

The original amenity plan also showed a pool and cabana building on a tract in this subdivision. The pool has been relocated to a different phase of the subdivision and the tract has been replatted as a lot. This project does not require a Public Hearing.

STAFF RECOMMENDATION: APPROVAL

SITE INFORMATION

Watercrest Landing subdivision was rezoned and platted in 2016 (RZ16-04 & PL16-01P). The subdivision was initially intended to contain 120 lots. The developer acquired the land to the south of the original subdivision and expanded the subdivision. The Watercrest Landing subdivision is now approximately twice the size and will have 192 additional lots (RZ21-01 & PT21-02P). The expansion of the subdivision included relocating the pool amenity and other “active” features such as a sport court and playground to the south part of the development. Private trails in tracts of the original phase of the subdivision would remain as they were originally proposed.

LAND AREA (AC)	BUILDING AREA (SF)	CURRENT ZONING	COMP. PLAN
48	NA	RP-1	Low-Density Residential, Suburban-Density Residential, Medium Density Residential, and Office-Employment Center

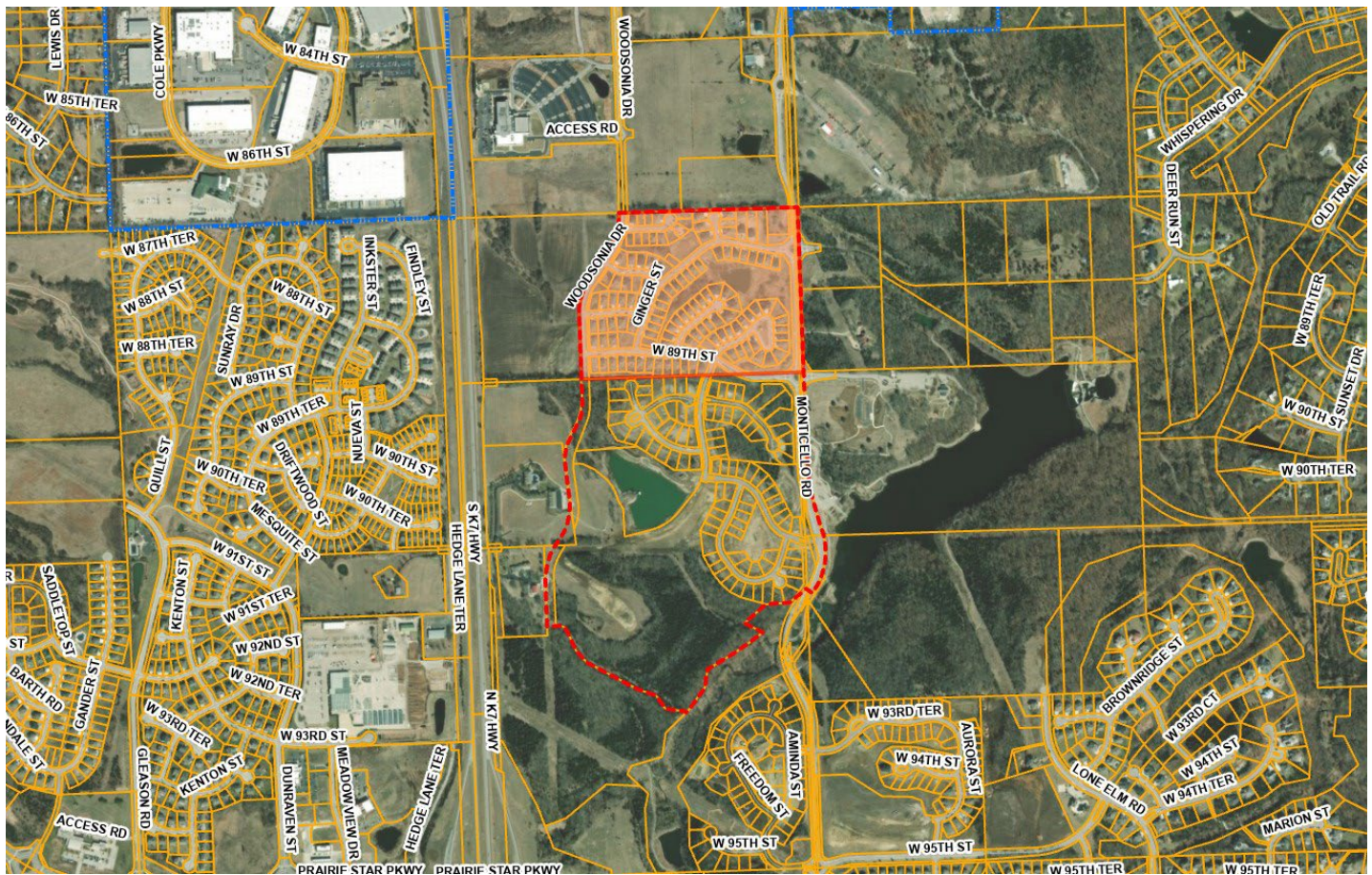


Exhibit 1: Aerial image of Watercrest Landing subdivision (First and Second Plats are highlighted).

LAND USE REVIEW

Watercrest Landing subdivision is zoned RP-1, (RZ16-04 & RZ21-01). The original phase of the subdivision (first and second plats) is nearing completion. A few lots remain to be developed. The southerly part of the subdivision has several homes built or under construction but is still in the early stages of construction. Streets and infrastructure are still being constructed in this phase.

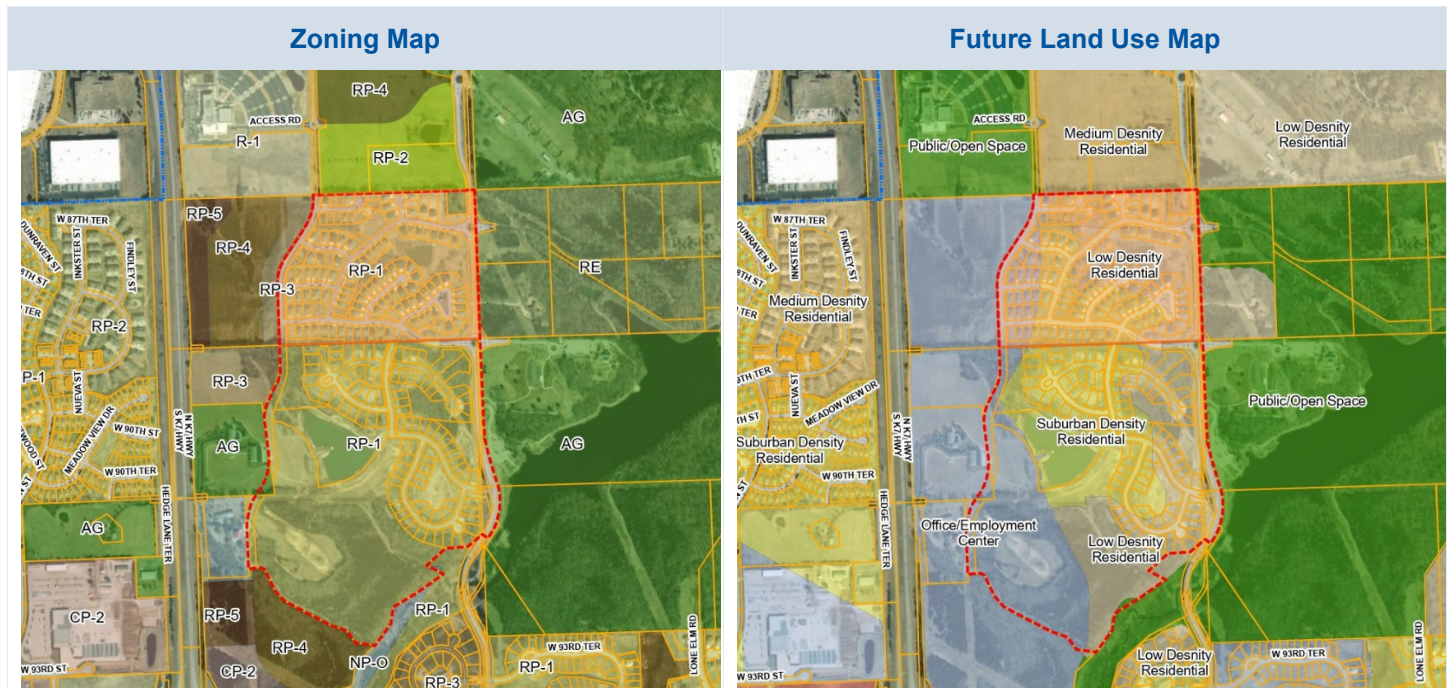


TABLE 1: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Designation	Zoning	Current Use
Subject Property	Low Density Residential, Suburban Density Residential, Medium Density Residential, & Office/Employment Center Public/Open Space	RP-1	Single-Family Residential
North	Medium Density Residential	RP-2	Undeveloped
South	Office/Employment Center & Open Space	RP-1, RP-4, & NP-O	Undeveloped land and City Park
East	Low-Density Residential & Open Space	AG, & RE	Undeveloped
West	Office/Employment Center	AG, RP-3, & NP-O	Undeveloped land and large residential estate parcel

FINAL PLAN REVIEW

The applicant is requesting final plan approval to revise the private trail amenity plan for the Watercrest Landing subdivision. The proposed revision is specifically for the first and second plats of the subdivision. The approved plan shows trails that are in private tracts of the subdivision. The trails are private, constructed by the developer, and are maintained by the HOA.

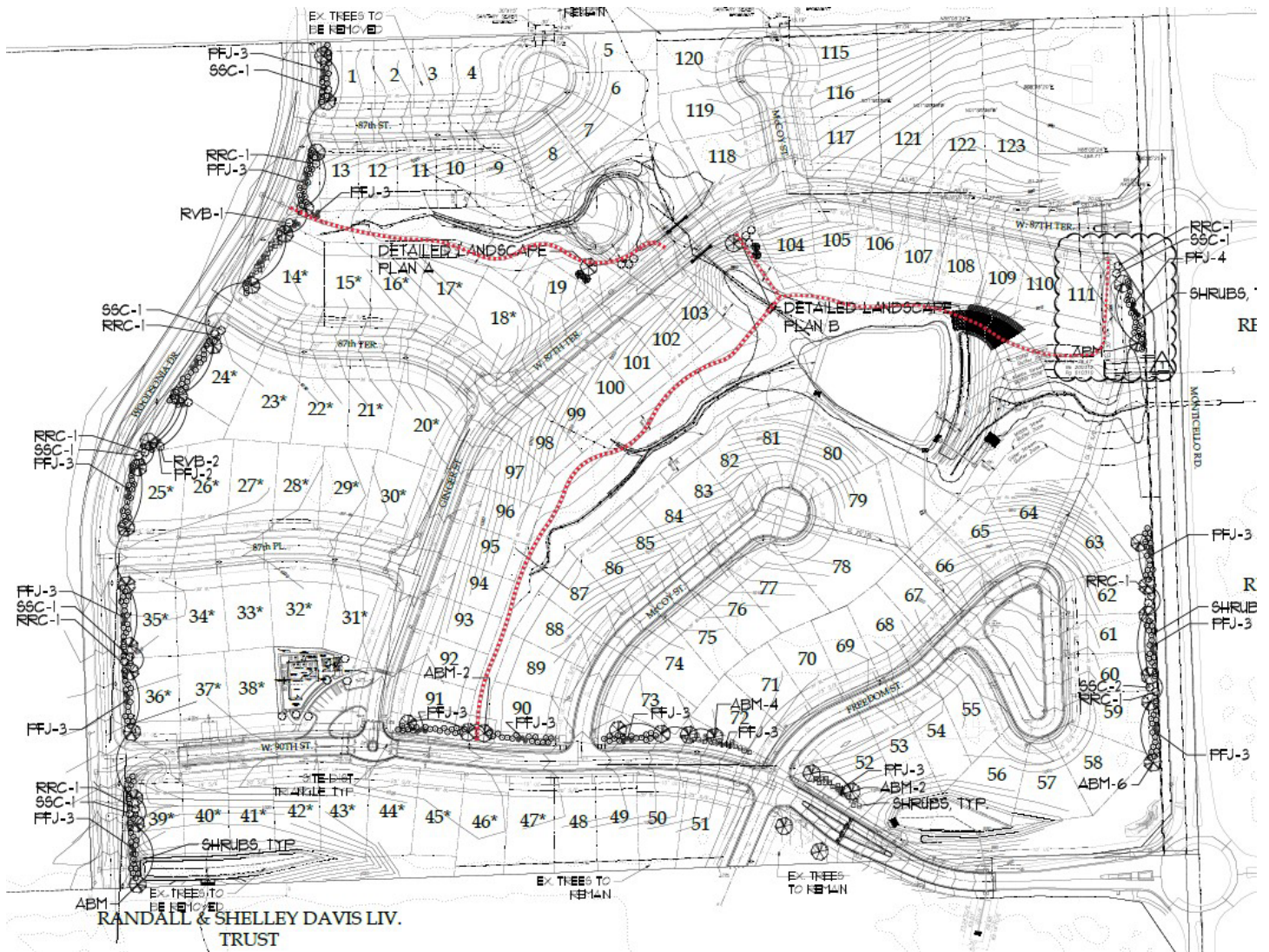


Exhibit 2: Original amenity plan showing the trails in a red dashed line.

In early 2024, changes were made to the Watercrest Landing HOA to install an Owner Board as part of the HOA, which is still controlled by the developer. A question and vote of lot owners was conducted in January of 2024 as follows:

We agree that the planned trail extension in Phase 1/2 of the development is not desired and further that it is acceptable that this remain undeveloped area. In exchange for our support with the City of Lenexa to revise the plan and remove the costs associated with this trail (estimated at \$70k), we further agree that the developer should deposit half of the savings from this change (\$35k) into the HOA fund at the time of handoff for the amenity center which is currently under construction so that much of the first year operating costs are covered.

Yes - 94% (74)

No - 6% (5)

The Watercrest Landing HOA (of the first and second plats) has agreed with the developer to remove the westerly trail section from the private amenity package for the subdivision.

The revised plan also removes the pool and cabana from the first phase. The subdivision's pool amenity is currently under construction on a tract in Watercrest Landing, Third Plat, south of the first phase. A gazebo is now constructed in the island of the Freedom Street cul-de-sac at the southwesterly corner of the subdivision. The proposed amenity plan of the first phase will contain the trails as shown on the following exhibit:



Exhibit 3: Proposed Watercrest Landing Private Amenity Plan with northwest trail removed (First and Second Plats).

STORMWATER

No changes are made to the stormwater features of the subdivision.

LANDSCAPING

No changes are made to the landscaping for the subdivision.

DEVIATIONS

The applicant is not requesting any deviations.

REVIEW PROCESS

- The Planning Commission is the final authority for approval of this project.
- The applicant should inquire about additional City requirements, such as permits and development fees.

RECOMMENDATION FROM PROFESSIONAL STAFF

★ **Staff recommends approval of the proposed Revised Final Plan for Watercrest Landing Private Amenity Plan.**

- The revised private amenity plan for Watercrest Landing (first and second plats) removes a section of the private trails within a tract owned by the HOA.
- The project is consistent with Lenexa's goals through *Responsible Economic Development* to create *Vibrant Neighborhoods*.

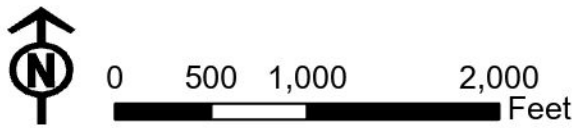
FINAL PLAN

Staff recommends **approval** of the revised final plan for PL24-05FR – **Watercrest Landing Private Amenity** at the northwest corner of 89th Street and Monticello Road, for the private amenities of a single-family residential subdivision.





Data Source: City of Lenexa and Johnson County Kansas
 For further information, please call 913-477-7500

Watercrest Landing Private Amenity Plan





 WATERCREST LANDING TRAIL SYSTEM
 WATERCREST LANDING PUBLIC WALKWAY SYSTEM

NSPJ
 ARCHITECTURE
 LANDSCAPE
 ARCHITECTURE
 ENERGY SERVICES
 P. 913.831.1415
 F. 913.831.1563
 NSPJARCH.COM
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A MASTER PLAN FOR:
WATERCREST LANDING
 8940 MONTICELLO RD.
 LENEXA, KANSAS

DRAWING RELEASE LOG
 04/03/2024 WATERCREST LANDING - PRIVATE TRAILS
 04/22/2024 REV. 1 WATERCREST LANDING PRIVATE TRAILS

REVISIONS

WATERCREST LANDING PRIVATE TRAILS
 SCALE 1"=100'-0"



DATE
 04/22/2024
 JOB NO.
 573915
 DRAWN BY:
 BNH
 SHEET NO.

SP10

WATERCREST LANDING NARRATIVE FOR CHANGES TO TRACT E WALKING TRAIL AND WATERCREST LANDING HOA GOVERNANCE

The WaterCrest Landing HOA annual meeting was held on December 13th, 2023. One of the topics discussed during the meeting was the walking trail that was planned for construction in Tract E of the subdivision.

There had been feedback from some residents that indicated some would prefer the trail not be constructed. A variety of reasons for the opposition to the trail being constructed were expressed:

- Close proximity to some homes backyards
- Loss of some vegetation to construct
- The western end of the trail would face Woodsonia and a future apartment complex and provide a gateway for non-residents to enter HOA property.

Since there was not 100% representation of all homeowners at the meeting there was a need to solicit feedback on the topic from a wider base of homeowners. As a follow up an email was sent on December 22, 2023 to all residents asking if they supported the construction of the trail or if they opposed. The initial response was split nearly 50-50 so the plan at the time was to proceed with construction.

However as part of the follow up discussions that were had with some homeowners a concept for making a change HOA governance emerged. Discussions were held by homeowners to gain consensus on changes to propose to the developer who also has control over the HOA. Those discussions resulted in a proposal and list of requests by the homeowners:

1. Owner run HOA Board composed of elected president, secretary and treasurer from the neighborhood, meeting quarterly with developer rep (Tom Bohanon is preferred)
2. Continue the services of MPMC to manage the HOA with clarity that owner to developer issues are managed by the above board and not MPMC
3. In exchange for resident support with city to revise plan eliminating path in Phase 1/2, agreement that half of savings (\$35k) be invested in HOA by P&L on transfer of amenities center to HOA in order to cover increased costs

The developer agreed to all 3 requests and an election was held by the homeowners to elect the 3 persons to serve on the board along with the developer representative. As part of the same election homeowners voted on whether to construct the walking trail in Tract E as outlined in request 3. The vote was 94% to not build the trail. Voting results are attached here.



Tom Bohanon <tomabohanon@gmail.com>

Re: WaterCrest Landing HOA Voting Results

1 message

Michael Stephens <michael.stephens.home@gmail.com>

Sun, Feb 11, 2024 at 12:46 PM

To: Tom Bohanon <tomabohanon@gmail.com>, Annie Kennedy <akennedyrealestate@gmail.com>, Mickey <fivechiefs@aol.com>

Cc: David Brewer <dbrewer514@gmail.com>, Jim Hampshire <av8c17@gmail.com>, Michael Stephens <michael.stephens.home@gmail.com>, Jim's Business Email <jim@maxwellpmc.com>, Jeanie Scott <jeanie@maxwellpmc.com>

Hope you are all doing well and looking forward to a fun and exciting Super Bowl today. As you can see below, we have closed on the neighborhood voting and are ready to move forward.

We need one specific thing from you, Mickey:

- **Please REPLY ALL and affirm that the new HOA board will consist of Michael Stephens, David Brewer, Jim Hampshire with Tom Bohanon as the developer representative**

With that done, we'll meet together and then with MPMC to review contracts and coordinate with Tom on our first quarterly meeting where we will all formalize the new roles and approve the pending contracts for MPMC, Meers.

Please let us know how we can support you with the City of Lenexa as you propose the change to the Plan for Phase 1/2 to remove the trail. You can leverage the below and also share my contact information if they have questions. If you need one or more of us to attend or otherwise support, please let us know.

I want to thank you for putting us on a new footing together and I hope this is the start of something positive for our growing neighborhood.

- Michael
michael.stephens.home@gmail.com

On Sun, Feb 11, 2024 at 12:32PM Michael Stephens <michael.stephens.home@gmail.com> wrote:

Thank you all for taking the time to support our proposed changes to the WaterCrest Landing HOA. With the support of the developer, we proposed a change and you have overwhelmingly supported it. Below, you can find the detailed results for the vote.

Next up, we will request that the developer formally appoint the top three vote receivers to the HOA Board (that's the only legal way to do it under current declarations). The new board members will need to meet with MPMC to review their contract and the contract for Meers which are both due for renewal. We will also propose a schedule for the planned quarterly meetings with the developer which we intend to be open to all residents. The specific details of the board accountabilities vs. MPMC and the developer will be discussed and brought forward to provide clarity in the first of these quarterly meetings.

We would like to have the Watercrest Landing Home Owners Association Board run by elected representatives of the resident owners and would like for them to meet quarterly with a representative of the developer?

Yes - 100% (80)

We would like to have the Watercrest Landing Home Owners Association Board run by elected representatives of the resident owners and would like for them to meet quarterly with a representative of the developer?

Yes - 94% (74)

No - 6% (5)

We agree that the planned trail extension in Phase 1/2 of the development is not desired and further that it is acceptable that this remain undeveloped area. In exchange for our support with the City of Lenexa to revise the plan and remove the costs associated with this trail (estimated at \$70k), we further agree that the developer should deposit half of the savings from this change (\$35k) into the HOA fund at the time of handoff for the amenity center which is currently under construction so that much of the first year operating costs are covered.

Yes - 94% (74)

No - 6% (5)

Board Volunteers:

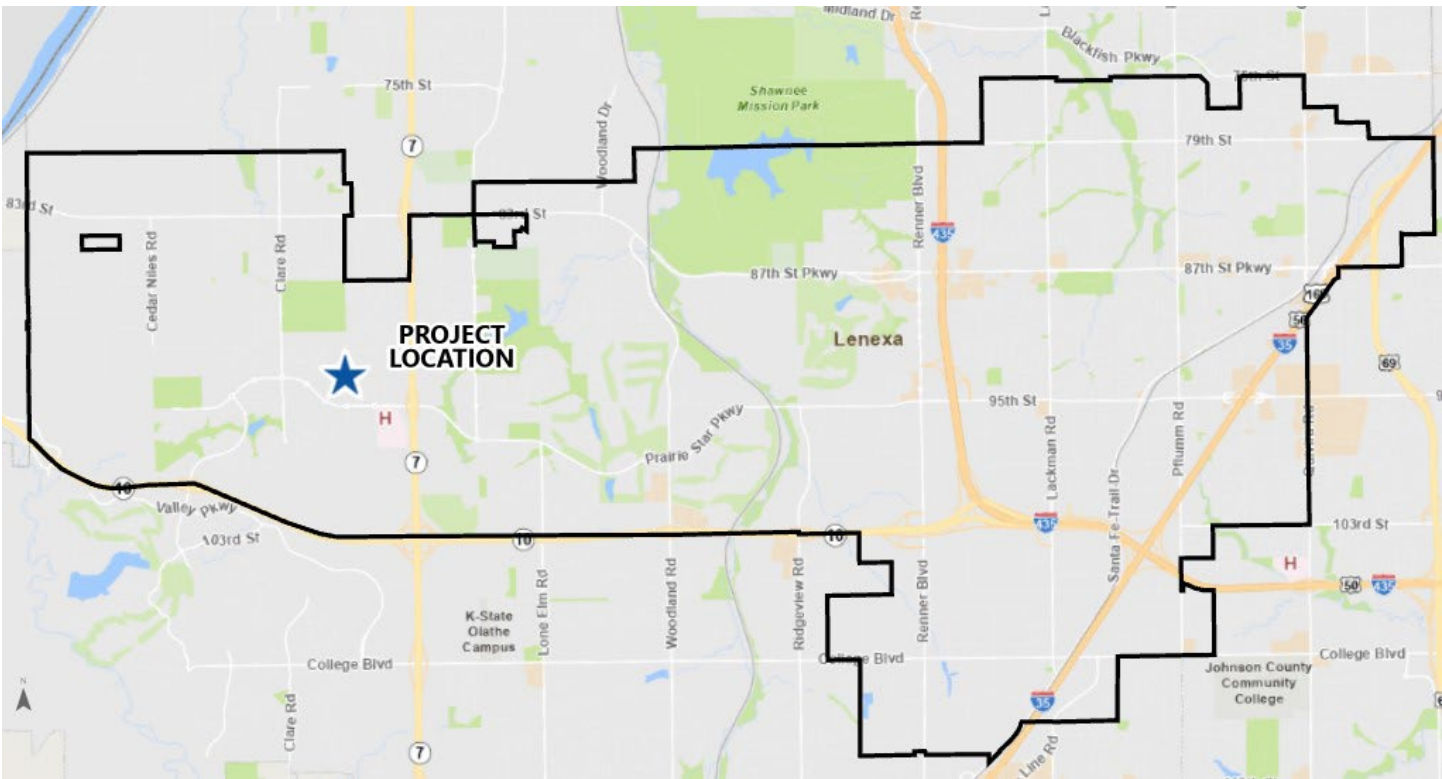
David Brewer
Tom Barbee
Maria Barbee
Ann Colgan
Elizabeth DePriest
Paul Griesemer
Ann Hampshire
Jim Hampshire
David Komar
Kurt Miller
Michael Ricker
Michael Stephens
Ron Timbrook
Todd Wells

New WaterCrest Landing HOA Board:

- Michael Stephens
- David Brewer
- Jim Hampshire

PRAIRIE VIEW AT CREEKSIDE WOODS SIXTH PLAT

Project #:	PT24-03FR	Location:	Northwest Corner of Gander Street and McCormack Drive
Applicant:	Chip Corcoran, RIC	Project Type:	Final Plat
Staff Planner:	Dave Dalecky	Proposed Use:	Single-Family Residential



PROJECT SUMMARY

The applicant requests approval of a final plat to replat three undeveloped lots located in the Prairie View at Creekside Woods subdivision into two lots. The replat will allow the construction of two single-family residential dwellings. The three lots are uniquely shaped around the arc of a curved street and the proposed houses for the lots do not fit within the building envelope of the existing lots.

STAFF RECOMMENDATION: APPROVAL

SITE INFORMATION

The site is zoned RP-1, Planned Single-Family Residential District (RZ04-10). Prairieview at Creekside Woods subdivision began developing between 2008 and 2009. The subdivision is now nearing completion. The three lots to be replatted are Lots 115, 116, and 117. The three lots are a part of Prairie View at Creekside Woods Fourth Plat (PT20-03FR).

LAND AREA (AC)
0.68

CURRENT ZONING
RP-1

COMP. PLAN
Suburban Residential

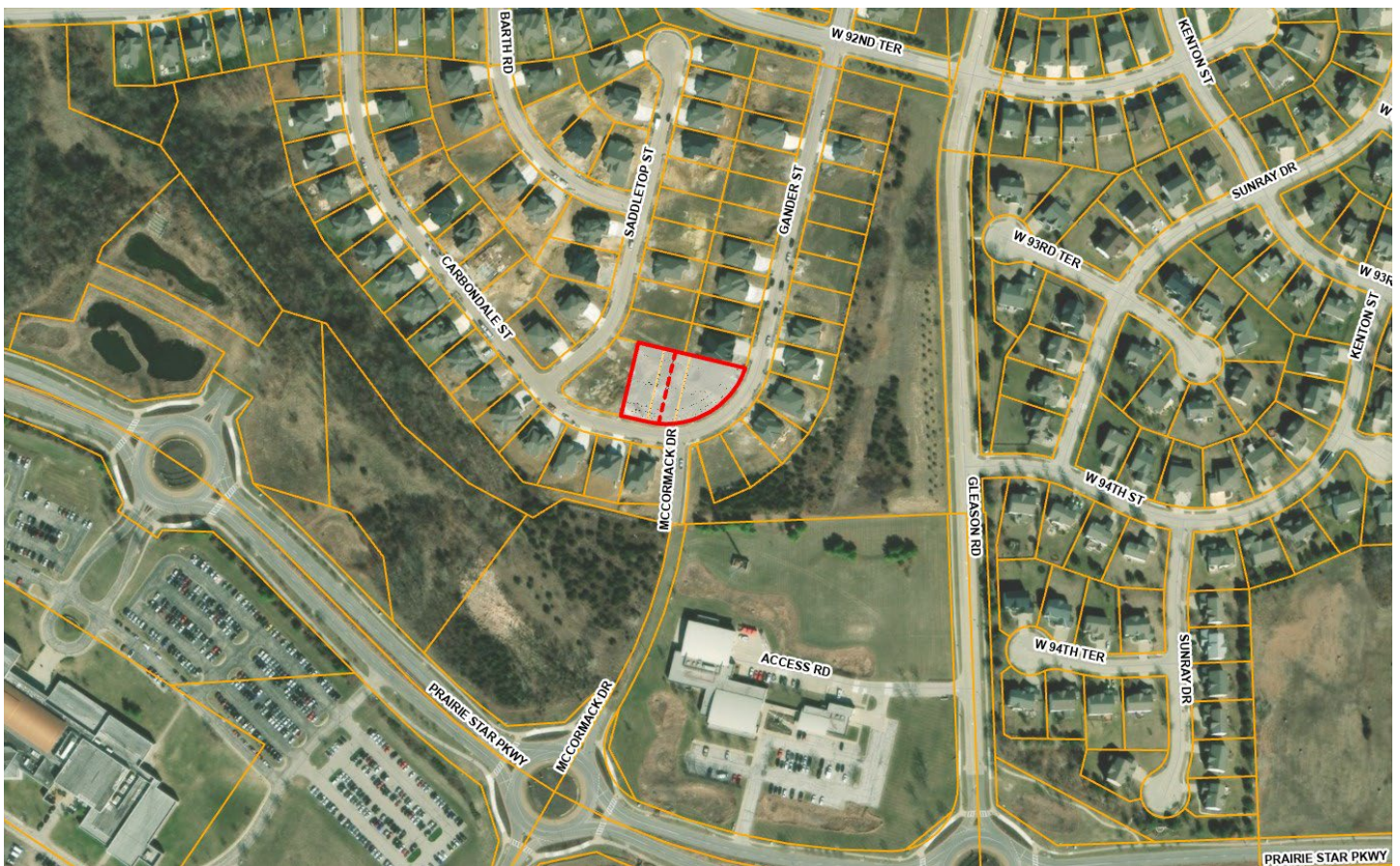


Exhibit 1: Aerial Image of Subject Site

LAND USE REVIEW

The lots are within the Prairie View at Creekside Woods Fourth Plat. The use of the land is not changing from single-family residential development.

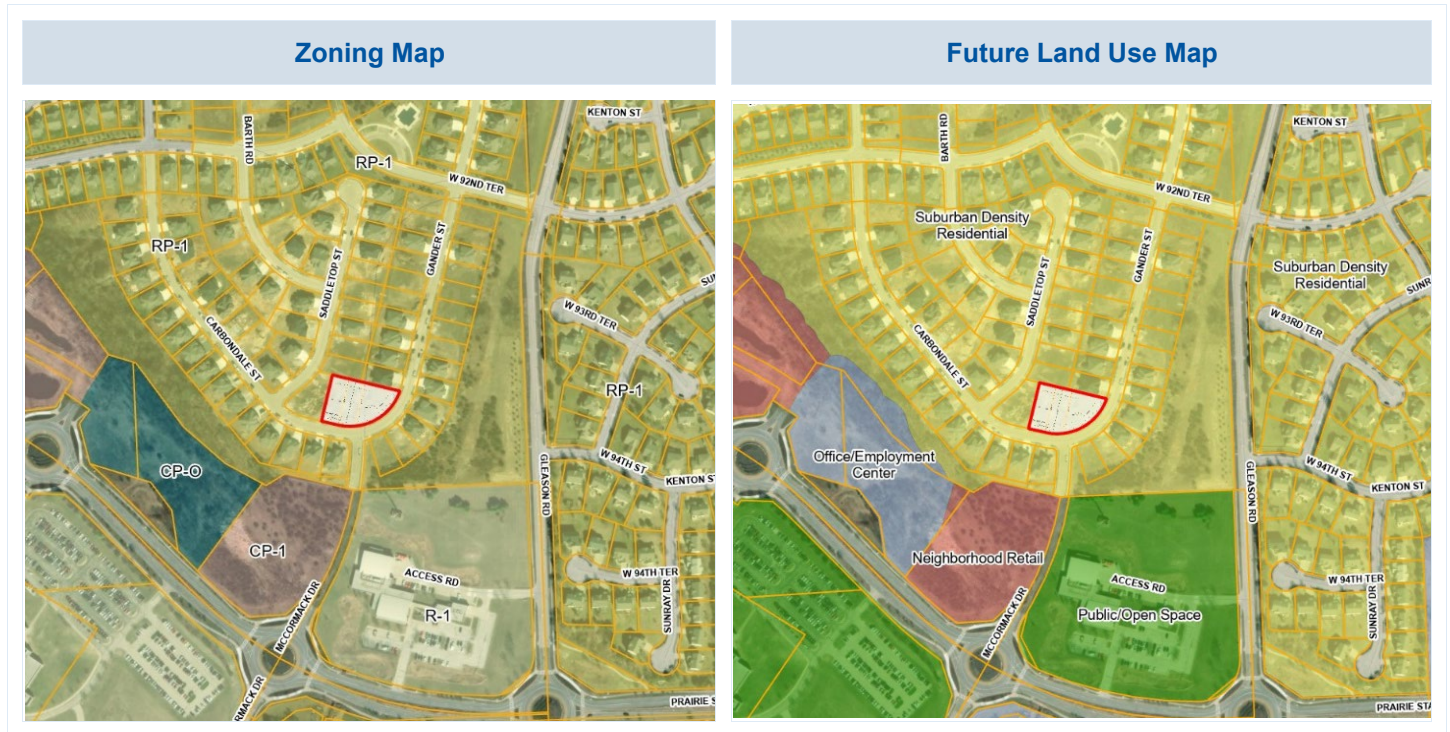


TABLE 1: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Designation	Zoning	Current Use
Subject Property	Suburban Residential	RP-1, Residential Planned Single-Family District	Undeveloped
North	Suburban Residential	RP-1, Residential Planned Single-Family District	Single-Family
South	Open Space	R-1, Single-Family Residential District	Public Safety Services (Lenexa Fire Station)
East	Suburban Residential	RP-1, Residential Planned Single-Family District	Single-Family
West	Suburban Residential Density and Neighborhood Retail	RP-1, Residential Planned Single-Family District; CP-1 and Planned Neighborhood Commercial District	Single-Family and Undeveloped

FINAL PLAT REVIEW

The three existing lots front onto Gander Street around a curved section of the block. The developer is requesting to replat the three lots into two lots, increasing the size of the buildable space of the lots to accommodate specific house plans. The existing lots have a restrictive building envelope (the space on the lot where a building may be constructed) which will not accommodate the size of homes the prospective owner is requesting. Prairie View at Creekside Woods Fourth Plat was approved in late 2020 and recorded in late 2021. The plat contains 67 lots and three tracts. Two of the three lots to be replatted are 56 feet wide and slightly larger than 8,000 SF, which are the narrowest lots in the subdivision. These two lots would require a relatively narrow home to be constructed to meet the setback requirements and fit within the building envelope. The developer is requesting to replat the group of three lots into two lots so that new homes may be constructed on the lots that are consistent with the other homes constructed in the subdivision. The resulting lots are wider and provide a larger building envelope. The proposed lots are 12,514 SF and 17,005 SF. The replat complies with the Subdivision Regulations of Section 4-2 of the Unified Development Code.

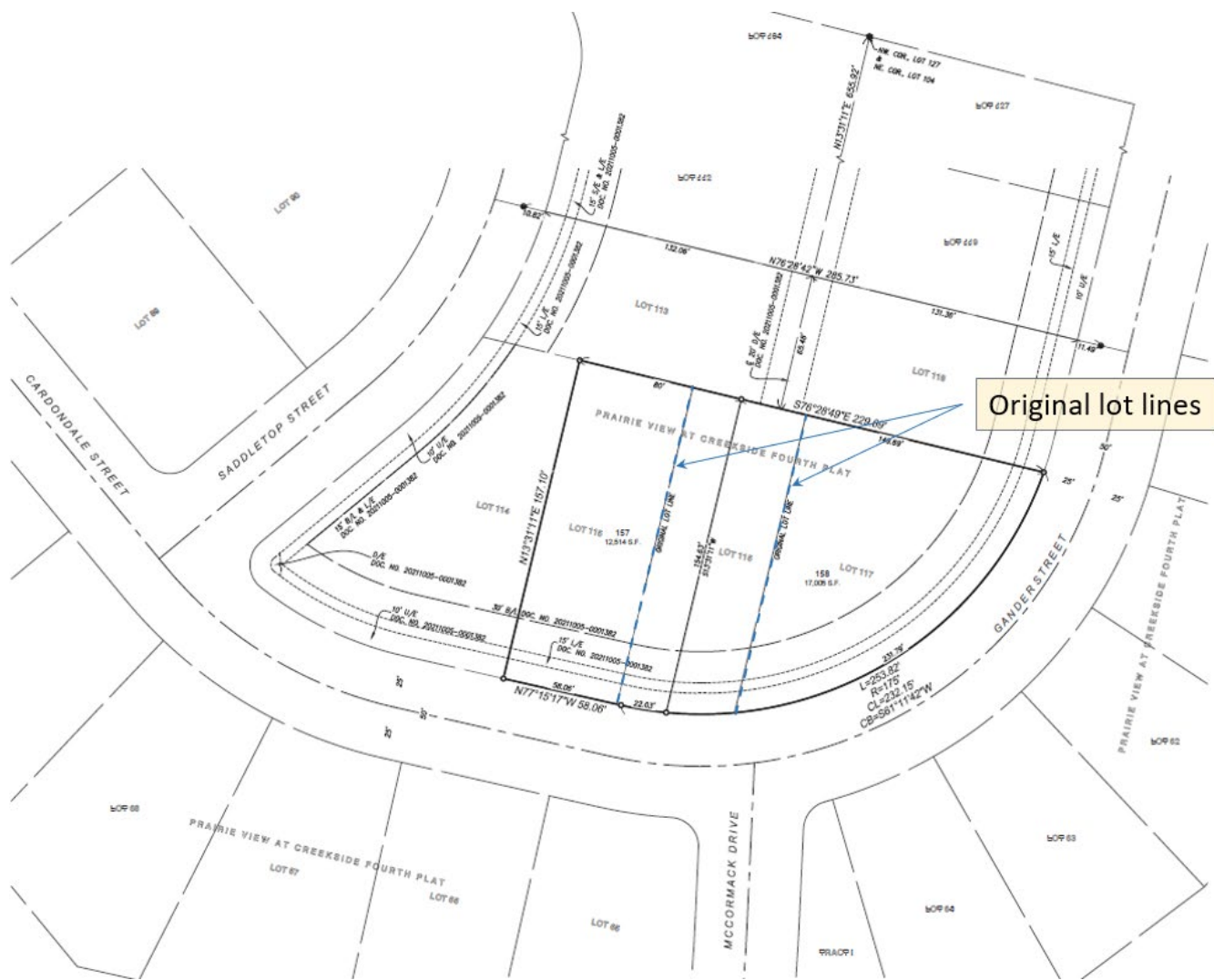


Exhibit 2: Excerpt of the proposed replat with lot details.

DEVIATIONS

The applicant is not requesting any deviations from the Unified Development Code.

REVIEW PROCESS

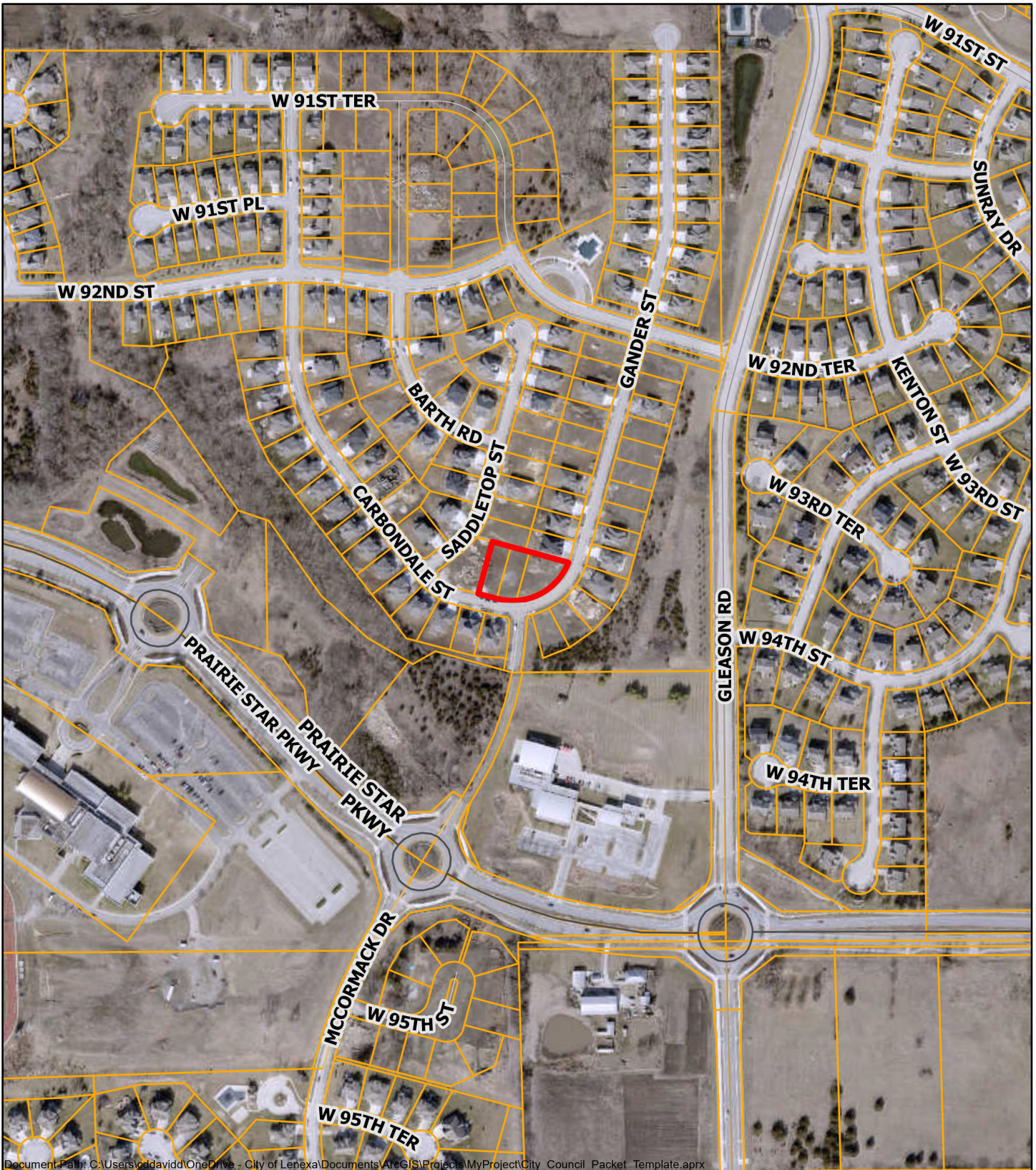
- *The Planning Commission is the final authority for approval of this project.*

RECOMMENDATION FROM PROFESSIONAL STAFF

- ★ **Staff recommends approval of the proposed Final Plat for Prairie View at Creekside Woods Sixth Plat.**
 - This replat will change three lots into two lots to allow the development of two single-family homes.
 - The project is consistent with Lenexa’s goals through ***Sustainable Policies and Practices*** to create ***Vibrant Neighborhoods***.

FINAL PLAT

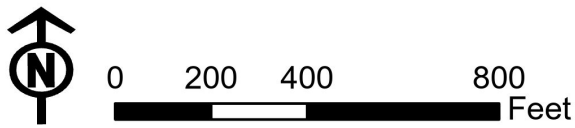
Staff recommends **APPROVAL** of the final plat for PT24-03FR – **Prairie View at Creekside Woods Sixth Plat**, located at the northwest corner of Gander Street and McCormack Drive, for a single-family residential use.



Document Path: C:\Users\jodavidd\OneDrive - City of Lenexa\Documents\ArcGIS\Projects\MyProject\City Council Packet Template.aprx

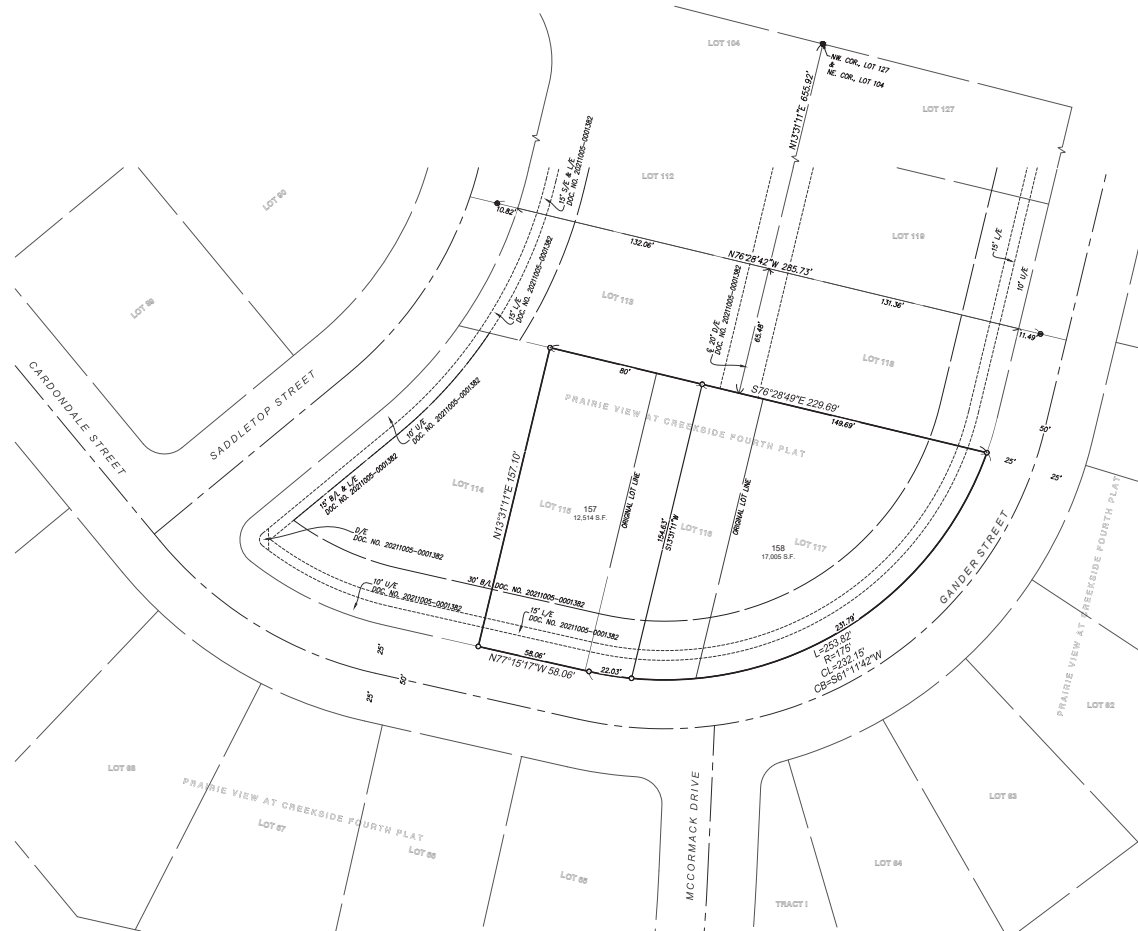
Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Prairie View at Creekside Woods Sixth Plat



PRAIRIE VIEW AT CREEKSIDE WOODS 6TH PLAT

A REPLAT OF LOTS 115-117, INCLUSIVE, PRAIRIE VIEW AT CREEKSIDE WOODS 4TH PLAT, A SUBDIVISION IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS



DESCRIPTION

A replat of all of Lots 115-117, inclusive, PRAIRIE VIEW AT CREEKSIDE WOODS 4TH PLAT, a subdivisions in the City of Lenexa, Johnson County, Kansas.

DEDICATION

The undersigned proprietor of the above-described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat, which hereafter shall be known as:

"PRAIRIE VIEW AT CREEKSIDE WOODS 6TH PLAT"

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of streets, curbs, sidewalks, jogging trails, conduits, pipes, mains, inlets, manholes, surface drainage facilities, utilities, landscaping and other similar facilities upon, over and under those areas outlined and designated on this plat as "Utility Easement" or "LIE" was hereby granted to the City of Lenexa, Johnson County, Kansas, at Book 202110, Page 1382, for its use and that of its designees or duly authorized agents. A 10 foot wide Utility Easement or "LIE" off lots adjacent and parallel with all street right-of-way lines, when shown hereon, was hereby dedicated to the City of Lenexa, Johnson County, Kansas, at Book 202110, Page 1382, for its use and that of its designees or duly authorized agents, for the purposes previously described. No above-ground facilities associated with the uses herein permitted shall be constructed, located or maintained in any area of the LIE that crosses or intersects with a drainage easement.

A 15-foot wide Landscape Easement or "LIE" was hereby reserved for the City of Lenexa, Johnson County, Kansas, at Book 202110, Page 1382, off of lots adjacent to and parallel with all Street Right-of-Way lines, when shown hereon. Maintenance of said easement shall be the responsibility of the homeowner and/or the Homeowners Association, with access granted to the City of Lenexa.

CONSENT TO LEVY

The undersigned proprietor of the above described tract of land hereby consents and agrees that the Board of County Commissioners of Johnson County, Kansas and the City of Lenexa, Johnson County, Kansas shall have the power to release such land proposed to be dedicated for public use, from the lien and effect of any special assessments and that the amount of unpaid special assessments on such land dedicated, shall become and remain a lien on the remainder of this land fronting or abutting on said dedicated public ways or thoroughfares.

EXECUTION

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this ____ day of _____ 20__.

Creekside Development LLC

Doug Claussen, Authorized Signer

STATE OF _____)
COUNTY OF _____) SS

BE IT REMEMBERED, that on this ____ day of _____ 20__, before me a Notary Public in and for said County and State, came Doug Claussen, Title of Creekside Development LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said company, and he duly acknowledged the execution of the same to be the act and deed of said company.

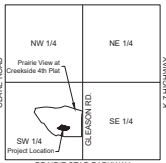
IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

Expires: _____ My Appointment
Notary Public

APPROVALS

APPROVED BY the Planning Commission of the City of Lenexa, Johnson County, Kansas, on this ____ day of _____ 20__.

Chris Poss, Chairman



LEGEND:

- FOUND 1/2" REBAR WITH RIC NOCL501100572 KSL5234 CAP
- FOUND SAW CUT ON BACK OF CURB
- FOUND 1/2" X 1/4" REBAR WITH RIC NOCL501100572 KSL5234 CAP
- (P) PLATTED
- (CN) CALCULATED FROM RECORD
- L- LENGTH OF CURVE
- R- RADIUS OF CURVE
- Ch- CHORD LENGTH
- Cb- CHORD BEARING
- B- BUILDING SETBACK LINE
- L/E- LANDSCAPE EASEMENT
- L- LANDSCAPE EASEMENT
- S/E- SANITARY SEWER EASEMENT
- U/E- UTILITY EASEMENT

NOTES:

1. Basis of Bearings: PRAIRIE VIEW AT CREEKSIDE WOODS 4TH PLAT
2. Error of Closure: 1 part in: 1397324.00'
3. All bearings and distances shown on this plat are platted and measured unless otherwise noted.
4. Monuments were reset using previous survey done by Renaissance Infrastructure Consulting, dated October 13, 2020 with Job No. 18-0158.

I hereby certify that during February, 2024, this field survey was completed on the ground by me or under my direct supervision, and that said survey meets or exceeds the current "Kansas Minimum Standards For Boundary Surveys" as established by the Kansas Board of Technical Professions.

Wayne E. Malinoff, Kansas PS-1239
RIC KS CLS-204
wmalinof@ric-consult.com



PRAIRIE VIEW AT CREEKSIDE WOODS 4TH PLAT, REPLAT

Prepared For:
Creekside Development, LLC
Attn: Doug Claussen
PO Box 232
Osage City, KS 66523



Date of Preparation: February 7, 2024
Revised: April 23, 2024

102 Abbe Avenue
Kansas City, Kansas 66103
913.317.9500
www.ri-consult.com

Certificates of Authorization:
Missouri CLS-2011003572; Kansas CLS-234

CALL TO ORDER

Chairman Poss called the regular meeting of the Lenexa Planning Commission to order at 7:00 p.m. on Monday, April 1, 2024. The meeting was held in the Community Forum at Lenexa City Hall at 17101 W. 87th Street Parkway, Lenexa, Kansas.

ROLL CALL

COMMISSIONERS PRESENT

Chairman Chris Poss
Vice-Chairman Mike Burson
Commissioner Don Horine
Commissioner David Woolf
Commissioner Curt Katterhenry
Commissioner Brenda Macke
Commissioner Cara Wagner

COMMISSIONERS ABSENT

Commissioner Ben Harber
Commissioner John Handley

STAFF PRESENT

Scott McCullough, Director of Community Development
Stephanie Kisler, Planning Manager
Steven Shrout, Assistant City Attorney II

APPROVAL OF MINUTES

The minutes of the March 4, 2024 meeting were presented for approval. Chairman Poss entertained a motion to **APPROVE** the minutes. Moved by Commissioner Macke seconded by Commissioner Horine and **APPROVED** by a unanimous voice vote.

CONSENT AGENDA

1. **Advent Health Building 2A and Parking Garage - Consideration of a final plan for a medical office building and parking garage on the Advent Health Campus located at the southwest corner of 86th Street & Renner Boulevard within the CC, Planned City Center District. PL24-03F**
2. **Advent Health Building 2C - Consideration of a final plan for a mixed-use building on the Advent Health Campus located at the northeast corner of westbound W. 87th Street & Scarborough Street within the CC, Planned City Center District. PL24-04F**
3. **Crown IV (Midwest Compounders) - Consideration of a revised final plan for exterior modifications on property located at 13715 W. 109th Street within the CP-O, Planned General Office District. PL24-04FR**

4. **Westside Family Church, Second Plat - Consideration of a revised final plat to construct an accessory office building on property located at 8500 Woodsonia Drive within the R-1, Single-Family Residential District. PT24-02FR**
5. **Spyridakis/Cooper Home Deviation - Consideration of a deviation from the 25' side yard setback requirement to construct a single-family home at a 10' side yard setback on property located at 7802 Allman Road within the RP-E, Residential Planned Estate District. DV24-02**

Chairman Poss entertained a motion to **APPROVE** Consent Agenda Items 1-5. Moved by Commissioner Horine seconded by Commissioner Katterhenry and carried by a unanimous voice vote.

REGULAR AGENDA

6. **Request to Continue to the June 3, 2024 Planning Commission Meeting - Consideration of a preliminary plan for a mixed-use development on property located approximately at the southwest corner of 87th Street Parkway & Scarborough Street within the CC, Planned City Center District. PL24-02P.**

COMMISSION DISCUSSION

Commissioner Horine asked the reason for the postponement. Stephanie Kisler responded by explaining that the application had been continued twice, primarily because Staff had been collaborating closely with the applicant to enhance the retail presence along the 87th Street segment of the project. She highlighted that the applicant was exploring the feasibility of incorporating additional intensity along 87th Street. Ms. Kisler noted that the current plans feature a parking garage fronting 87th Street, and Staff is working with the applicant to maximize activation through retail and office storefronts.

Henry Klover, Klover Architects, elaborated on their involvement in revising the plans, noting a unique approach required for the parking deck to span over the retail section. He mentioned the intricacies involving precast work and pricing, adding that completion of these tasks coincided with a period of vacation for everyone involved, thus pushing beyond this April 1st meeting. However, Mr. Klover expressed optimism, stating that despite increased construction costs, the project is progressing faster than anticipated. To ensure sufficient preparation time, they request extending the Planning Commission consideration to the June 3rd meeting.

Chairman Poss entertained a motion to continue City Center Area C Mixed-Use Hotel Development to the June 3, 2024 Planning Commission agenda. Moved by Commissioner Woolf seconded by Commissioner Wagner and carried by a unanimous voice vote.

STAFF REPORT

Scott McCullough informed the Commissioners that the Comprehensive Plan Open House took place last week, drawing approximately 55 participants. Mr. McCullough said the event lasted around two hours with consistent activity throughout. He then announced the upcoming Comprehensive Plan Work Session, which is a joint meeting scheduled with both the City Council and Planning Commission on April 23rd. He emphasized efforts to enhance the room setup to facilitate a more interactive session compared to previous joint meetings. Following the joint session, he mentioned that they will gather feedback and comments to finalize revisions to the

Comprehensive Plan. Subsequently, the formal adoption process will commence at the May 6th Planning Commission meeting. If approved, the plan will proceed for final adoption by the Governing Body on May 21st.

ADJOURNMENT

Chairman Poss ended the regular meeting of the Lenexa Planning Commission at 7:10 p.m. on Monday, April 1, 2024.

DRAFT