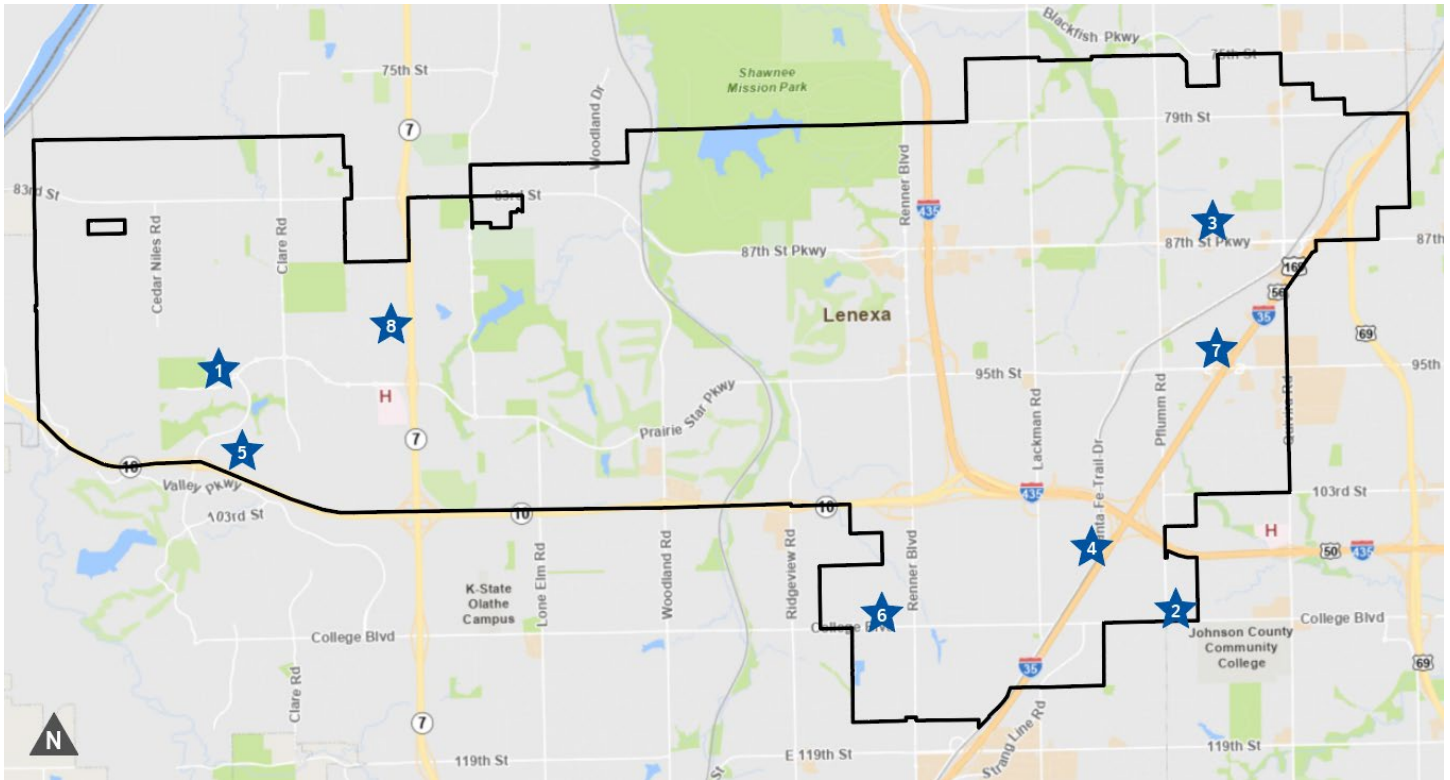


AGENDA MAP



CALL TO ORDER

ROLL CALL

APPROVE MINUTES FROM THE AUGUST 4, 2025 MEETING

CONSENT AGENDA

All matters listed within the consent agenda have been distributed to each member of the Planning Commission for review, are considered to be routine, and will be enacted by one motion with no separate discussion. If a member of the Planning Commission or audience desires separate discussion on an item, that item may be removed from the consent agenda and placed on the regular agenda.

1. **Sunset Canyon, First Plat - Consideration of a final plat for a single-family residential development located near the northwest corner of the intersection of Prairie Star Parkway and Canyon Creek Boulevard within the RP-1, Planned Residential (Low-Density) District. PT25-12F**
2. **Rivera's Tacos - Consideration of a final plan for a fast-food restaurant use (food truck) within a parking lot located at 11065 Pflumm Road within the CP-2, Planned Community Commercial District. PL25-13F**

REGULAR AGENDA

3. **SOZO Therapy Group - Consideration of a special use permit to operate a medical clinic use on property located at 13000 W. 87th Street Parkway, Suite 103 in the NP-O, Planned Neighborhood Office District. SU25-09 (Public Hearing)**
4. **Range USA - Consideration of a special use permit and preliminary plan to construct and operate a personal instruction, general use (shooting range) on property located near the northwest corner of 107th Street and Santa Fe Trail Drive. (Public Hearing)**
 - a. **Consideration of a special use permit to operate a personal instruction, general use in the BP-2, Planned Manufacturing District. SU25-08**
 - b. **Consideration of a preliminary plan for a new shooting range. PL25-11P**
5. **Cedar Canyon West Villas - Consideration of a revised preliminary plat for a single-family residential subdivision on property located near the southwest corner of 99th Street and 100th Street in the RP-2, Planned Residential (Intermediate Density) District. PT25-01PR**

CONTINUED APPLICATIONS (NO DISCUSSION)

6. **Lenexa Logistics Centre North, 6th Plat - Consideration of a final plan and final plat for a new industrial building on property located at 17200 College Boulevard within the BP-2, Planned Manufacturing District. PL25-05FS, PT25-09F**
7. **Costco Parking Expansion - Consideration of a revised final plan and final plat to demolish an existing building to expand a parking lot at 9310 Marshall Drive within the CP-2, Planned Community Commercial District. PL25-11FR, PT25-11F**
8. **Hedge Lane Residential - Consideration of a rezoning and preliminary plan for a multifamily (townhome) and single-family residential development on property located east of the intersection of 91st and Dunraven Street at 9140 Hedge Lane Terrace.**
 - a. **Consideration rezoning property from the AG, Agricultural District to the RP-1, Planned Residential (Low Density) and the RP-2, Planned Residential (Intermediate Density) Zoning Districts. RZ25-07**
 - b. **Consideration of a preliminary plan for a multifamily (townhome) and single-family residential development. PL25-12P**

STAFF REPORTS

ADJOURN

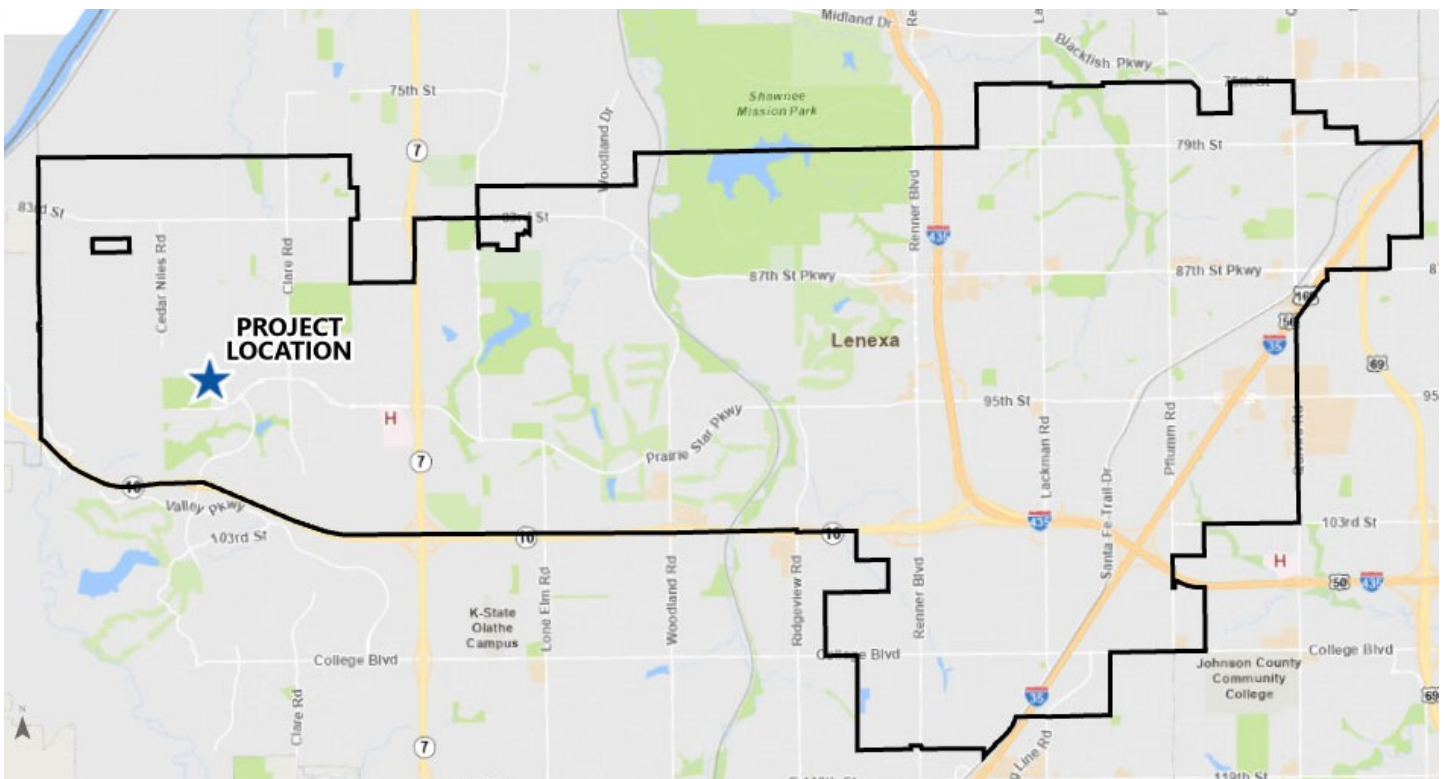
APPENDIX

9. August 4, 2025 Draft Minutes

*If you have any questions about this agenda, please contact the Stephanie Sullivan, Planning Manager, at ssullivan@lenexa.com.
If you need any accommodations for the meeting, please contact the City Clerk's Office at 913-477-7550 at least 48 hours prior to the meeting.
Kansas Relay Service: 800-766-3777 Assistive Listening Devices are available for use in the Community Forum by request*

SUNSET CANYON, FIRST PLAT

Project #:	PT25-12F	Location:	Near the northwest corner of the intersection of Prairie Star Parkway and Canyon Creek Boulevard
Applicant:	Mark Breuer, Schlager Associates	Project Type:	Final Plat
Staff Planner:	Dave Dalecky	Proposed Use:	Single-Family Residential



PROJECT SUMMARY

The applicant requests approval of a final plat for Sunset Canyon, First Plat. The plat is the first phase of the single-family subdivision near the intersection of Prairie Star Parkway and Canyon Creek Boulevard. The final plat includes 50 lots and 3 tracts. The subdivision includes new local streets that will have access onto Prairie Star Parkway west of the Canyon Creek Boulevard. The preliminary plat was approved with deviations for reduced lot width and front yard setback of some of the lots.

STAFF RECOMMENDATION: APPROVAL

SITE INFORMATION

The site was recently rezoned (RZ25-04) to RP-1, Planned Residential Single-Family (Low-Density) District and a preliminary plat approved for Sunset Canyon subdivision (PT25-01P). The preliminary plat contains 175 lots and 5 tracts on 81.37 acres located near the northwest corner of Prairie Star Parkway and Canyon Creek Boulevard. A land exchange was undertaken by the City and the developer which resulted in a net gain of 11.64 acres of land area for the future park to be developed to the south and west of the Sunset Canyon subdivision. The land exchange results in the developer acquiring land more suitable for construction of new homes and for the City to receive sensitive lands, which contain wooded areas, sloped terrain, stream corridors, and a water feature more suitable for a park. This final plat, the first phase of the subdivision, is at the southeasterly corner of the site.

TABLE 1: PREVIOUS APPLICATIONS

Project Number	Application Type	Project Name	Date Approved
RZ25-04, PT25-01P	Rezoning and Preliminary Plat	Sunset Canyon	June 3, 2025

LAND AREA (AC)	LOTS	CURRENT ZONING	COMP. PLAN
21.77	50 (3 Tracts)	RP-1	Suburban Density, Neighborhood Commercial, and Park/Open Space

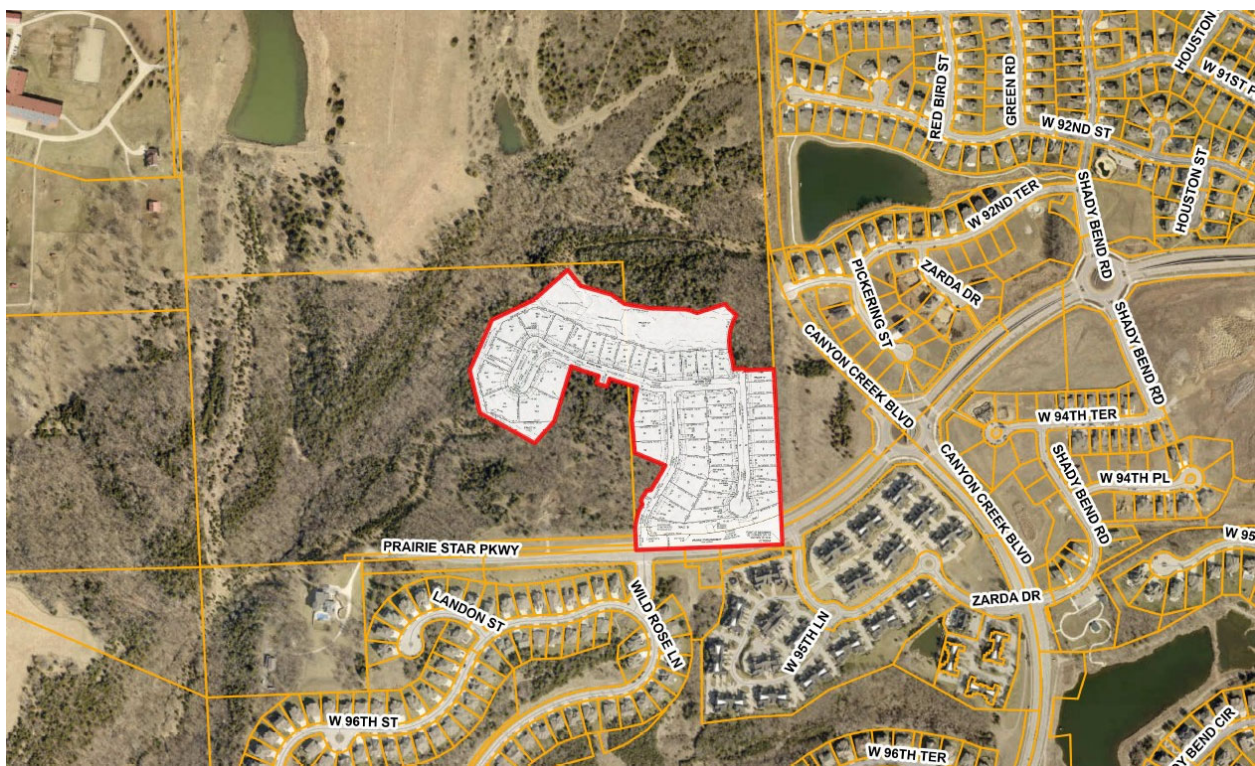


Exhibit 1: Aerial Image of Subject Site.

LAND USE REVIEW

The proposed use is a single-family residential subdivision. The proposed final plat is the first phase of the subdivision. This site is designated as Suburban Residential and Park/Open Space uses on the Future Land Use Map of the Comprehensive Plan. The recent update to the Comprehensive Plan did not change the designated uses. The part of the site that is designated for Park/Open Space uses was included with the land exchange between the developer and the City. The land to be retained by the City and the new tracts to be acquired will become part of a new park. The single-family residential subdivision is consistent with the Future Land Use Map designations.

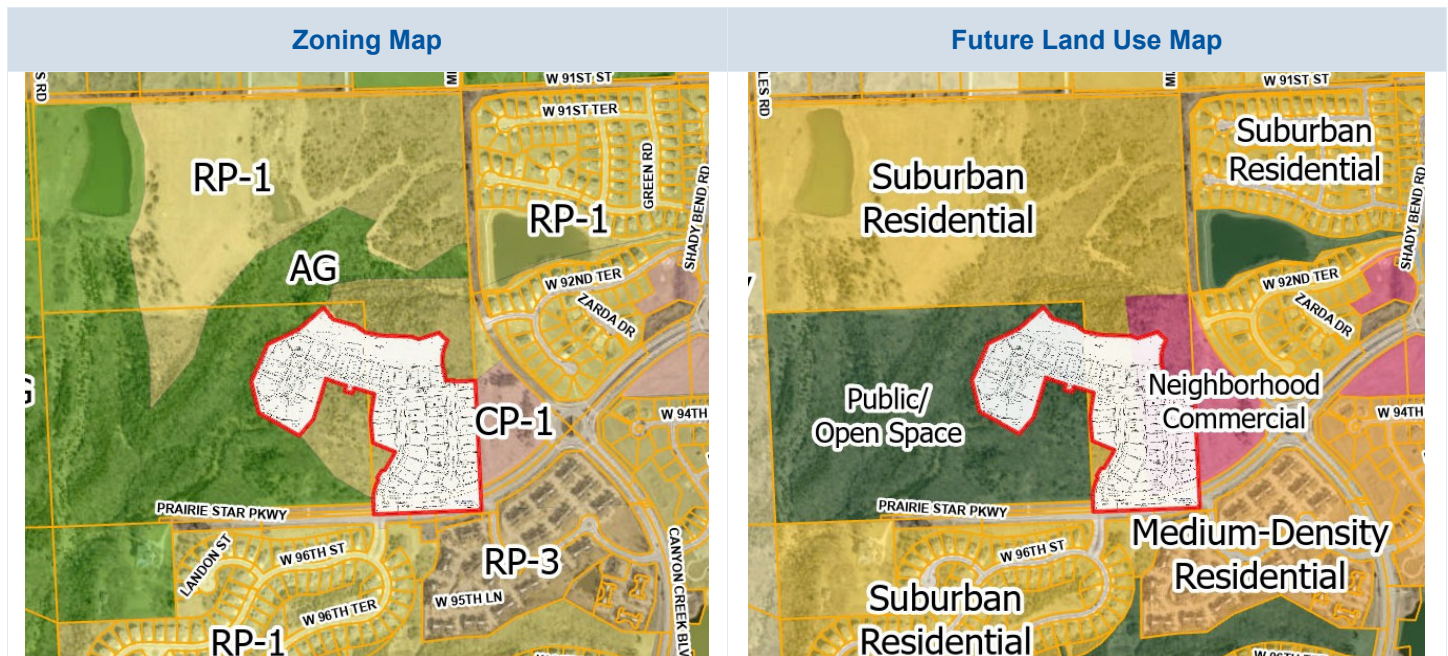


TABLE 2: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Designation	Zoning	Current Use
Subject Property	Suburban-Density Residential, Neighborhood Commercial, and Public/Open Space	RP-1, Planned Residential, Single-Family (Low-Density) District	Undeveloped land
North	Suburban-Density Residential, Neighborhood Commercial, and Public/Open Space	AG, Agricultural District and RP-1, Planned Residential Single-Family (Low-Density) District	Undeveloped land
South	Suburban-Density Residential, Medium-Density Residential, Park/Open Space	AG, Agricultural District, RP-1, Planned Residential Single-Family (Low-Density) District, and RP-3, Residential Planned (Medium High-Density) District	Single-Family Residential, Multifamily Residential, and Undeveloped land
East	Suburban Density Residential, Park/Open Space, and Neighborhood Commercial	RP-1, Planned Residential Single-Family (Low-Density) District, and CP-1, Planned Neighborhood Commercial District	Single-Family Residential and Undeveloped land
West	Suburban-Density Residential and Park/Open Space	RP-1, Planned Residential Single-Family (Low-Density) District and AG, Agricultural District	Undeveloped land

FINAL PLAT REVIEW

The proposed final plat is the first phase of the Sunset Canyon single-family residential subdivision. The plat contains 50 lots and 3 tracts. The plat is located at the southeasterly corner of the subdivision and will gain access from Prairie Star Parkway. New streets will be constructed for this phase of the subdivision. Subsequent phases will extend access to the north and intersect with Canyon Creek Boulevard (to be constructed per a development agreement with the developer of the subdivision).

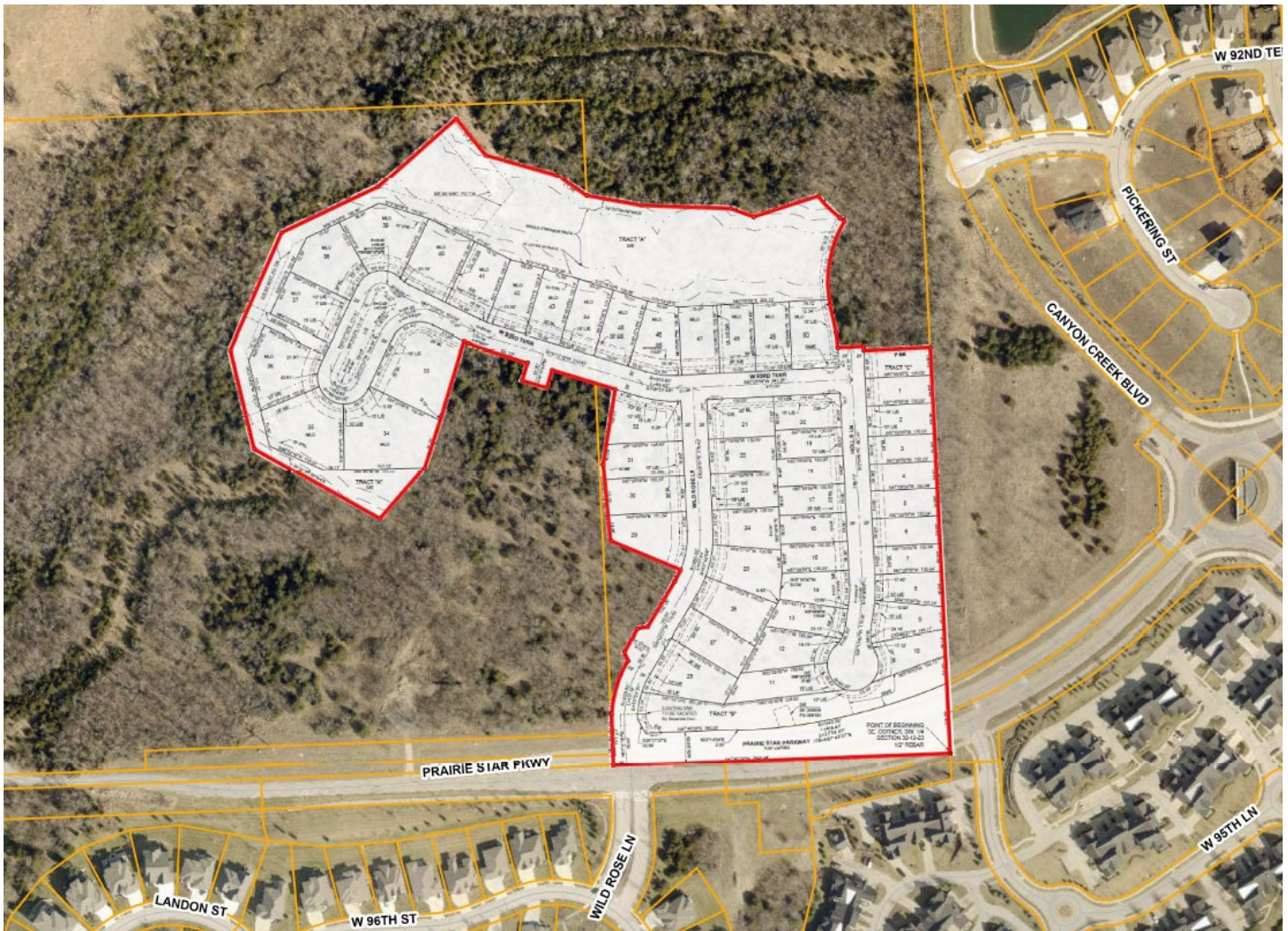


Exhibit 2: Preliminary Plat (site plan).

The three tracts include two open space tracts and tract to be replatted as a lot. The tracts will be owned and maintained by the HOA. Tract A is along the rear of several lots which contains stream corridor. This tract will abut the future parkland and remain in a “natural” condition. Tract B is between Prairie Star Parkway right-of-way and three lots at the south end of the plat. This tract will contain the fence and landscape buffer to be installed along the arterial street. Sidewalk connections will be installed from the cul-de-sac and through the two open space tracts providing a connection to the future City Park and from the cul-de-sac out to the sidewalk on Prairie Star Parkway. Tract C is a designated a tract so the subdivision will be within the 50-lot threshold from a single point of access. This tract will be replatted with the next phase of the subdivision to a lot. The purpose statement for this tract will need to be revised on the plat prior to recording.

TABLE 3: PLAT DEDICATIONS

Type of Dedication	Dedicated to
Rights-of-Way	City of Lenexa
Utility Easement	City of Lenexa
Drainage Easement	City of Lenexa
Landscape Easement	City of Lenexa
Sewer Easement	Johnson County Wastewater
Sidewalk Easement	City of Lenexa

TABLE 4: TRACT PURPOSES

Tract	Purpose
A	Open Space and Drainage Easement
B	Open Space, Fence, and Landscaping
C	Tract to be replatted to a lot in the future

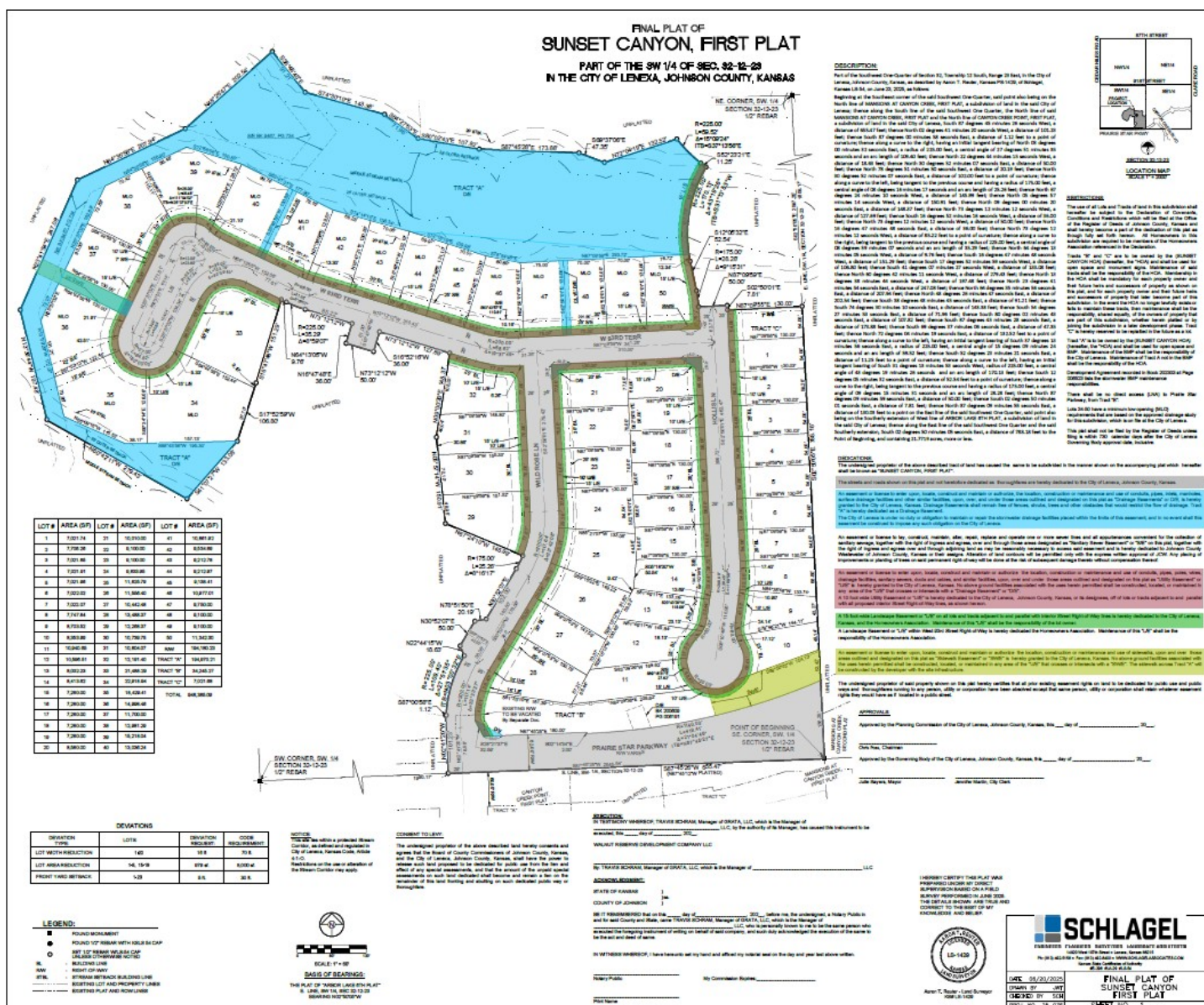


Exhibit 3: Dedications to City of Lenexa

DIMENSIONAL STANDARDS

The subdivision is generally in compliance with the subdivision requirements of [Section 4-2-C](#) of the UDC. Deviations were approved with the preliminary plat to reduce the lot width for 21 lots and lot area for 15 lots (one of the lots is Tract C) of this phase. These lots reflect the “smaller” of the two housing types that are proposed by the developer. The smaller lots have a dwelling classification of E, and the larger housing type has a dwelling classification of D. Dwelling size is the minimum ground floor area of the home.

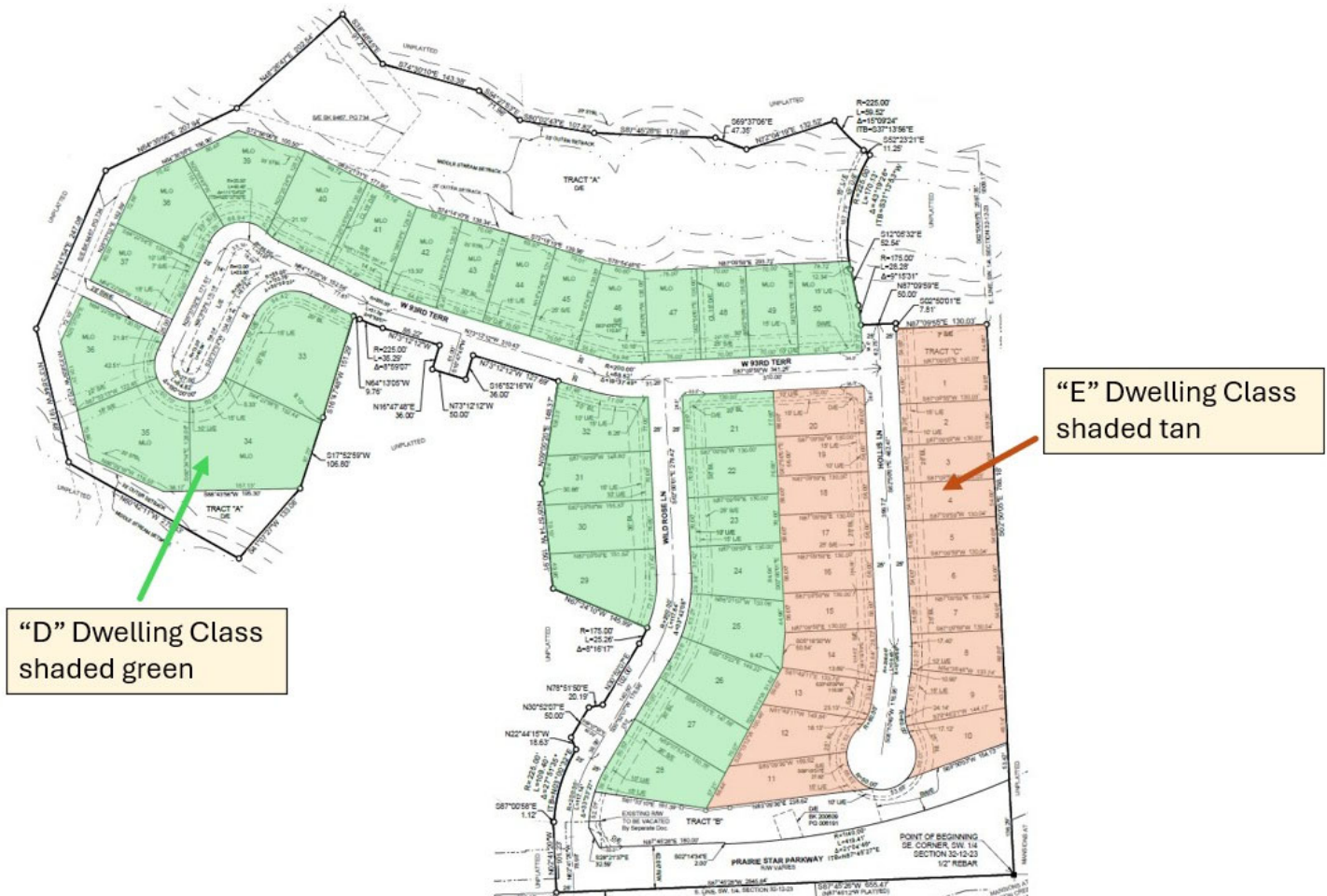


Exhibit 4: Dwelling Class designation.

PUBLIC IMPROVEMENTS

New public streets will be constructed to access the lots in the subdivision. A development agreement has been approved for the surrounding streets of Canyon Creek Boulevard and 91st Street. Sections of these streets will be constructed by the developer and by the City as the subdivision develops. The first section of the surrounding streets will be a part of Canyon Creek Boulevard from the roundabout at Prairie Star Parkway north to 92nd Terrace.

Alignment of the street connection from Prairie Star Parkway is adjusted westerly a few feet from the current right-of-way “stub” for a future street. A part of the existing right-of-way will be vacated by a separate vacation application.

STORMWATER

The applicant has submitted a stormwater management study indicating the intent to meet the City's stormwater standards and requirements. This includes extended wet detention, extended dry detention, mechanical structures (hydrodynamic separators), as well as general preservation or establishment of native vegetation. In addition, Lenexa stream buffer exists within and adjacent to this plat. The applicant has arranged the lots such that they will be outside of the buffer, with buffer area being located within tracts only.

FIRE PREVENTION

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal.

LIGHTING

Streetlights will be installed along all public streets in accordance with the City Public Improvement requirements. Lights may be installed at the subdivision amenity tract. Site and exterior lighting on private development is subject to [Section 4-1-C-4-I](#) of the UDC.

LANDSCAPING

Single-family subdivisions require a fence and landscape buffer along collector and arterial streets. Tract B of this first phase of Sunset Canyon will contain the fence and landscape buffer between the lots of the subdivision and Prairie Star Parkway. The applicant proposes to substitute one upright evergreen tree for every three shrubs. Per [Section 4-1-D-2-C](#) of the UDC, an alternative design is acceptable provided the design meets the purpose and intent of the regulations.

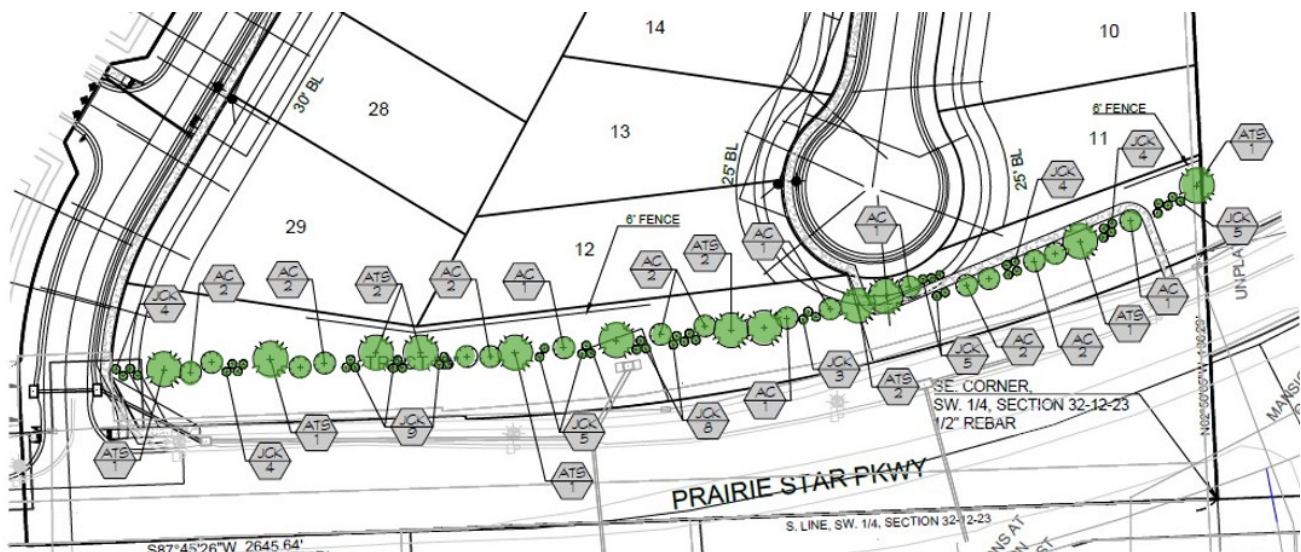


Exhibit 5: Fence and landscape buffer plan.

ARCHITECTURE

Single-family residential development is subject to [Section 4-1-C-5-C](#) of the UDC. These regulations do not specify building design standards to the same extent as other types of development. The review of the design of a single-family residential dwelling occurs during the building permit review of the structure.

DEVIATIONS

Deviations were granted as part of the consideration of the preliminary plat. The deviations are related to the minimum lot width, front yard setback and lot area for single-family lots. The Deviations shown on the final plat are the same as was approved with the preliminary plat. The following table lists the deviations approved with the Sunset Canyon preliminary plat:

TABLE 5: DEVIATIONS GRANTED WITH PRELIMINARY PLAT			
Deviation	UDC Requirement	Proposed	Difference
Lot width (60 lots)	70 feet	54 feet	16 feet
Front yard setback (30 lots)	30 feet	25 feet	5 feet
Lot area (28 lots)	8,000 SF	7915 – 6912 SF (varies)	85 – 1,088 SF
Parkway setback	50 feet	39 feet	11 feet

The deviations for the first phase are for lot width, and lot area. The lots that contain deviations are on the easterly side of the plat and will be adjacent to future nonresidential development at the corner of Prairie Star Parkway and Canyon Creek Boulevard.

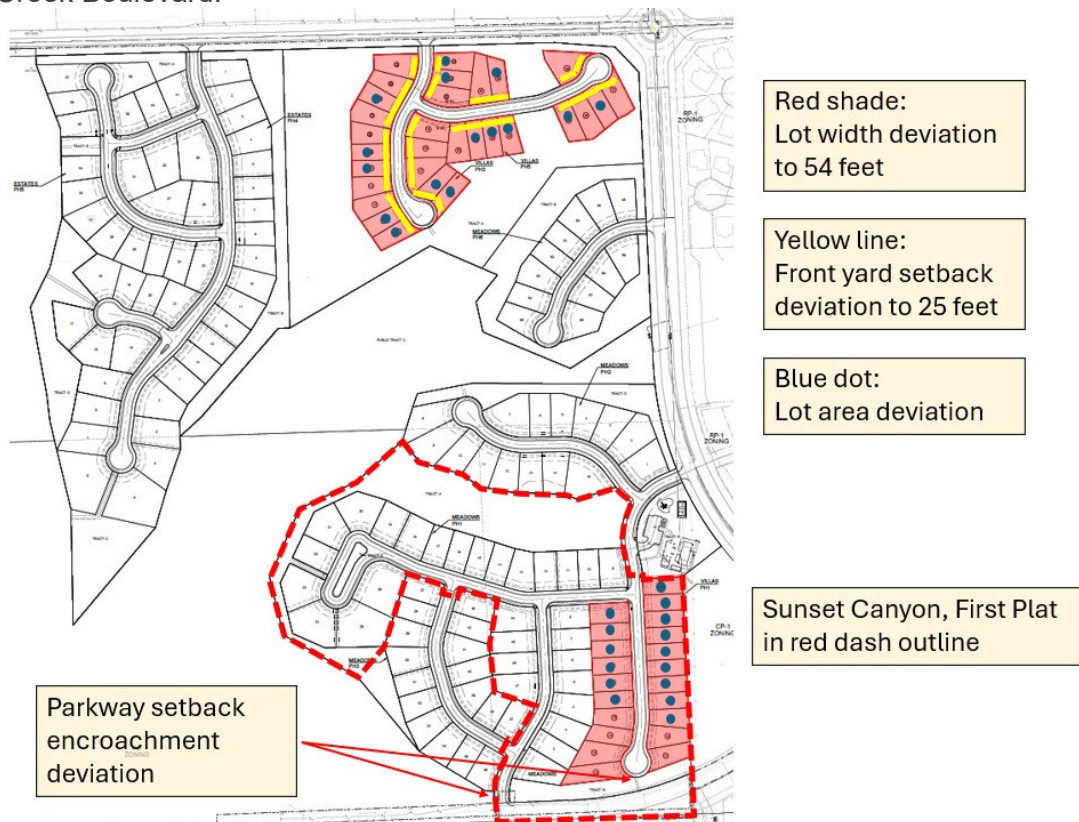


Exhibit 6: Deviations.

REVIEW PROCESS

- This project requires approval by the Planning Commission and acceptance of dedications by the City Council. Pending approval from the Planning Commission, the plat is tentatively scheduled for consideration by the City Council on September 16, 2025.
- The final plat must be recorded with Johnson County prior to permit(s) being released.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant should inquire about additional City requirements, such as permits and development fees.

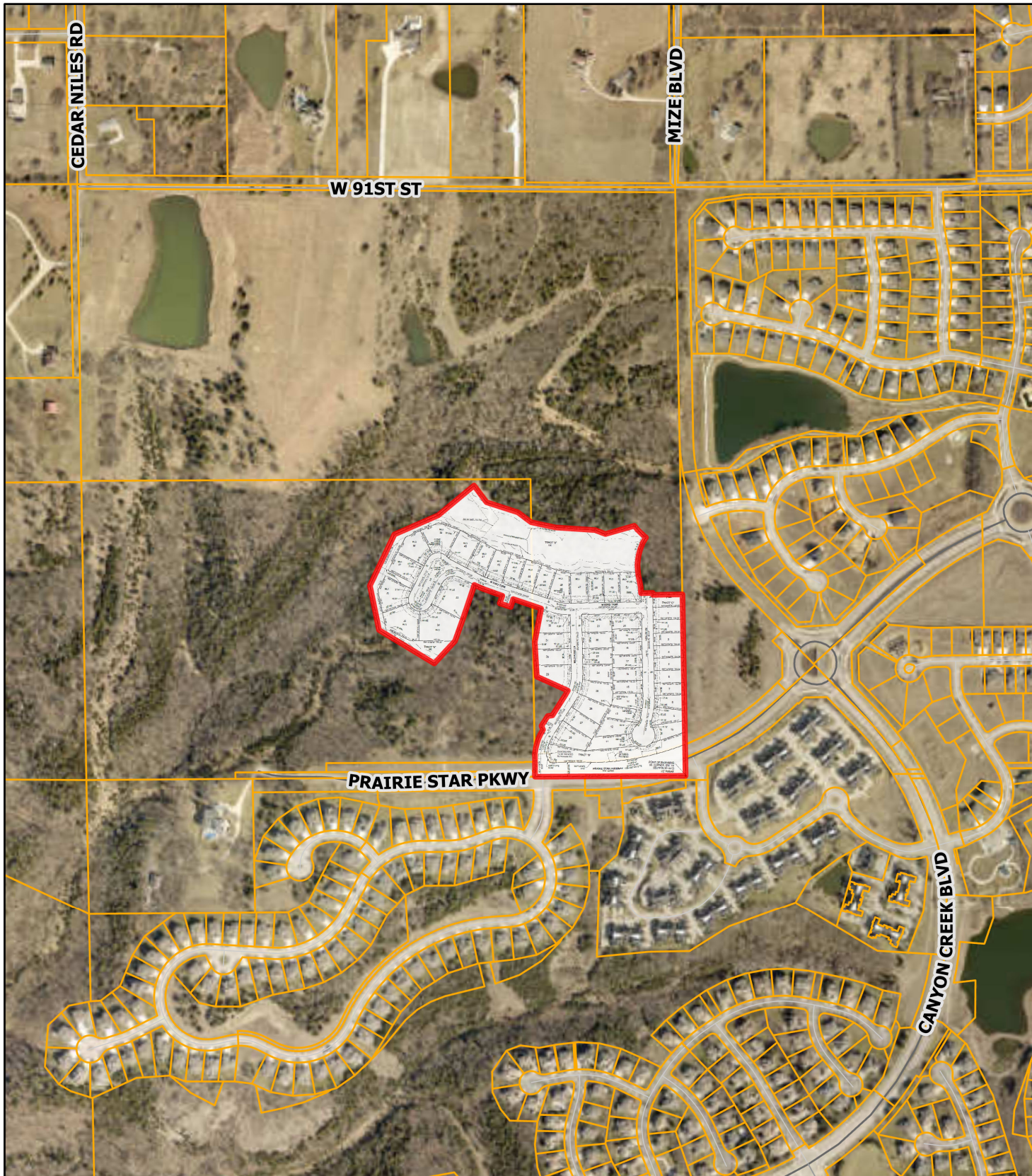
RECOMMENDATION FROM PROFESSIONAL STAFF

★ **Staff recommends approval of the final plat for Sunset Canyon, First Plat.**

- This project includes 50 lots and 3 tracts on 21.77 acres for a single-family residential development with 50 dwelling units.
- Deviations were approved for some lots as noted in the preliminary plat (PT25-01P).
- The project is consistent with Lenexa's goals through **Responsible Economic Development** to create **Vibrant Neighborhoods** and a **Thriving Economy**.

FINAL PLAT

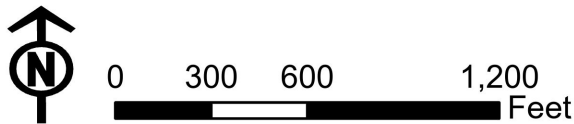
Staff recommends **APPROVAL** of the final plat for PT25-12F **Sunset Canyon, First Plat** located near the northwest corner of the intersection of Prairie Star Parkway and Canyon Creek Boulevard for a single-family residential subdivision.



Document Path: L:\Planning\GIS\Council Map Template 2025.aprx

Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Sunset Canyon, First Plat



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**1 UPRIGHT EVERGREEN IS EQUAL TO 3 SHRUB PLANTINGS THAT WILL BE PROVIDED

PLANT SCHEDULE SUNSET CANYON 1ST PLAT



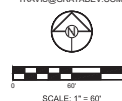
PRESERVED VEGETATION

OWNER:

DAWN MONTGOMERY
9100 CEDAR NILES RD.
LENEXA, KS 66227

DEVELOPER:

GRATA DEVELOPMENT, LLC
6300 W. 143RD ST, SUITE 200
OVERLAND PARK, KS 66223
p (913)912-9000
TRAVIS@GRATADEV.COM



SHFF

L1.0

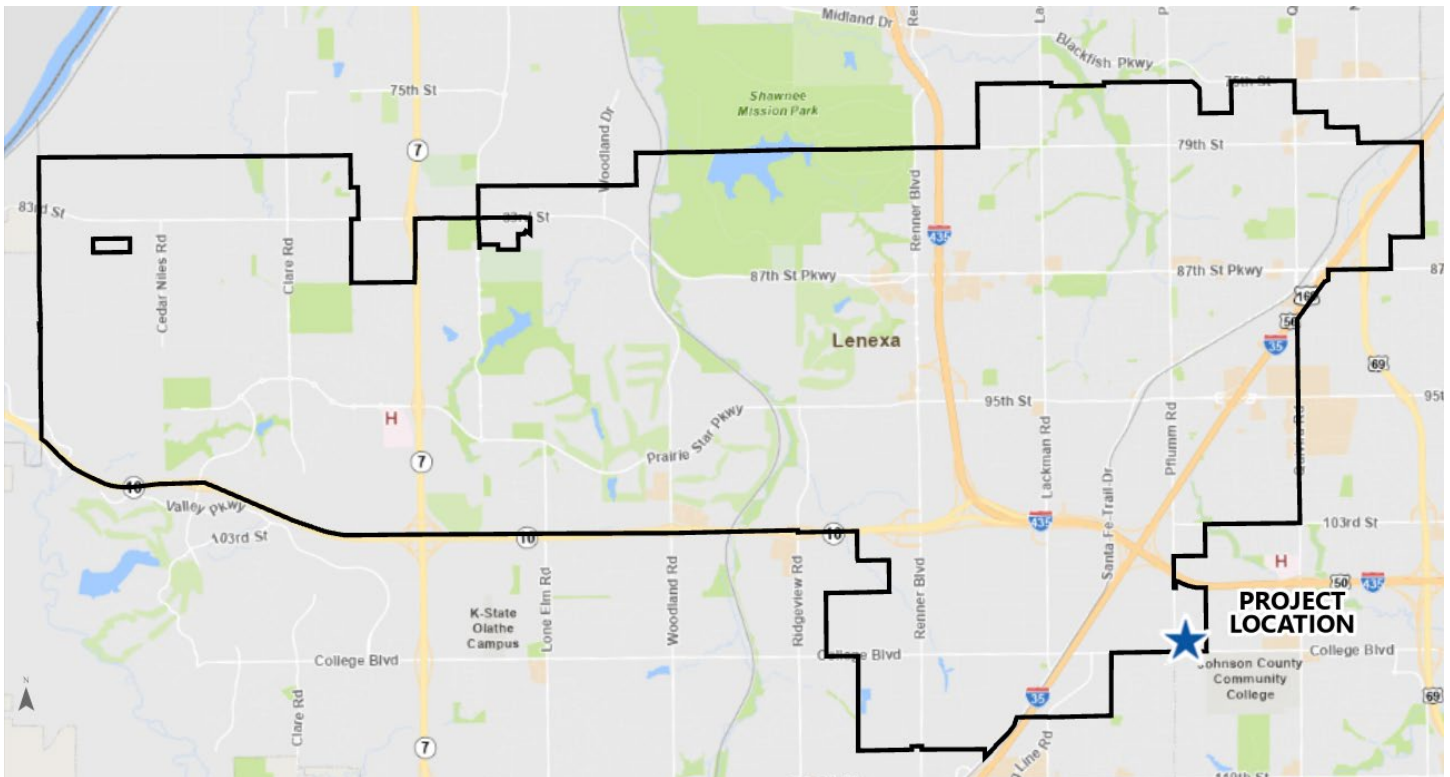
PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

SUNSET CANYON
FINAL PLAT OF FIRST PLAT
MIZE ROAD AND 91ST STREET LENEXA, KANSAS

RIVERA'S TACOS

Project #:	PL25-13F	Location:	11065 Pflumm Road
Applicant:	Carlos D'Achiardi	Project Type:	Final Plan
Staff Planner:	Jessica Lemanski	Proposed Use:	Fast-Food Restaurant (Food Truck/Trailer)



PROJECT SUMMARY

The applicant proposes to locate a semi-permanent food truck/trailer and associated covered seating area at the parking lot of 11065 Pflumm Road. The business proposes to operate from Monday through Saturday from 11:00 AM to 9:00 PM and will be moved from the parking lot to an off-site location every night. The applicant requests approval of a final plan for the food truck to locate in the parking lot on a semi-permanent basis. This project does not require a Public Hearing.

STAFF RECOMMENDATION: APPROVAL

SITE INFORMATION

The subject property is located at the northeast corner of College Boulevard and Pflumm Road, just north of the Lenexa municipal boundary with Overland Park and Olathe. An eye care business occupies the subject property and the site is surrounded by the larger Marketplace Shopping Center, both of which were built between 1988 and 1989.

The subject site was previously home to a QuikTrip gas station, which relocated across the street in 2013 to allow for a larger site. A revised final plan was not required at the time because the scope of the demolition was limited to the interior of the building and the removal of the gas pumps. The location has been an eyecare business since 2015.

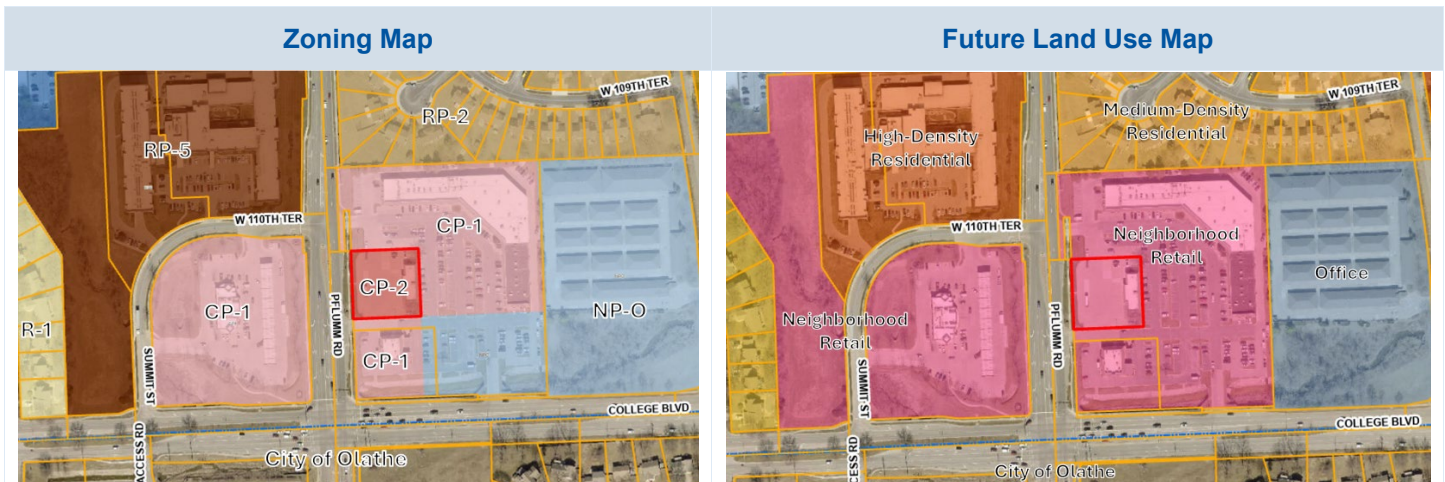
LAND AREA (AC)	TRUCK AREA (SF)	CURRENT ZONING	COMP. PLAN
0.70	150	CP-2	Neighborhood Retail



Exhibit 1: Aerial Image of Subject Site

LAND USE REVIEW

The site is zoned CP-2, Planned Community Commercial. This district is intended to accommodate retail, office, and service uses that serve community needs. There are a variety of uses in the surrounding Marketplace Shopping Center, including restaurants, personal services, retail, and medical services. The QuikTrip gas station that once occupied the subject site is now located directly across Pflumm Road. The Dial Senior Living complex and a duplex neighborhood are located farther north of the site.



The food truck/trailer is proposed to operate Monday through Saturday from 11:00 AM – 9:00 PM. The truck will be moved from the subject site to an off-site location in Olathe outside of business hours. Food is prepared and refrigerated at their commissary in the Kansas State University Campus in Olathe. Any grease produced during the preparation of food will be disposed of at that location and any trash produced via customers at the location in Lenexa will be disposed of in the dumpster on-site. The business has a Food Establishment License from the Kansas Department of Agriculture Food Safety and Lodging. The applicant will be required to obtain a business license from the City of Lenexa prior to serving customers.

TABLE 1: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Designation	Zoning	Current Use
Subject Property	Neighborhood Retail	CP-2	Medical Clinic
North	Neighborhood Retail	CP-1	Shopping Center
South	Neighborhood Retail	CP-1	Shopping Center
East	Neighborhood Retail	CP-1	Shopping Center
West	Neighborhood Retail	CP-1	Gas Station

The proposed use of a food truck is unique in that Lenexa's UDC does not have a use definition that thoroughly fits the nature of the proposed business. In reviewing the existing definitions in the UDC, Staff has concluded that the most applicable use for the food truck to fall under is a fast-food restaurant, which is allowed in the CP-2 District. Staff operates under an interpretation that requires semi-permanent food trucks to gain final plan approval to ensure that the location on-site is safe and sanitary.

Although the food truck is not operating on a permanent basis within a building as a traditional fast-food restaurant would, the general operations of the business fit the definition of a fast-food restaurant wherein quick food service is offered to customers in a ready-to-consume state, orders are generally not taken at a customer's table, and food is served in a disposable wrapping or container. A fast-food restaurant is allowed in the CP-2 Zoning District with the following supplemental regulations:

1. **Vehicular And Outdoor Use Areas:** Whenever possible, vehicular and outdoor use areas should be designed to reduce impacts to adjoining properties. To protect neighboring property from potential loss of use or diminishment of land value, the Community Development Director may recommend and the Planning Commission may approve an increase of the land use buffer factor for approved vehicular and outdoor use areas.
 - Ample space for parking exists on-site.
 - Customers will have a designated outdoor seating area with 4 chairs
 - Because the truck is proposed to be located as close to Pflumm Road as possible so as to minimize the impacts to adjacent properties, Staff believes this supplemental regulation is satisfied.
2. **Trash Receptacles:** All fast-food facilities shall provide their own enclosed trash and recycling receptacles, either inside or outside of the facility, of sufficient size to adequately and sanitarily contain all disposable trash and recyclable materials produced by the facility. The management will be responsible for the policing of all trash and recyclable material associated with the operation of this facility.
 - The applicant proposes to utilize the existing dumpster of the eye care business on-site for waste produced. Staff expects that the operator will provide a trash can at the truck and properly dispose of all trash related to the business operations.

FINAL PLAN REVIEW

The final plan is intended to reflect the current conditions of the site with the addition of the proposed food truck. Because a revised final plan was not required when the QuikTrip was removed from the site, the current final plan for the site (PL87-23F) does not reflect its current conditions.

The truck is proposed to be parked at the northwest corner of the site next to the curb. This area allows the truck to be hooked directly into an adjacent electrical box and not occupy the parking spots closest to the eye care center, which is the primary use of the site. An additional 10'x10' canopy intended to allow for a shaded seating area with 4 chairs is proposed on the east side of the truck for customers that wish to eat on-site. The food truck's height is 9'.



Exhibit 2: Site Plan

DIMENSIONAL STANDARDS

There are no new buildings proposed as part of this final plan. The food truck will be parked in the northwest corner of the parking lot of the eye care property. UDC Section 4-1-D-1-O-4-g notes that “parking lots and drives shall be set back at least 20’ from street rights of way and at least 10’ from all other property lines...” Since the proposed use operates out of a vehicle that will be utilizing the parking area, the location of the truck has been evaluated against parking setbacks. All required parking setbacks are exceeded, as shown in Table 2.

TABLE 2: SETBACK ANALYSIS			
Setback	Required Minimum Setback	Proposed Setback	Difference
Parking Lot	20’ from Right-of-Way	32’ from Right-of-Way	+12’
Parking Lot	10’ from property line	17’ from North property line	+7’
		13’8” from West property line	+3’8”

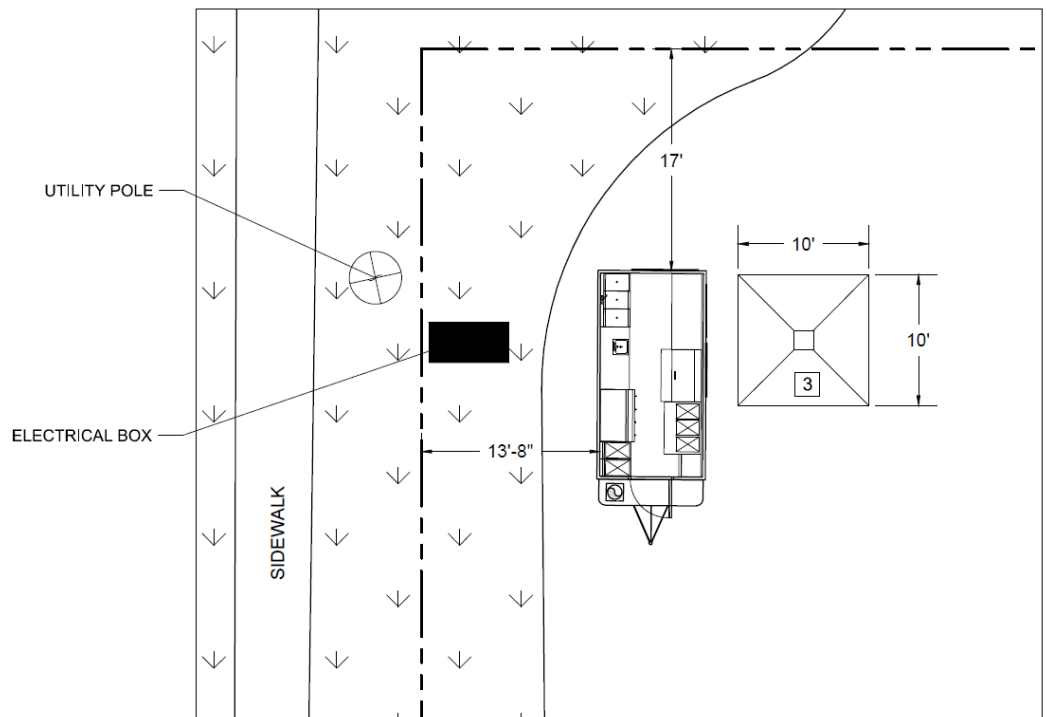
PUBLIC IMPROVEMENTS

No public improvements are proposed or required with this final plan.

At Right: Exhibit 3: Food Truck & Canopy Location

ACCESS, TRAFFIC, AND PARKING

Access to the site will not be affected by the food truck and shade canopy. There are two points of ingress and egress to Pflumm Road adjacent to the north and south ends of the property. Due to the shape of the curb where the truck will be parked, it is able to be “tucked” into the parking lot and out of the lane of travel.



The site is currently deficient in parking spaces for the existing medical clinic use by two spaces. By adding the additional use of a fast-food restaurant, the site will be under-parked by four spaces, as illustrated in Table 3.

TABLE 3: PARKING ANALYSIS

Land Use	Parking Formula	Required Parking	Proposed Parking	Difference
Medical Clinic	1 space per 200 SF	16	14	- 4
Fast-Food Restaurant	1 space per 75 SF	2		

However, the context and surrounding shopping center offers more parking to users than what is immediately available on the site. The surrounding shopping center has ample parking for its existing uses. Additionally, the site contains room to stripe additional parking spaces should the need arise, which creates a scenario similar to providing deferred parking at the site should additional parking be needed.

Considering that Staff is not aware of any existing parking issues and the medical clinic use is of relatively low intensity, Staff believes the available parking at the site will serve the uses. Additionally, the truck will likely see the most traffic during lunch hours and in the evening dinner hours after the eye care business has closed for the day.

Staff expects the property owner to maintain an organized parking lot while the food truck is in business if all of the existing parking spaces become occupied. If the parking conditions become disorganized or overcrowded, Staff will discuss the option to add parking spaces to the area that was once circulation for the gas station, as there is sufficient space for additional parking spaces to be added on-site.

STORMWATER

There are no impacts related to stormwater with this final plan.

FIRE PREVENTION

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. All general planning review comments have been acknowledged or satisfied and there are no outstanding Fire Department planning review items that need to be addressed for this project to move forward. The Heart of America Fire Marshal's permit is required before operating the business.

LIGHTING

There are no new lights proposed with this final plan.

LANDSCAPING

There is no additional landscaping proposed for the site with this final plan. There is currently one ornamental tree located at the south entrance of the site and three mature shade trees adjacent to the eye care building. There are no additional shrubs or perimeter plantings on the site.

ARCHITECTURE

There are no new buildings proposed with this final plan. The trailer, totaling 150 SF, measures 16' x 8'4" and is 9' tall. The canopy proposed to be used for a shaded seating area is 10'x10'.



Exhibit 4: Photos of the Food Truck

NEXT STEPS

- The Planning Commission is the final authority for approval of this application.
- The applicant must obtain a Business License prior to opening for business.

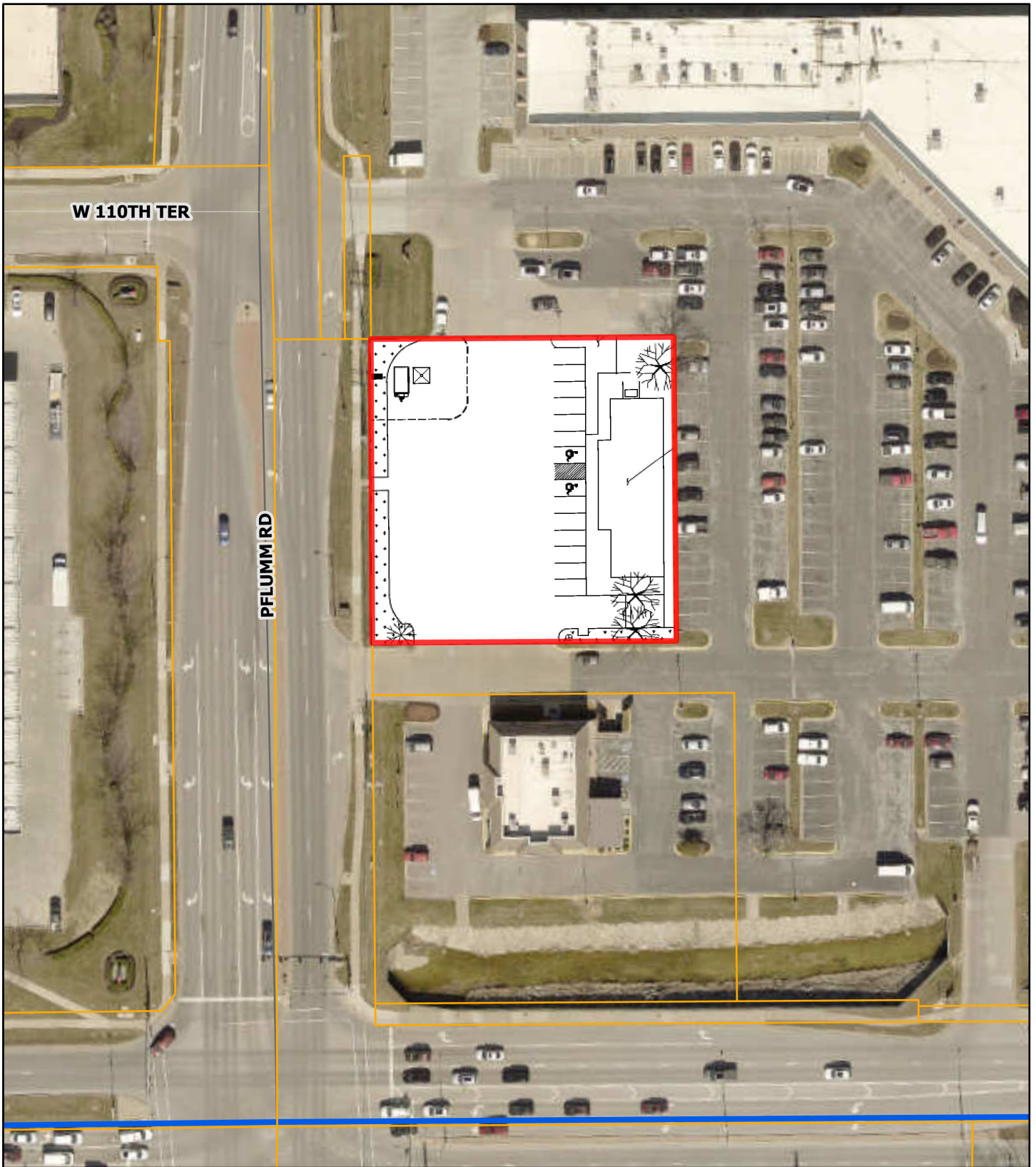
RECOMMENDATION FROM PROFESSIONAL STAFF

★ **Staff recommends approval of the proposed Final Plan for Rivera's Taco's Food Truck.**

- The proposed final plan will accurately reflect the conditions on the site and will allow for a new fast-food restaurant use (food truck/trailer) to operate on the site.
- The project is consistent with Lenexa's goals through *Inclusive Community Building* and *Responsible Economic Development* to create *Thriving Economy*.

FINAL PLAN

Staff recommends **APPROVAL** of the final plan for PL25-13F – **Rivera's Tacos** at 11065 Pflumm Road for a fast-food restaurant (food truck/trailer).



Document Path: L:\Staff Folders\Current Staff\Jessica Lemanski\GIS Projects\Jess City Council Packet Template.aprx

Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Rivera's Tacos Final Plan



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Feet



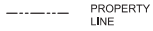
LEGEND



GREEN AREA



UTILITY POLE



PROPERTY LINE

NOTES:

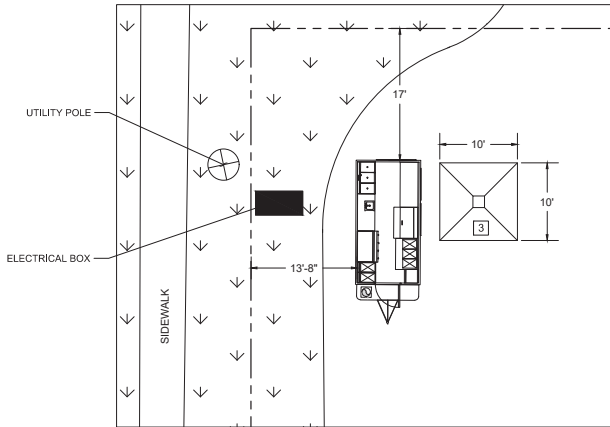
1. (13) REGULAR PARKING SPACES.
2. (2) HANDICAPPED SPACES
3. PROPOSE SEATING AREA UNDER TENT.
4. FOOD TRUCK HEIGHT IS 9 FEET.
5. TEMPORARY SIGN.



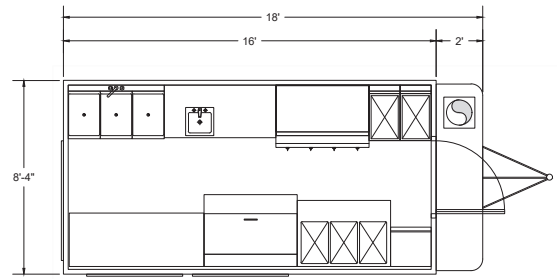
C3 SIGN 5
SCALE: _____ NTS



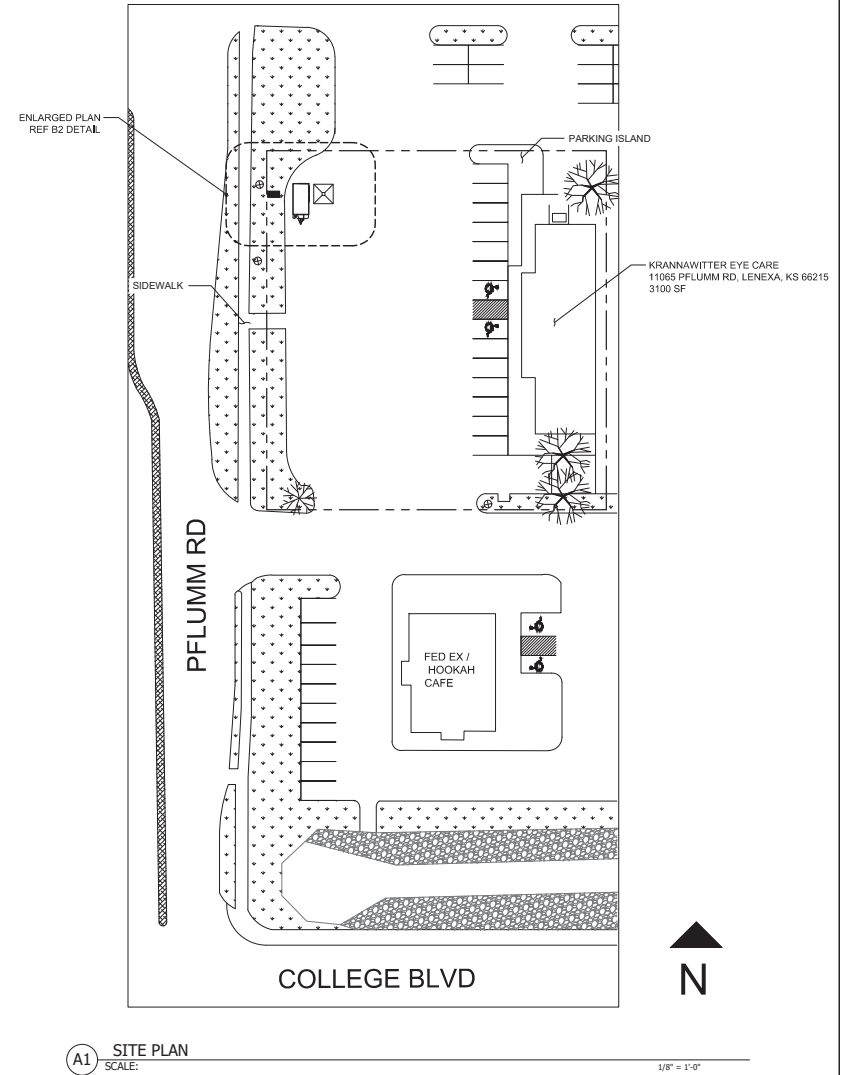
C1 FOOD TRUCK ELEVATION
SCALE: _____ NTS



B2 ENLARGED PLAN
SCALE: $\frac{1}{8}'' = 1'-0''$



B1 FOOD TRUCK FLOOR LAYOUT
SCALE: $\frac{3}{8}'' = 1'-0''$



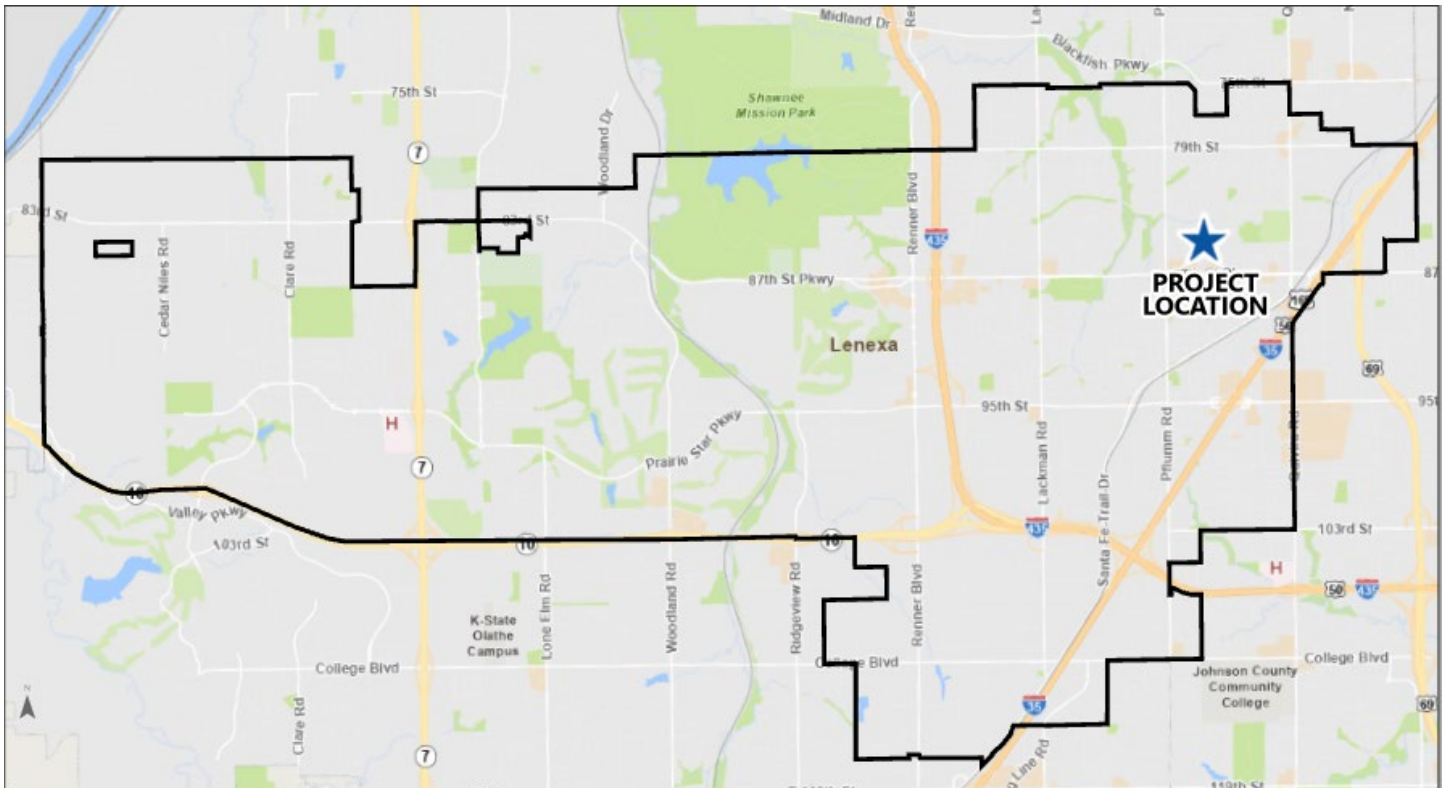
A1 SITE PLAN
SCALE: $\frac{1}{8}'' = 1'-0''$

Drawn by: Yadira V. Lares
CAD Technician
913-440-9528

Rivera's Tacos LLC
EIN #38-42084468
Owner: Irene Gonzales
913-289-1079

SOZO THERAPY GROUP

Project #:	SU25-09	Location:	13000 W. 87 th Street Parkway, Suite 103
Applicant:	Richard Presley, Owner of SOZO Therapy	Project Type:	Special Use Permit
Staff Planner:	Noah Vaughan	Proposed Use:	Medical Clinic



PROJECT SUMMARY

The applicant requests approval of a special use permit (SUP) for a *medical clinic* use to operate at 13000 W. 87th Street Parkway, Suite 103, within the NP-O, Planned Neighborhood Office Zoning District. Per the Unified Development Code (UDC) [Section 4-1-B-11](#), an SUP is required to operate a *medical clinic* use within the NP-O Zoning District. SOZO Therapy Group has operated within Suite 103 of the building since 2022 but is not currently approved to operate in the tenant space. The company is currently missing SUP approval for the *medical clinic* use, Certificate of Occupancy approval to legally occupy the suite, and a business license from the City to operate the business. Approval of the SUP application would provide the zoning entitlement so that the other requirements can be issued for the business to legally operate. This request requires a Public Hearing at the Planning Commission meeting and final consideration by the Governing Body.

STAFF RECOMMENDATION: APPROVAL FOR FIVE YEARS

SITE INFORMATION

The site is generally located north of W. 87th Street Parkway and southwest of Rosehill Road. SOZO Therapy's suite occupies approximately 2,166 SF within the 10,032 SF multitenant building at the property. The tenant occupies Suite 103 of the building, which is one of seven suites within the fully-occupied building. The building is located on a 1.51-acre lot and is part of the Greystone South Plaza commercial development. The Greystone South Plaza final plat was approved by the Governing Body on March 16, 1989, and consists of nine lots with varying multitenant buildings, primarily used for commercial and office purposes. The building is located on Lot 4 of the plat and was constructed in 1985, and the majority of suites in the building utilize their tenant spaces for either office or medical clinic uses.

TABLE 1: BUILDING TENANTS

Suite #	Business Name	Use	Parking Req.	Operational Hours
100	ACCP	Office	9 spaces	8 AM – 5 PM
101	Robinson Insurance	Office	3 spaces	9 AM – 5 PM
102	Hikari Massage	Medical Clinic (SU24-08)	4 spaces	8 AM - 7 PM (Appt. based)
103	SOZO Therapy Group	Medical Clinic	11 spaces	8 AM – 8 PM, 8 AM – 3 PM
105	Tarry Chiropractic	Medical Clinic (SU24-01)	3 spaces	9 AM – 5 PM, 3 PM – 6 PM
106	Jamison Perry LLC	Office	2 spaces	8 AM – 5 PM
108	Leisure Hotel	Office	6 spaces	8 AM – 5 PM, 7 AM – 4 PM

LAND AREA (AC) 1.51	BUILDING AREA (SF) 2,166 SF (tenant)	CURRENT ZONING NP-O	COMP. PLAN Office
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Exhibit 1: Aerial Image of Subject Site. Subject property outlined in red, building outlined in blue.



Exhibit 2: Picture of driveway entrance, front façade, and parking at subject property.

LAND USE REVIEW

The subject property is zoned NP-O, Planned Neighborhood Office District. The *Medical or Dental Clinic* use is permitted with a special use permit in this district.

Per UDC [Section 4-3-C-3](#), the *medical or dental clinic* use is defined as:

“An establishment where patients, who are not lodged overnight except for observation or emergency treatment, are admitted for examination and treatment by a person or group of persons practicing any form of healing or health-building services, whether such persons be medical doctors, chiropractors, osteopaths, chiropractists, naturopaths, optometrists, dentists or any such profession, the practice of which is lawful in the State, and also includes establishments which provide massage therapy subject to the licensing provisions in this City Code.”

SOZO Therapy Group is a business offering mental health counseling and therapy services to the general public. The business does not accept clients with a criminal record of violence and/or sexual predatory behavior, or clients who are court mandated to seek therapy.

The hours of service for the business are currently 8 AM – 8 PM, Monday through Friday, and 8 AM – 3 PM on Saturday and Sunday. SOZO Therapy is a group practice with four employees holding approximately 60 individual sessions within a week. The business plans to expand, with hopes to bring on 4 or 5 additional employees, which could grow the sessions per week up to 150 – 170. Currently there are seven offices on the floor plan in addition to a waiting area and storage closet. The property has its own parking area in addition to a shared parking area with Lot 3. There are 43 parking spaces located within the property boundaries; however, additional spaces from the shared lot could serve the building, if necessary.

TABLE 2: PARKING ANALYSIS

Land Use	Parking Formula	Required Parking	Parking Provided	Difference
Medical Clinic	1 space per 200 SF	11	43(+)	+32

Given that other tenants within the building will also need to utilize the available parking area, calculations were made to ensure that all tenants could be accommodated at the location. Based on existing permit information, the total code requirement for all tenants in the building would be 38 spaces, meaning all existing businesses are accommodated for with the existing parking at the site. Due to the flexible nature of parking, it is also possible that growth of the existing businesses could be accommodated at the site, depending on the level of growth that is proposed.

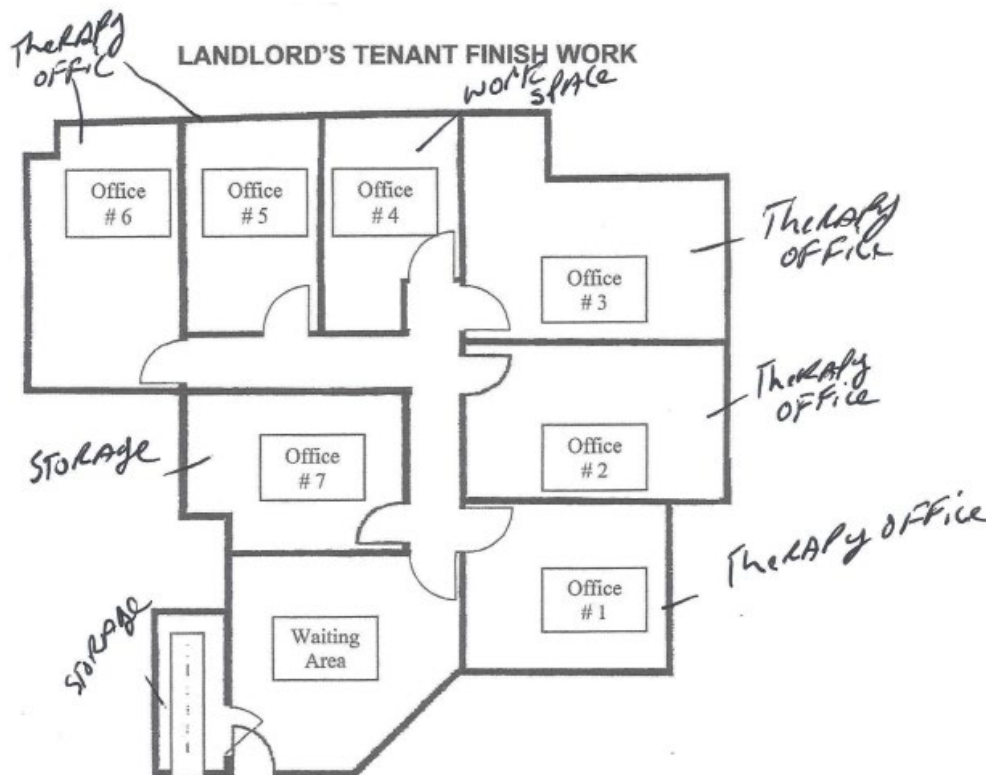


Exhibit 3: Floor Plan for SOZO Therapy Group.

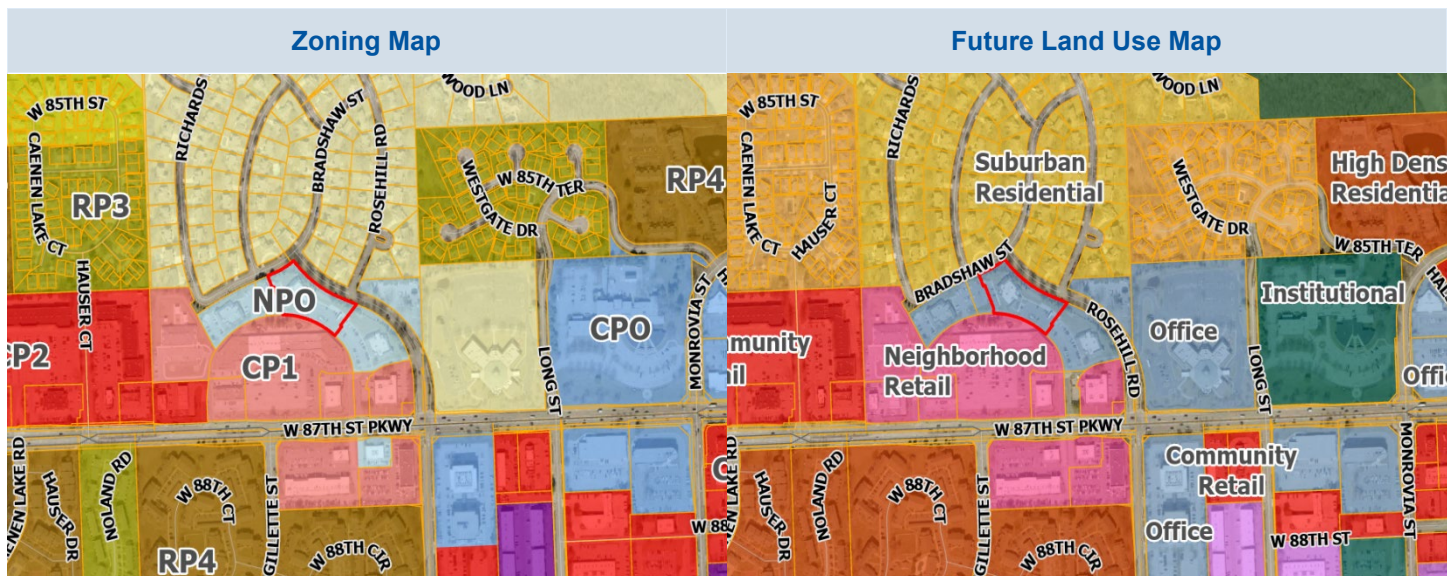


TABLE 3: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Designation	Zoning	Current Use
Subject Property	Office	NP-O, Planned Neighborhood Office District	Office and Medical Clinic
North	Suburban Residential	R-1, Residential Single-Family District	Single-Family Residential
South	Neighborhood Retail, High-Density Residential	CP-1, Planned Neighborhood Commercial District; RP-4, Residential Planned (High-Density) District	Commercial, High-Density Residential
East	Office, Medium-Density Residential, Institutional	NP-O, Planned Neighborhood Office District; RP-3, Residential Planned (Medium-High Density) District; CP-O, Planned General Office District	Office, Medium-Density Residential, Church/Place of Worship
West	Neighborhood Retail, Community Retail, Medium-Density Residential	CP-1, Planned Neighborhood Commercial District; CP-2, Planned Community Commercial District; RP-3, Residential Planned (Medium-High Density) District	Commercial, Medium-Density Residential

SPECIAL USE PERMIT REVIEW

The applicant requests a special use permit for a *medical or dental clinic* to operate at within Suite 103 at 13000 W. 87th Street Parkway within the NP-O, Planned Neighborhood Office District.

While the UDC does not specify a recommended duration for a SUP to be issued for a *medical or dental clinic* use, Staff recommends a five-year duration based on past Staff recommendations, including the previous SUP issued to the other medical clinic uses at this property, which were both issued for a period of five years (Tarry Chiropractic and Hikari Massage Therapy).

Based on the applicant's current occupation of the space, Staff concludes the requested use would not create undue hardship or generate negative impacts on the surrounding properties. However, Staff believes that because SOZO is still working on coming into compliance with Lenexa's requirements, in addition to similar SUP approval periods for medical clinics, a five-year initial SUP is appropriate to monitor impacts of the business to the area.

Staff provides the following analysis to the review criteria within [Section 4-1-G-5](#) of the UDC.

1. The character of the neighborhood.

The surrounding area is comprised mostly of office, commercial, and residential uses. In addition, other existing, permitted medical clinic uses are within the building that SOZO Therapy is operating. Given this information, the use would be compatible in character with the surrounding development.

2. The zoning and use of properties nearby.

The zoning and uses of surrounding properties are listed in Table 3. Staff believes the use is compatible with surrounding properties, given the types and intensity of other uses.

3. The suitability of the subject property for the uses to which it has been restricted.

The property is zoned NP-O, which allows for low to medium intensity office uses. *Medical or Dental Clinic* as a use within the NP-O Zoning District requires the business owner to obtain an SUP. It is Staff's opinion that the subject property is adequately suited for a *medical clinic*, given that the property can accommodate the additional traffic and parking requirements introduced with SOZO Therapy's use.

4. The extent to which the proposed use will detrimentally affect nearby property.

It is Staff's opinion that the use will not adversely affect surrounding properties. If any concerns emerge regarding parking, traffic flow, noise, or other impacts on nearby property owners while the SUP is active, Staff will undertake a review of these concerns and work with the applicant to mitigate any issues.

5. The length of time the subject property has remained vacant as zoned.

The tenant spaces have been occupied since the building was constructed in 1985. Seven suites in the building are currently occupied by office and medical clinic uses. SOZO Therapy has occupied the tenant space since 2022. This SUP aims to bring the existing business into compliance with zoning and other applicable code regulations within Lenexa.

6. The relative gain to public health, safety, and welfare due to the denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

There would be no substantial gain to the public health, safety, and welfare if the SUP were to be denied given no identifiable impacts to the surrounding community. If denied, however, the applicant would not be able to operate at a property that may be suitable for their business.

7. Recommendation of City's permanent professional staff.

See the Staff Recommendation at the end of this report.

8. Conformance of the requested change to the adopted or recognized Master Plan being utilized by the City.

The proposed therapy service does not require rezoning of the property and is allowed as a special use within the NP-O District, which is designated for "Office" use in the Lenexa Future Land Use (FLU) Map. The zoning and FLU designation will not be affected by approval of this SUP. Therefore, the land use is in conformance with the FLU Map and Master Plan.

9. The availability and adequacy of required utilities and services to serve the proposed use. These utilities and services include, but are not limited to, sanitary and storm sewers, water and electrical service, police and fire protection, schools, parks and recreation facilities, etc.

Adequate utilities exist on the site. There is no anticipated impact on police, fire, schools, or park facilities.

10. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the street network influenced by the use, or present parking problems in the vicinity of the property.

The majority of businesses located at the property open at 7 AM to 8 AM and close from 5 PM to 7 PM on weekdays. SOZO Therapy currently operates from 8 AM to 8 PM in the location. Despite the overlapping operational hours of the businesses, the parking requirements per Lenexa's code are met at the site. It is unlikely that traffic or parking problems would transpire due to the adequate parking on-site.

In addition, under current operations where the business sees approximately 60 sessions per week, there would be roughly 8-9 patients visiting the site per day. In addition to 4 employees at the site, the traffic impact generated from the business is minimal. Therefore, no parking or traffic issues are expected to occur at the site with approval of the business.

11. The environmental impacts the proposed use will generate including, but not limited to, excessive stormwater runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting, or other environmental harm.

Since the tenant began occupying the building, there have been no observed issues with excessive stormwater runoff, water or air pollution, noise, nighttime lighting, or other environmental impacts.

12. The extent to which the proposed development would adversely affect the capacity or water quality of the stormwater system, including without limitation, natural stream assets in the vicinity of the subject property.

There are no plans for site work or construction that would increase the impervious area of the site or adversely affect the capacity or water quality of the stormwater system or natural assets.

13. The ability of the applicant to satisfy any requirements (e.g. site plan, etc.) applicable to the specific use imposed pursuant to the zoning regulations in this Chapter and other applicable ordinances.

Following approval of the Special Use Permit, the applicant will be required to submit new applications for a Certificate of Occupancy and business license with the City. The applicant will also be required to submit their mental health license with the state as part of these application reviews in order to receive approval to occupy and operate at the site. Pending approval of the SUP and the permits and licenses mentioned above, the applicant will be in compliance with all required applicable processes to date. Provided these are completed in a timely manner, it is the opinion of Staff that the applicant is able to satisfy the requirements of the zoning regulations.

DEVIATIONS

The applicant is not requesting any deviations from the Unified Development Code (UDC).

NEXT STEPS

- This project requires a recommendation from the Planning Commission and final approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration by the City Council on September 16, 2025.
- The applicant must obtain a Certificate of Occupancy from the City of Lenexa to continue occupying the tenant space.
- The applicant must obtain a Business License prior to continuing business operations.
- The applicant should inquire about additional City requirements and fees.

RECOMMENDATION FROM PROFESSIONAL STAFF

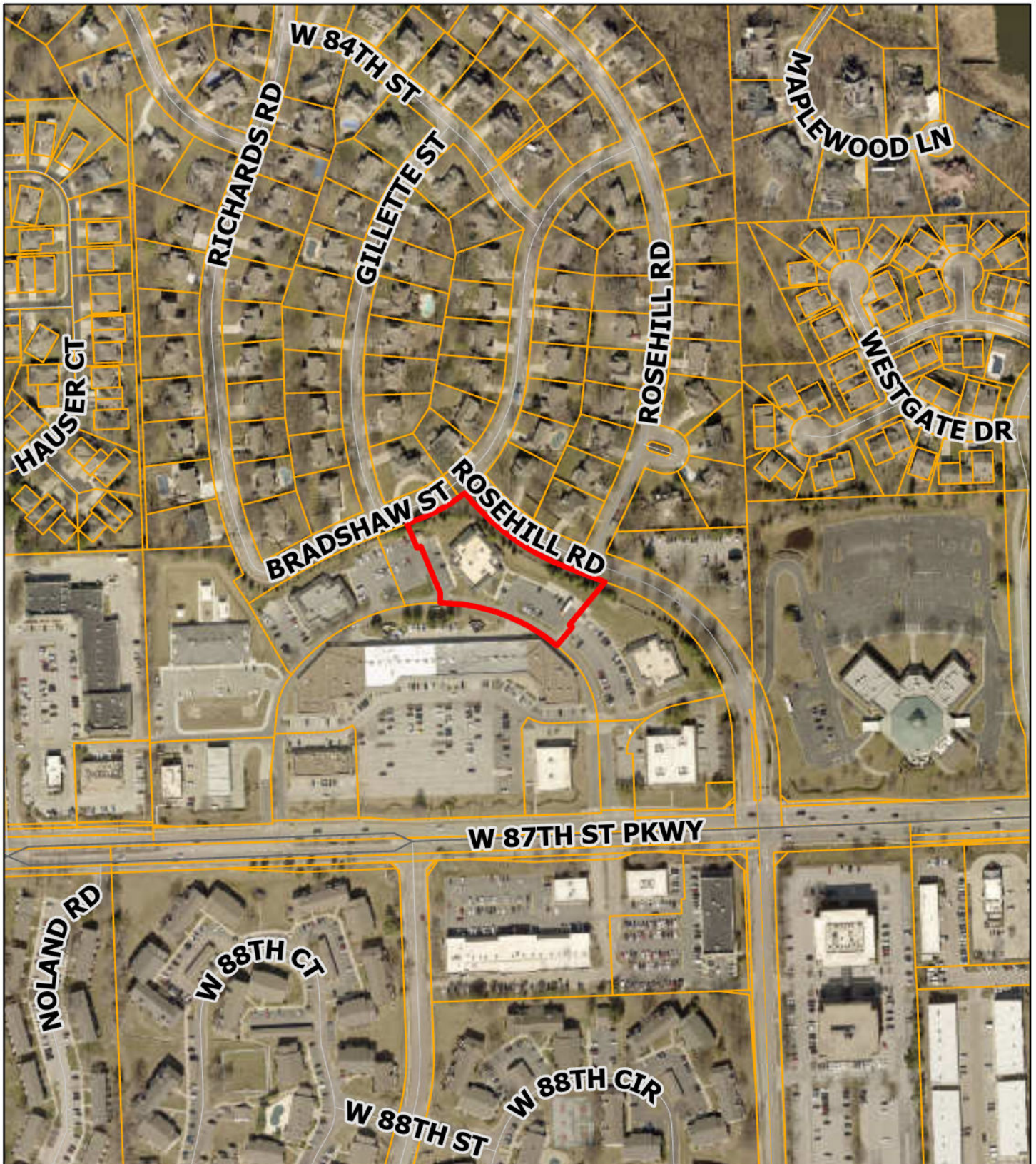
★ **Conduct a Public Hearing.**

★ **Staff recommends approval of the proposed Special Use Permit for SOZO Therapy Group.**

- The requested special use permit is for a *medical or dental clinic* in the NP-O, Planned Neighborhood Office Zoning District.
- The recommended duration of the SUP approval is five years for reasons noted in this report.
- The project is consistent with Lenexa's goals through **Responsible Economic Development** to create **Inviting Places** and a **Thriving Economy**.

SPECIAL USE PERMIT

Staff recommends **APPROVAL** of SU25-09 - a special use permit for a *medical clinic* use for **SOZO Therapy Group** at 13000 W. 87th Street Parkway, Suite 103, for a period of five years.



Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

SOZO Therapy Group Special Use Permit



0 150 300 600
Feet



July 17, 2025

To Whom It May Concern:

My name is Richard (Rick) Presley, business owner of SOZO Therapy Group. We are seeking a special use permit to occupy the space at 13000 w. 87th Street Parkway, Suite 103, Lenexa, Ks 66215.

We are a mental health counseling center. I have been in business for over 15 years treating various mental health issues. SOZO is a group practice in which we have additional employees providing mental health services as well.

Currently we have 7 individual spaces with a waiting area and a small storage closet. We currently have 4 employees and would potentially have up to 8 or 9 employees sharing the space from 8am – 8pm Monday – Friday, and 8am – 3pm on Saturday and Sunday.

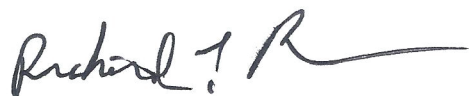
Currently we see approximately 60 individual sessions a week, but as we grow that number could be as high as 150-170 individual sessions per week.

We do not accept clients who are being court mandated to seek therapy services, nor any client who may have a criminal record of violence or sexual predatory behavior or sexual violence. We refer these case to other practitioners in the Kansas City area.

We believe that mentally health individuals are the best citizens, mothers, fathers, sisters, brothers, coworkers, and friends. Providing mental health services to a way to make our community and families stronger.

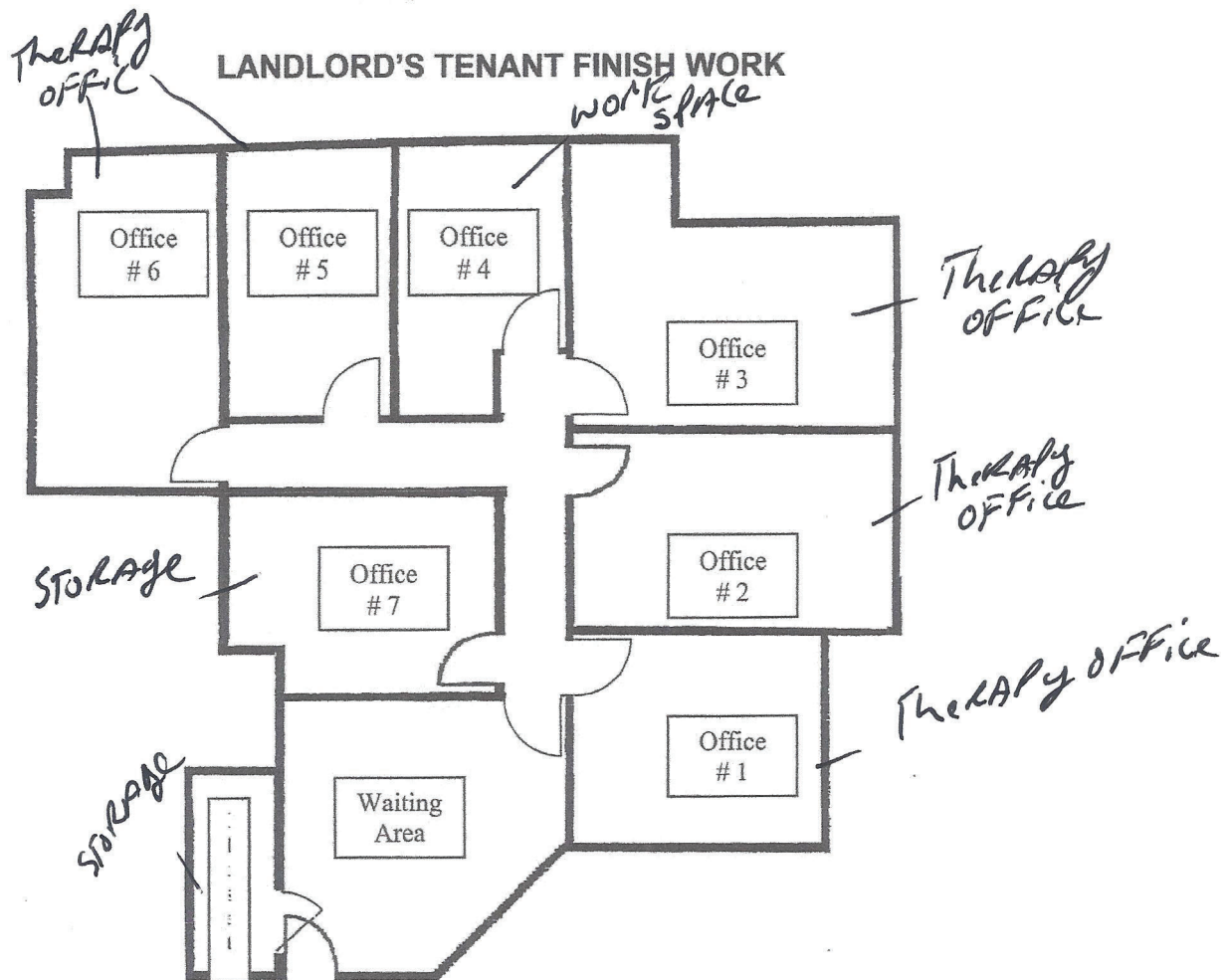
Thank you for your consideration of this special use permit application.

Rick Presley

A handwritten signature in black ink, appearing to read "Richard Presley", with a stylized flourish extending to the right.

SOZO Therapy Group
13000 W. 87th Street Parkway
Suite 103
Lenexa, Ks 66215
913-284-1288
www.sozotherapygroup.com

EXHIBIT C



Sketch of Premises Shown Above

Landlord, at its cost, using building standard materials and prior to the Commencement Date, shall improve the Premises as follows:

WALLS/DEMO/CEILINGS: Remove walls and frame and finish new walls to create the floor plan shown above, new walls to be built to the grid and insulated. Rebuild ceiling grid in back area as needed. Replace tile where walls are relocated. New tile not to match perfectly. All other tile to remain as is. Add 16" of insulation above the walls between all Offices # 1 through 6 and between Office # 7 and the Waiting Area.

ELECTRICAL: Reinstall lights in the modified ceiling. Add an emergency exit light in the hallway at new door location and around the corner in the hallway. Install 4 standard use outlets in new walls and relocate the pump outlet and counter gfi. All other electrical, phone and data to remain as is.

PLUMBING/HVAC: Remove plumbing as needed and re-route it to the Waiting Area. Purchase and install a new pump, install sink and faucet. Please note: Bid does not include installing cabinets, top, dishwasher, additional water lines or anything else not specifically mentioned. Touch up paint on two hvac registers, replace two other registers and replace one return air egg crate—all other hvac to remain as is.

DOORS: Provide and install four new solid core door units and replace one hollow core slab. Trim to match existing units as closely as possible.

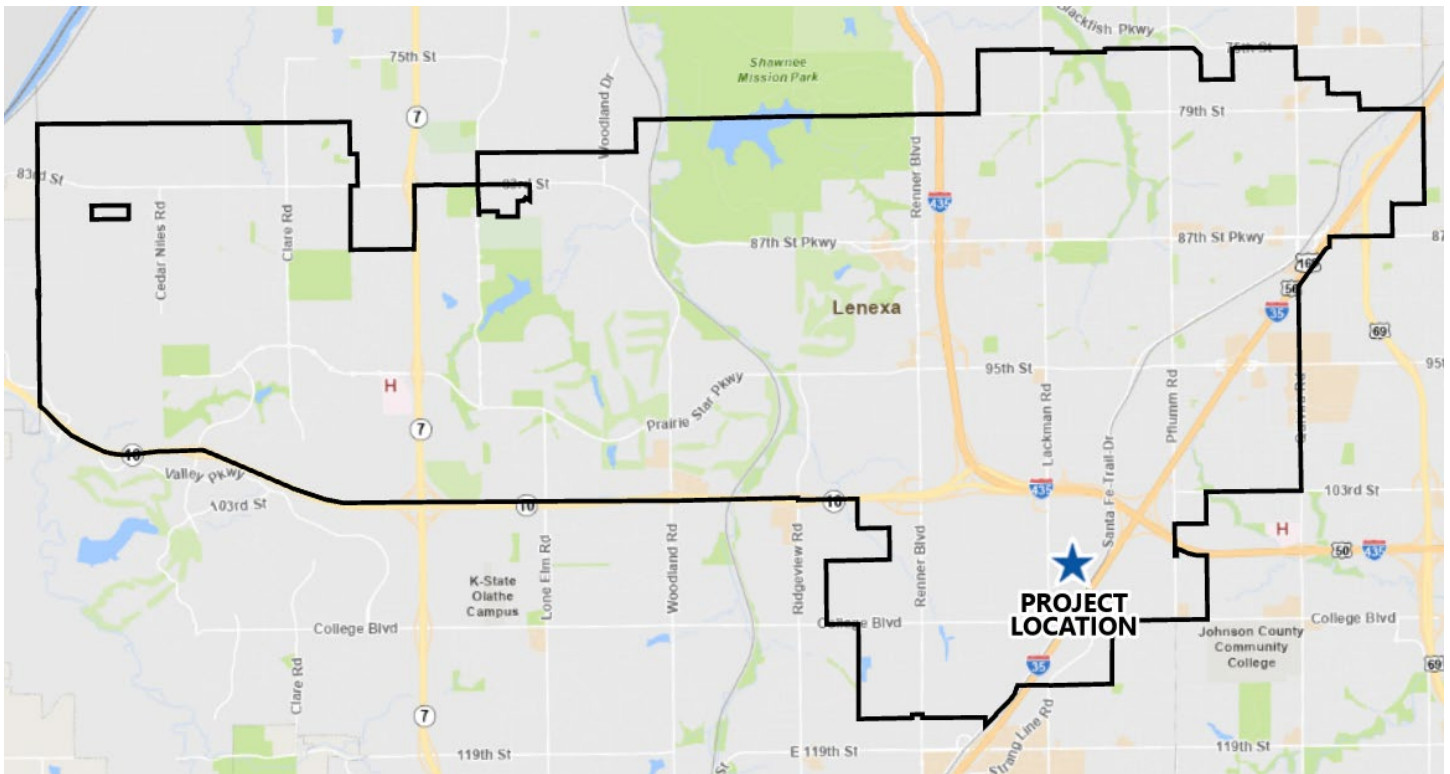
PAINT: Paint walls throughout one color to a uniform finish. Prep and paint doors and door frames one color. Windows and cabinets to remain as is.

FLOORING: Replace carpet tiles as needed in areas affected by wall removal. Add LVT to Waiting Area, hallway and Office # 3. LVT flooring selection shall be mutually approved by Landlord and Tenant.

Tenant is responsible for phone & internet installation.

RANGE USA

Project #:	SU25-08 / PL25-11P	Location:	NWC of 107 th & Santa Fe Trail Drive
Applicant:	Sam Malinowsky	Project Type:	Preliminary Plan and Special Use Permit
Staff Planner:	James Molloy	Proposed Use:	Personal Instruction, General



PROJECT SUMMARY

The applicant requests approval of a special use permit and a preliminary plan for Range USA to construct a 10,235 SF instructional shooting range. Per the Unified Development Code (UDC) [Section 4-1-B-22](#), an SUP is required for the use of general personal instruction within the BP-2 Zoning District. The building will include an 18-lane shooting range, two classrooms, and 2,600 SF of limited retail space. This request requires a Public Hearing at the Planning Commission meeting and final consideration by the Governing Body.

STAFF RECOMMENDATION: APPROVAL FOR THREE YEARS

SITE INFORMATION

The subject parcel is a 2.58-acre vacant lot located at the northwest corner of 107th & Santa Fe Trail Drive. The property is located southwest of the I-35/I-435 interchange within the Park-Len I Estates business park – an area that is almost exclusively used for warehousing and/or office uses.

This property was initially platted as part of the Park-Len I Industrial Estates development in 1964 but has not been developed since the initial plat was filed. The property has been split since it was initially platted and will require a replat.

A previous application for this use was submitted on July 25, 2022, requesting approval of special use permit SU25-08 and preliminary development plan PL22-12P. The proposal included a 14,000 SF shooting range with 20 lanes, four classrooms, and accessory retail. The Planning Commission considered the request on August 29, 2022, and recommended approval. Concerns from the business to the west were raised about traffic and the proposed use of the property. The applicant later withdrew the applications on September 15, 2022, citing concerns about the special use permit duration of three years.

LAND AREA (AC)
2.58

BUILDING AREA (SF)
10,235

CURRENT ZONING
BP-2

COMP. PLAN
Business Park



Exhibit 1: Aerial Image of Subject Site

LAND USE REVIEW

The proposed use is a 10,235 SF shooting range, with 18 shooting lanes, as well as two classrooms and 2,600 SF of accessory retail space. The use falls under personal instruction, general, which is allowed within the BP-2 Zoning District with a special use permit. The future land use designated by the Comprehensive Plan is Business Park, which anticipates medium- to high-intensity uses such as assembly and manufacturing or warehousing and distribution uses. All of the surrounding properties are also zoned BP-2 and designated as Business Park under the Future Land Use (FLU) Map. Use of the property as a shooting range, while not a manufacturing or warehousing use, is a medium-intensity use which fits within the character of a business park.

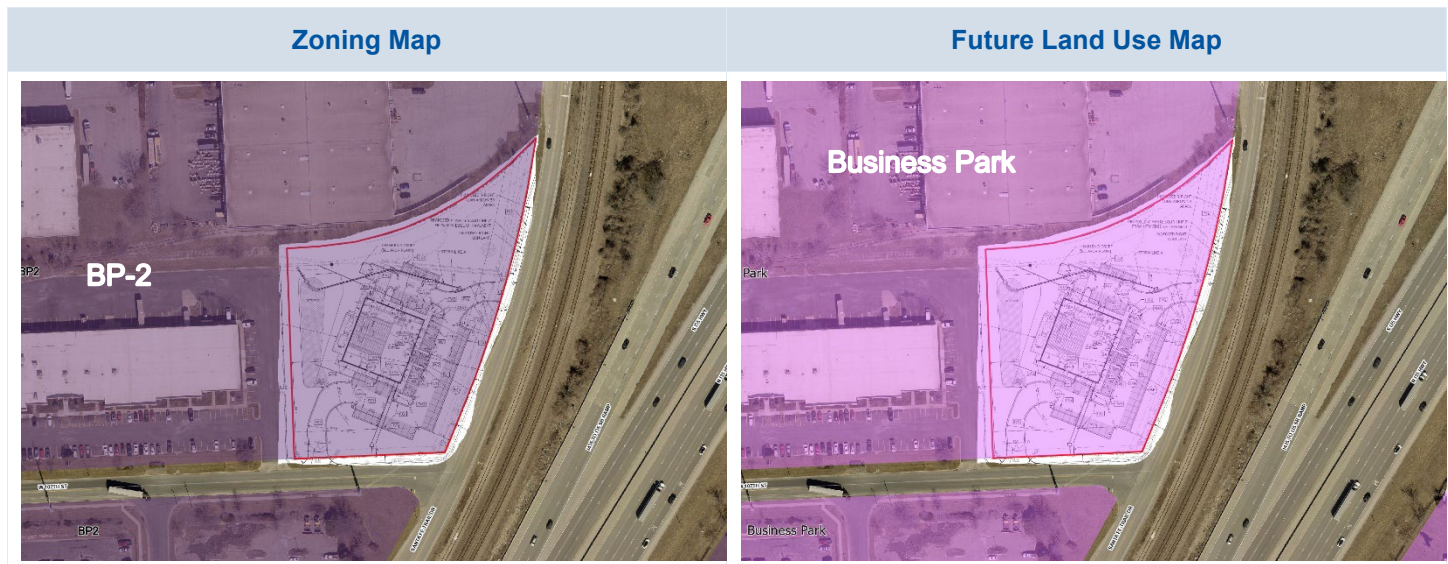


TABLE 1: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Designation	Zoning	Current Use
Subject Property	Business Park	BP-2 Planned Manufacturing District	Undeveloped
North	Business Park	BP-2 Planned Manufacturing District	Warehouse
South	Business Park	BP-2 Planned Manufacturing District	Warehouse
East	Business Park	BP-2 Planned Manufacturing District	Interstate 35
West	Business Park	BP-2 Planned Manufacturing District	Warehouse/Office

SUPPLEMENTARY USE REGULATIONS

Personal instruction, general uses are subject to the supplementary use regulations of [Section 4-1-B-23-AC](#) of the UDC. This includes the provision that the initial Special Use Permit shall be valid for a maximum of three years from the date of approval. The first renewal and all subsequent renewals may be approved for up to ten years, provided all standards of performance are being met. Staff is recommending approval of the requested SUP for a period of three years.

SPECIAL USE PERMIT REVIEW

The proposed use, a shooting range, falls under the use category of “personal instruction, general”, which is allowed within the BP-2 Zoning District with a special use permit. Special use permit requests are subject to several review criteria. Staff provides the follow analysis to the review criteria within [Section 4-1-G-5](#) of the UDC.

1. The character of the neighborhood.

The subject property is located within the Park-Len Industrial Estates business park. The surrounding uses include a mix of light industrial, office, warehousing, and manufacturing uses. Personal instruction uses are also typically complimentary uses where peak times of operation are at different times than traditional industrial, manufacturing, and office uses.

2. The zoning and use of properties nearby.

The zoning and uses of surrounding properties are listed in Table 1. Staff believes that the use is compatible with surrounding properties as long as noise standards are adhered to.

3. The suitability of the subject property for the uses to which it has been restricted.

Businesses that offer personal instruction are permitted in Lenexa, provided that the applicant meets the applicable supplemental use and zoning regulations. Personal instruction, general requires the owner/applicant to obtain an SUP when the site is located within the BP-2 Zoning District. It is Staff's opinion that the subject property is adequately suited for personal instruction in the form of an indoor shooting range with accessory retail sales.

4. The extent to which the proposed use will detrimentally affect nearby property.

It is Staff's opinion that the existing use will not adversely affect surrounding properties. If any concerns emerge, particularly with noise, or other impacts on nearby property owners while the SUP is active, Staff will undertake a review of these concerns and work with the applicant to mitigate issues and comply with the performance standards of the code. Specifically, the applicant will be required to meet the noise performance standards set out in Section 4-1-C-4 of the UDC, which limit noise at the property line for industrial areas to 70 dB(A) between 7:00 AM and 7:00 PM and 65 dB(A) between 7:00 PM and 7:00 AM. The operating hours are expected to be between 10:00 AM and 8:00 PM.

5. The length of time the subject property has remained vacant as zoned.

The property is currently undeveloped.

6. The relative gain to public health, safety, and welfare due to the denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

There would be no substantial gain to the public health, safety, and welfare if the SUP were to be denied. The property would still be able to be developed for any uses allowed by right, or a different special use allowed in the BP-2 Zoning District.

7. Recommendation of City's permanent professional staff.

See the Staff Recommendation at the end of this report.

8. Conformance of the requested change to the adopted or recognized Master Plan being utilized by the City.

The proposed application complies with the adopted Comprehensive Plan. The site will retain the existing BP-2 zoning. The Business Park FLU designation typically allows light assembly and manufacturing, warehousing and distribution, and business parks. However, the BP-2 Zoning District allows for personal instruction, subject to the supplementary use regulations of Section 4-1-B-23-AC of the UDC.

9. The availability and adequacy of required utilities and services to serve the proposed use. These utilities and services include, but are not limited to, sanitary and storm sewers, water and electrical service, police and fire protection, schools, parks and recreation facilities, etc.

Adequate utilities exist on or near the site. There is no anticipated additional impact on police, fire, schools, or park facilities.

10. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the street network influenced by the use, or present parking problems in the vicinity of the property.

The proposed use will have two classrooms with a maximum capacity of 15 people in the large classroom and five people in the “private” classroom, as well as 18 shooting ranges with a maximum of two people on each lane, and up to 15 of employees. There is also 2,616 SF of retail area within the building. Based on this breakdown of uses, Section 4-1-D-1-C of the UDC requires a total of 41 parking spaces. The development plan reflects 55 parking spaces, thus meeting code requirements.

11. The environmental impacts the proposed use will generate including, but not limited to, excessive stormwater runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting, or other environmental harm.

While the applicant has provided several methods to control noise outside of the building, a condition has been added to the recommendation to conform to the noise performance standards as outlined in Section 4-1-C-4 of the UDC if it is found post-construction that noise exceeds the code standards of the UDC. No additional impacts are anticipated with the development of the lot. The proposed development shall meet code requirements related to the remaining environmental impacts listed above.

12. The extent to which the proposed development would adversely affect the capacity or water quality of the stormwater system, including without limitation, natural stream assets in the vicinity of the subject property.

The applicant has submitted a preliminary stormwater management plan demonstrating the intent of meeting the City’s stormwater standards and requirements. This includes stormwater components such as an extended dry detention basin, mechanical measures (curb inlet inserts), and preserved or established native vegetation areas.

13. The ability of the applicant to satisfy any requirements (e.g. site plan, etc.) applicable to the specific use imposed pursuant to the zoning regulations in this Chapter and other applicable ordinances.

The proposed use as submitted is capable of meeting all applicable zoning regulations. A detailed breakdown can be found within the Preliminary Plan Review section of this report.

PRELIMINARY PLAN REVIEW

The preliminary plan is for the development of a 10,235 SF shooting range and instructional facility on a currently vacant parcel on the northwest corner of 107th Street and Santa Fe Trail Drive. The plan calls for a shooting range with 18 shooting lanes capable of holding two people per lane, as well as two classrooms and 2,616 SF of accessory retail uses.

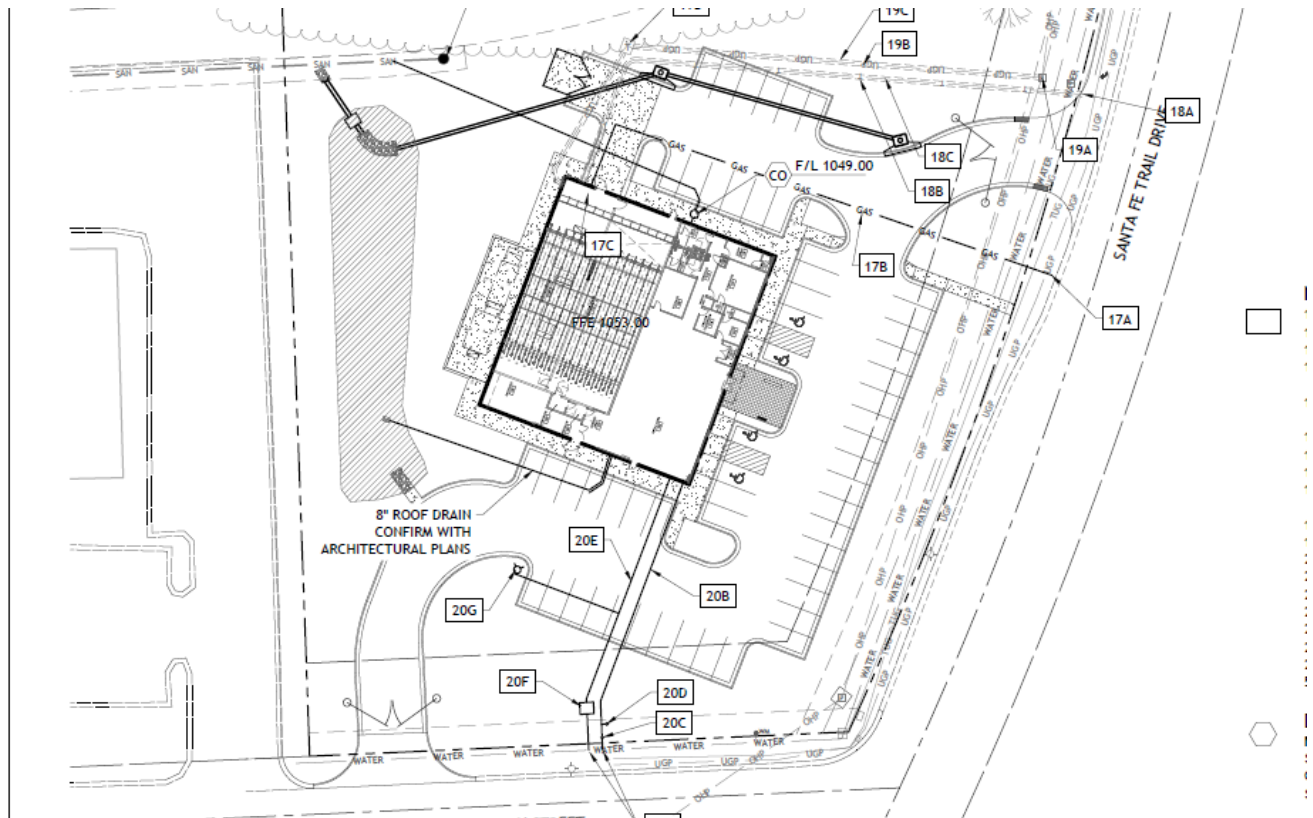


Exhibit 2: Proposed Site Plan

DIMENSIONAL STANDARDS

The building meets all of the setback requirements for the BP-2 Zoning District. Table 2 shows the required and proposed setbacks.

TABLE 2: SETBACK ANALYSIS			
Yard	Required Minimum Setback	Proposed Setback	Difference
Front Yard	50'	106'	+56'
Side Yard	50'	112'	+62'
Rear Yard	30'	78'	+48'

On-site parking is located approximately 30' from the property line, which meets the required parking setback as set by UDC [Section 4-1-D-1-O-4-G](#).

The building is proposed to be 25' tall and constructed with painted CMU blocks. The UDC allows a maximum building height of 45' in the BP-2 Zoning District. The primary entrance will be located on the east-facing façade, facing Santa Fe Trail Drive, with service and emergency exit doors on the remaining three facades.

PUBLIC IMPROVEMENTS

The project will include a new right-turn lane into the site from southbound Santa Fe Trail Drive. A 10-foot pedestrian trail easement will be included with the plat as well for future sidewalk/trail development.

ACCESS, TRAFFIC, AND PARKING

The proposed use will have two classrooms, with a maximum capacity of 15 people in the large classroom and two people in the “private” classroom, as well as 18 shooting lanes with a maximum of two people on each lane, and up to 15 of employees. There is also 2,616 SF of retail area within the building. Based on this breakdown of uses, [Section 4-1-D-1-C](#) of the UDC requires a total of 41 parking spaces. The plans provide 55 parking spaces.

TABLE 3: PARKING ANALYSIS

Land Use	Parking Formula	Required Parking		Proposed Parking	Difference
Personal Instruction, General	0.50 spaces per person in the largest class + 1 space per employee	30	41	55	+14
Retail	1 space per 250 square feet	11			

The proposed use will increase traffic on surrounding streets, as this is a new development on a vacant parcel; however, it is not expected that traffic will exceed the capacity of 107th Street or Santa Fe Trail Drive. The plan includes two access points into the site, one from Santa Fe Trail Drive, the other from 107th Street.

The access points include gates. Staff will review the proposed gates at final plan stage since the addition of the gates was a recent site plan change. This review may result in changes to the proposed gates.

STORMWATER

The applicant submitted a preliminary stormwater management plan demonstrating the intent of meeting the City’s stormwater standards and requirements. This includes stormwater components such as an extended dry detention basin, mechanical measures (curb inlet inserts), and preserved or established native vegetation areas.

FIRE PREVENTION

The Fire Department reviewed the plans based on the current adopted fire codes and local amendments. A more detailed fire code review will be conducted based on the adopted codes at the time of the building permit documentation submittal. Although the fire department has reviewed the initial submittal and a preliminary approval has been granted by the Fire Department for the preliminary plan, the access gates added to the plan on the recent resubmittal will require some additional details and even a potential location change before it can be approved on the final plan submittal.

LIGHTING

A lighting plan conforming to City standards must be provided with the final plan application.

The site will utilize portions of existing landscaping and grass along with new landscaping. Much of the new site landscaping will be along Santa Fe Trail Drive and 107th Street, with a mix of ornamental and shade trees, as well as several landscape beds and shrubs throughout. Landscaping will be provided along the north and south sides of the property to screen the parking lot as well as the rear-yard mechanical equipment, much of which will be screened by the building itself and a screening fence. The landscape plan complies with the landscape requirements as outlined in [Section 4-1-D-2](#) of the UDC.

PROPOSED FENCE (SEE ARCH PLANS)

107TH STREET

SANTA FE TRAIL DRIVE

CEDAR MULCH (TYP)

ROCK MULCH SIZE AND COLOR TO BE SELECTED BY OWNER

SOD

WATER

SEWER

ELECTRIC

UTILITY BOX SCREENING

NO SCALE

8 of 9

DEVIATIONS

The applicant is not requesting any deviations from the Unified Development Code (UDC).

NEXT STEPS

- This project requires a recommendation from the Planning Commission and final approval by the City Council. Pending a recommendation from the Planning Commission, the project is tentatively scheduled for consideration by the City Council on September 16, 2025.
- The applicant must submit a final plan/final plat application prior to applying for permit(s).
- The final plat must be recorded with Johnson County prior to permit(s) being released.
- The applicant must receive permit(s) prior to commencing construction.
- The applicant must obtain a Certificate of Occupancy before opening for business.
- The applicant must obtain a Business License prior to opening for business.
- The applicant should inquire about additional City requirements and development fees.

RECOMMENDATION FROM PROFESSIONAL STAFF

★ **Conduct a Public Hearing.**

★ **Staff recommends approval of the proposed Special Use Permit and Preliminary Plan for Range USA.**

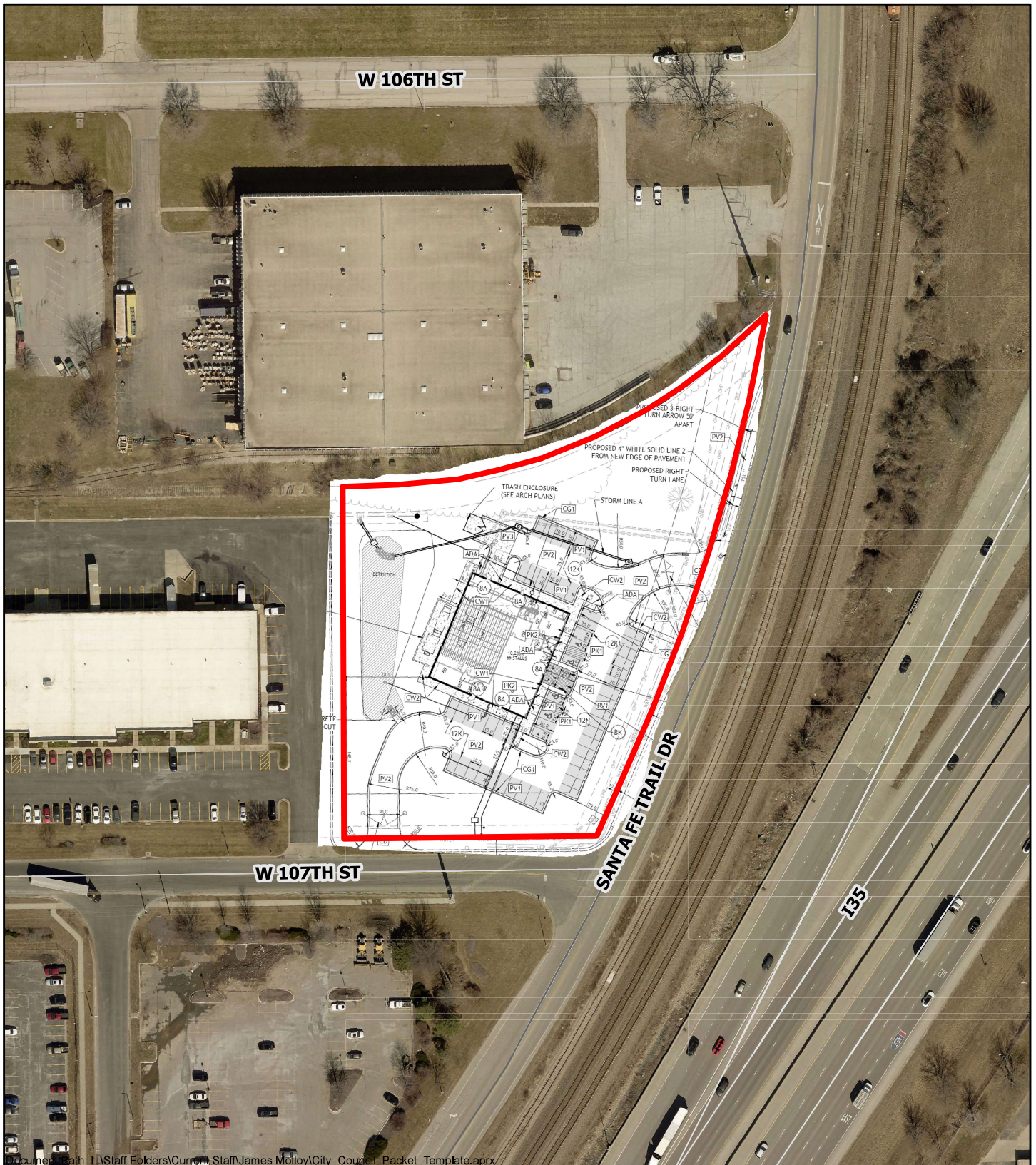
- The project includes a special use permit for a personal instruction, general use.
- The proposed building is 10,235 SF on a 2.58-acre site.
- The project is consistent with Lenexa's goals through ***Responsible Economic Development*** to create ***Thriving Economy***.

SPECIAL USE PERMIT

Staff recommends **APPROVAL** of **SU25-08**, a special use permit for a personal instruction, general use for **Range USA** at the northwest corner of 107th Street and Santa Fe Trail Drive for a period of three years.

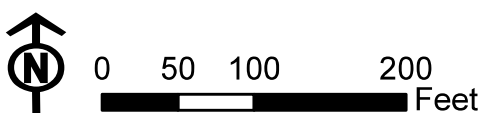
PRELIMINARY PLAN

Staff recommends **APPROVAL** of the preliminary plan for **PL25-11P – Range USA** at the northwest corner of 107th Street and Santa Fe Trail Drive for a shooting range with personal instruction and accessory retail.



Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Range USA



[illegible]

Schedule B - Exceptions

10. An Easement to Lateral Sewer District of Mill Creek (Lenexa) SSD No. 1 recorded February 5, 1982 in Document No. 1354461, in Volume 1738, Page 141.

The bearings shown herein are based on the State Plane Coordinate System, Kansas North Zone NAD 83

Elevations shown hereon are based on NAVD83; contours are in 1 foot intervals.

The subject property address is: According to the the Johnson County AIMS Website there is no Site Address

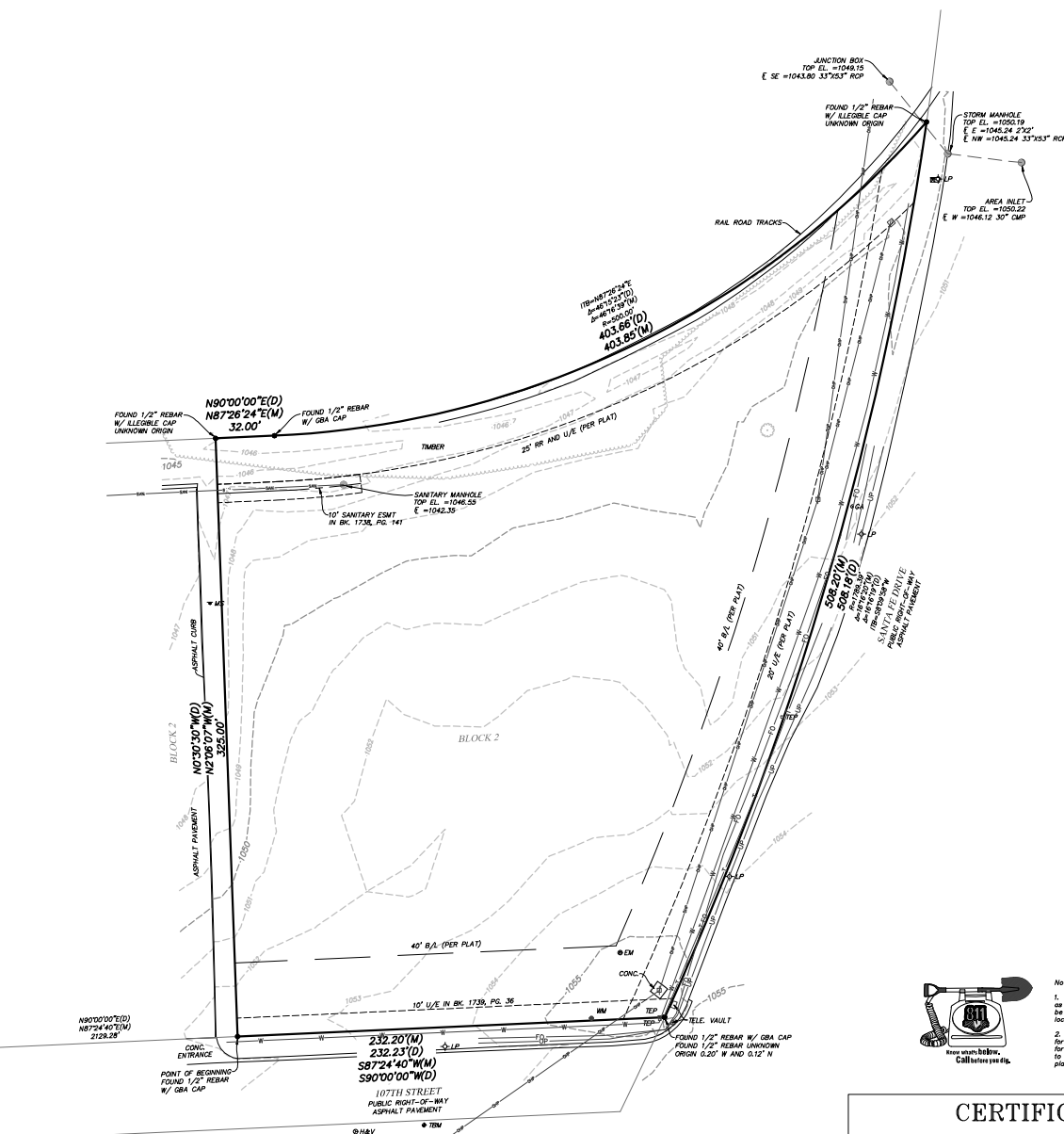
No buildings are present at the time of survey on the subject property.

- ⊙EM = ELECTRIC METER
- ⊙ = MONUMENT AS NOTED
- ⊙ = GUY ANCHOR
- ⊙H&V = HORIZONTAL & VERTICAL CONTROL POINT
- ⊙LP = LIGHT POLE
- ⊙MS = METAL SIGN
- ⊙PP = POWER POLE
- ⊙ = SANITARY SEWER MANHOLE
- ⊙ = STORM MANHOLE
- ⊙ = STREET LIGHT CONTROL BOX
- ⊙TEP = TELEPHONE PEDESTAL
- ⊙TBM = TEMP BENCHMARK
- ⊙WM = WATER METER

POINT OF COMMENCING
SOUTHWEST CORNER OF
PARK-LEN I INDUSTRIAL
ESTATES (CALCULATED CORNER

SURVEYOR
Beyond Surveying, LLC Corporate Certificate/License No. 2018041532

JOB#
SECTION
COUNTY, STATE
2025-0042 SUB.DWG

VICINITY MAP
SEC. 9-13-24

1. Visual indications of utilities are as shown. Underground locations shown, as furnished by the respective utility companies, are approximate and shall be verified in the field at the time of construction. For actual field locations of underground utilities, call 1-800-344-7233.

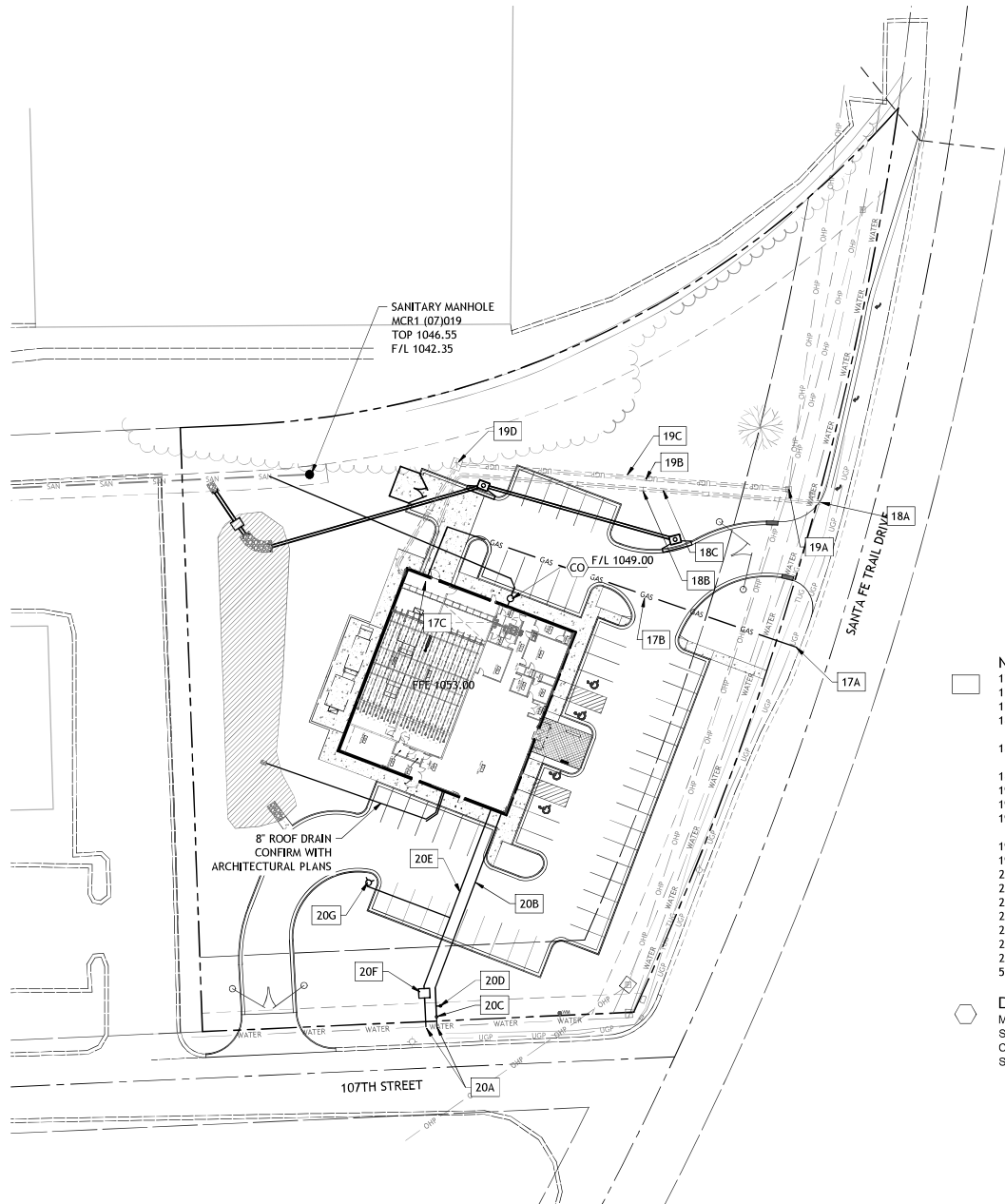
2. The contractor shall be responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation and for the coordination and scheduling with utility owners of all work required to resolve conflicts with installations, constructions, excavations, removals, placements, relocation and other miscellaneous work.

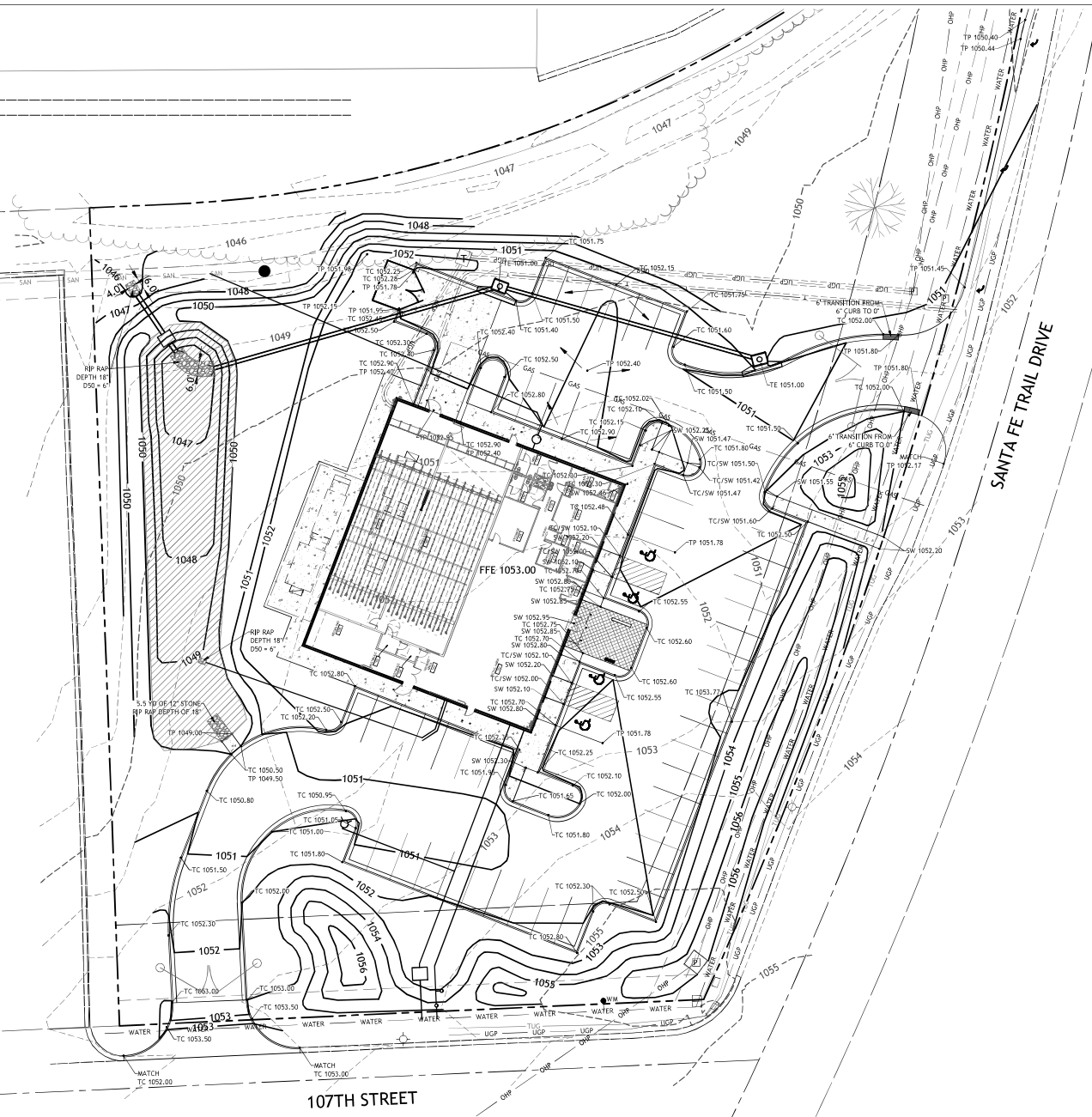
CERTIFICATE OF SURVEY
JOB

CLIENT
CLIENT
ADDRESS
CITY, STATE, ZIP
PHONE
FAX

29390 W 119th Street, Olathe, KS
68061 Office: 913-717-8538
www.preciselybeyond.com
© 2005 Precisely Beyond Surveying, LLC







GRADING NOTES:

1. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DETRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES. EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
2. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
3. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
4. CONTRACTOR SHALL USE SILT FENCE OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
5. CONTRACTOR IS TO REMOVE AND DEPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
7. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
8. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED STANDARD SITEWORK SPECIFICATIONS.
9. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.
10. HAND-AP STALLS SHALL MEET ALL REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR TO ADJUST DEPTHS OF EXISTING SERVICE LINES AS NECESSARY.
12. ALL CONSTRUCTION TRAFFIC, TEMPORARY TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO REQUIREMENTS OF THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

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Manhattan Kansas, 66503
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785.341.5747

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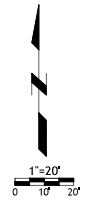
8-8-25

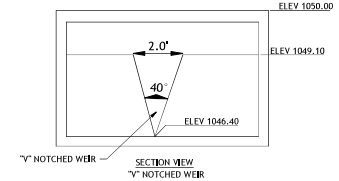
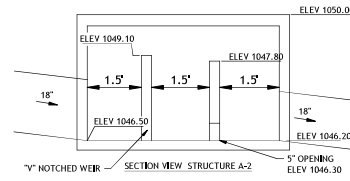
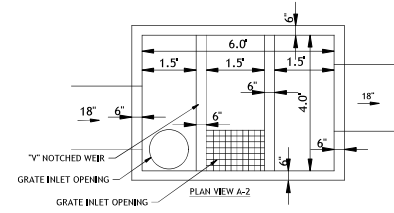
Revisions
8-8-24 CITY COMMENTS

GUN RANGE USA
LENEXA, KS

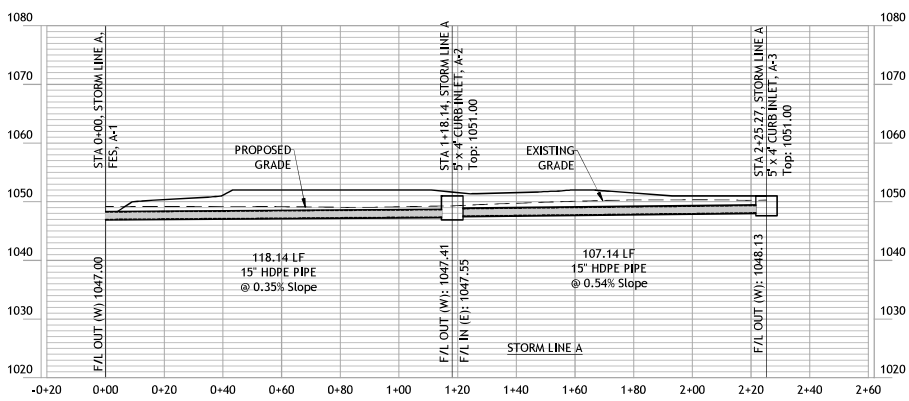
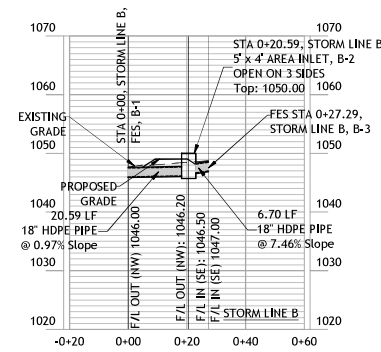
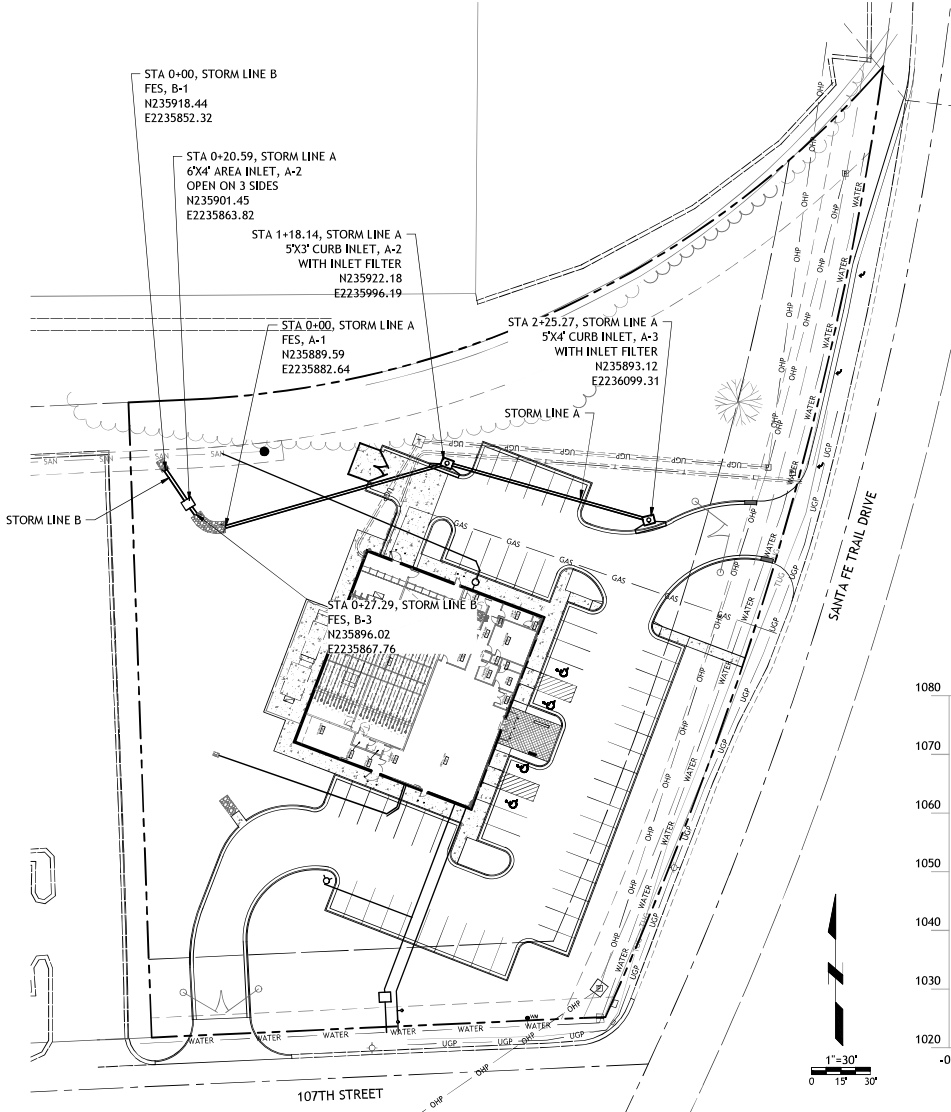
sheet
C5.0
Civil
Grading Plan

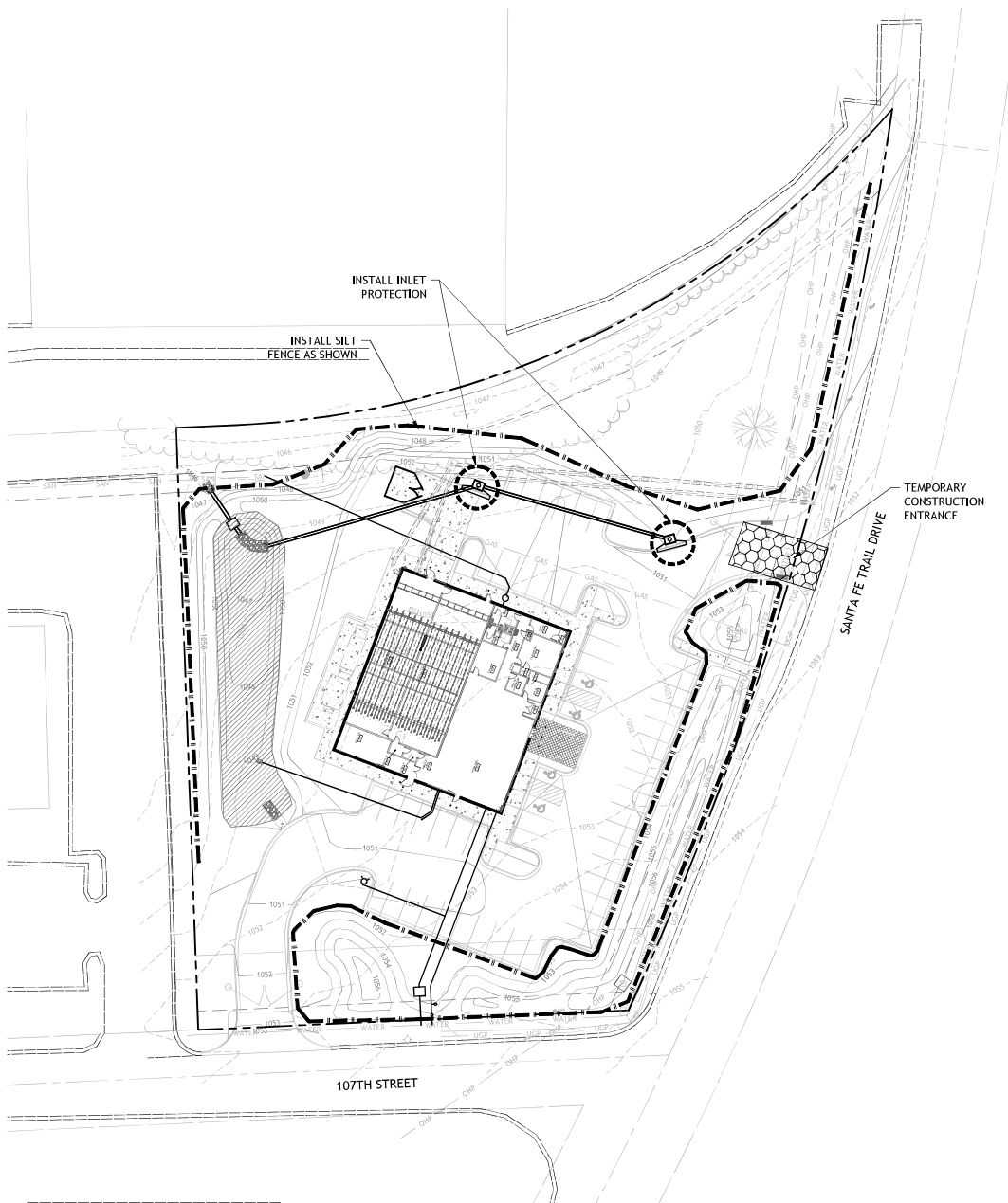
DATE: 11
21 JULY 2025





DETENTION OUTLET
 STRUCTURE B-2





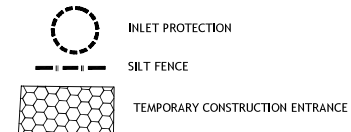
CONSTRUCTION SEQUENCE

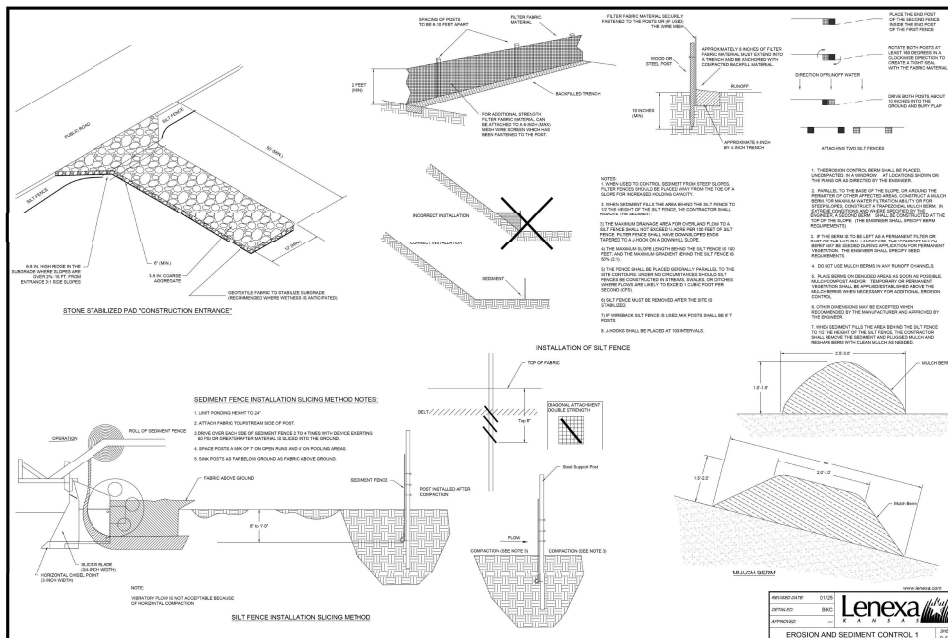
1. TEMPORARY FENCING WILL BE REQUIRED AROUND ACTIVE CONSTRUCTION AREAS ASSOCIATED WITH THE BUILDING CONSTRUCTION.
2. REMOVE EXISTING PAVEMENT AND INSTALL TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN
3. INSTALL EROSION CONTROL MEASURES AS SHOWN PRIOR TO BEGINNING PAVEMENT REMOVAL.
4. REMOVE EROSION CONTROL MEASURES AFTER VEGETATION HAS BEEN ESTABLISHED PER NOTES BELOW.

EROSION CONTROL NOTES

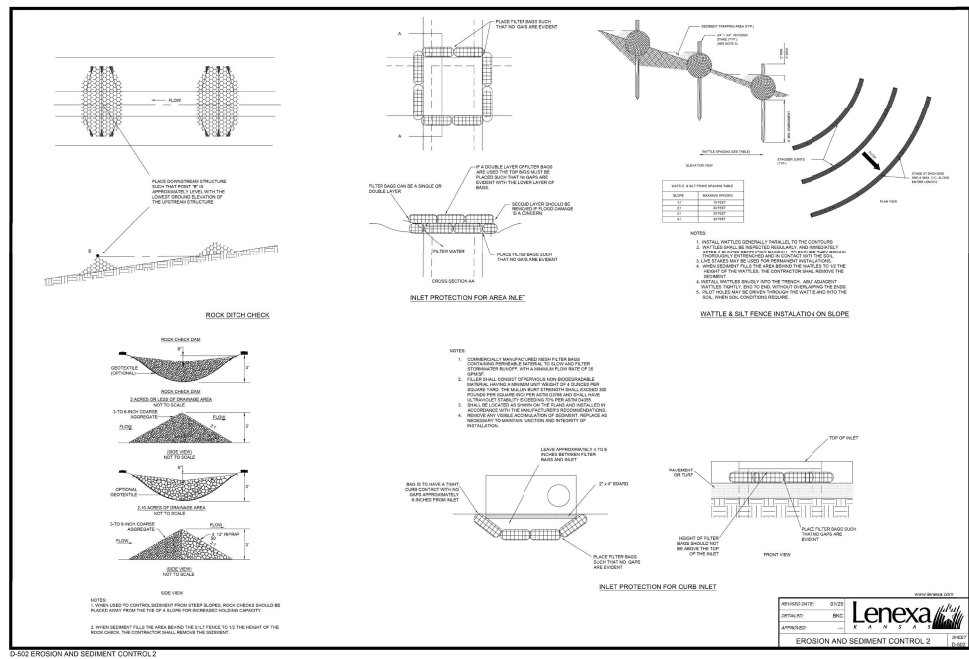
1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT, AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION CONTROL, KEEP THE STREETS CLEAN OF MUD AND DEBRIS, AND PREVENT SOIL FROM LEAVING THE PROJECT SITE. THE CONTRACTOR'S EROSION CONTROL MEASURES SHALL CONFORM TO THE UNIFIED GOVERNMENT OF WYANDOTTE COUNTY AND KANSAS CITY, KANSAS TECHNICAL PROVISIONS SPECIFICATIONS.
2. THE CONTRACTOR SHALL INSTALL SILT FENCE, CONSTRUCTION ENTRANCE AND WATTLES AS SHOWN PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY
3. EXCAVATED MATERIAL THAT IS NOT IMMEDIATELY LOADED AND HAULED OFF SITE SHALL BE STOCKPILED ON SITE. CONTRACTOR SHALL PROVIDE WADDLES OR OTHER SIMILAR MEASURE FULLY SURROUNDING THE STOCKPILE AREA TO PROTECT ADJACENT INLETS OR AREAS, UNTIL SUCH TIME THAT STOCKPILE IS REMOVED FROM THE SITE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL EROSION CONTROL MEASURES OR MODIFICATIONS IF THE PLAN FAILS TO SUBSTANTIALLY CONTROL EROSION OR OFFSITE SEDIMENTATION.
5. THE CONTRACTOR SHALL INSPECT EROSION CONTROL DEVICES EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM OF 0.5 INCHES OR MORE. THE CONTRACTOR SHALL REPAIR DAMAGE, CLEAN OUT SEDIMENT, AND ADD ADDITIONAL EROSION CONTROL DEVICES AS NEEDED, AS SOON AS PRACTICABLE AFTER INSPECTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REMOVING SEDIMENT UNTIL A MINIMUM OF 70% OF PERMANENT VEGETATION HAS BECOME STABILIZED AND ESTABLISHED. EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE 70% ESTABLISHED VEGETATION IS MET, OR THE DURATION OF THE PROJECT, WHICHEVER IS THE LATER DATE.

LEGEND



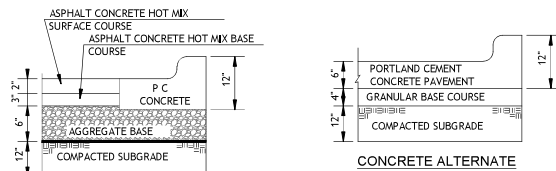


D-501 EROSION AND SEDIMENT CONTROL 1



D-502 EROSION AND SEDIMENT CONTROL 2





REGULAR DUTY PAVING **PV1**



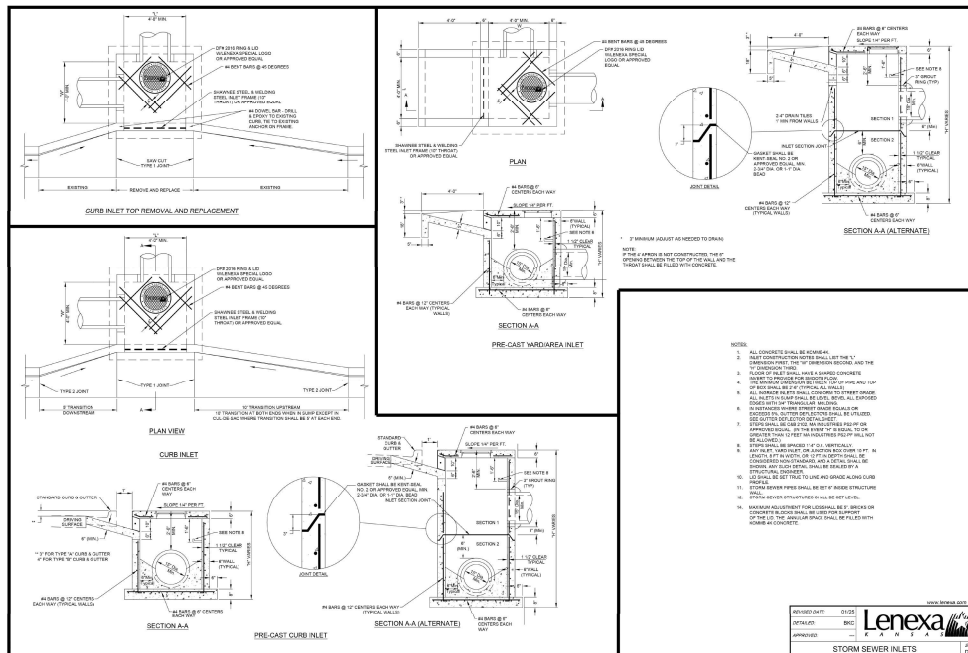
HEAVY DUTY ASPHALT **PV2** **HEAVY DUTY CONCRETE** **PV3**

1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

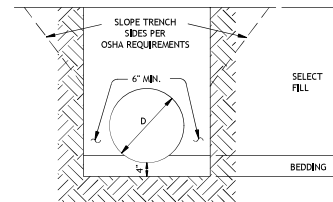
ASPHALT SURFACE COURSE - APWA TYPE 3-01
 ASPHALT BASE COURSE - APWA TYPE 1-01
 AGGREGATE BASE-AB-3

2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 6% ENTRAINED AIR $\pm 2\%$ AND SHALL MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN THE LATEST EDITION OF THE KANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

3. HEAVY DUTY CONCRETE IS AN OPTIONAL PAVEMENT FOR DETAIL 041 HEAVY DUTY ASPHALT. WHEN PLANS SPECIFY DETAIL 042 NO ALTERNATES ARE ALLOWED.



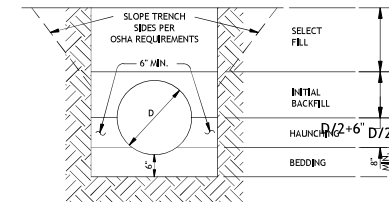
0-300 STORM SEWER INLETS



RIGID PIPE: INCLUDES REINFORCED CONCRETE, DUCTILE IRON, & CAST IRON

1. BEDDING SHALL BE COMPACTED SAND AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE.

2. SELECT FILL SHALL BE NATIVE MATERIAL FREE OF LARGE ROCKS, DEBRIS, AND ORGANICS (3") AND SHALL BE PLACED IN 8" MAX. LOOSE LIFTS AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.



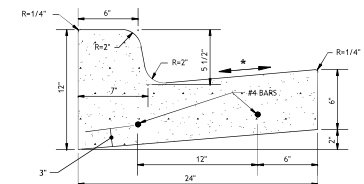
FLEXIBLE PIPE: INCLUDES CORRUGATED METAL PIPE, CORRUGATED POLYETHYLENE PIPE AND/OR POLYVINYL CHLORIDE PIPE.

1. BEDDING AND HAUNCHING MATERIAL SHALL BE COMPACTED SAND, UNLESS NOTED OTHERWISE ON PLANS AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE.

2. INITIAL BACKFILL MATERIAL SHALL BE GRANULAR MATERIAL OR SELECT MATERIAL (INCLUDING SAND) COMPACTED IN ACCORDANCE TO SPECIFICATIONS.

3. SELECT FILL PLACEMENT AND COMPACTION SAME AS FOR RIGID PIPE.

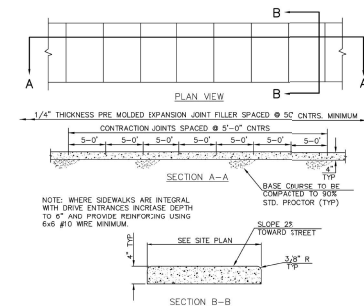
TRENCH AND BEDDING DETAILS **MS1**



NOTE: 1. EXPANSION, CONTRACTION, OR CONSTRUCTION JOINTS ARE TO BE SAME AS NOTED ON TYPE 'A' CURB AND GUTTER DETAIL.
 2. REBAR IS NOT REQUIRED FOR CURB CONSTRUCTION ON A MINIMUM OF 3" ASPHALT.

CG-1 CURB AND GUTTER

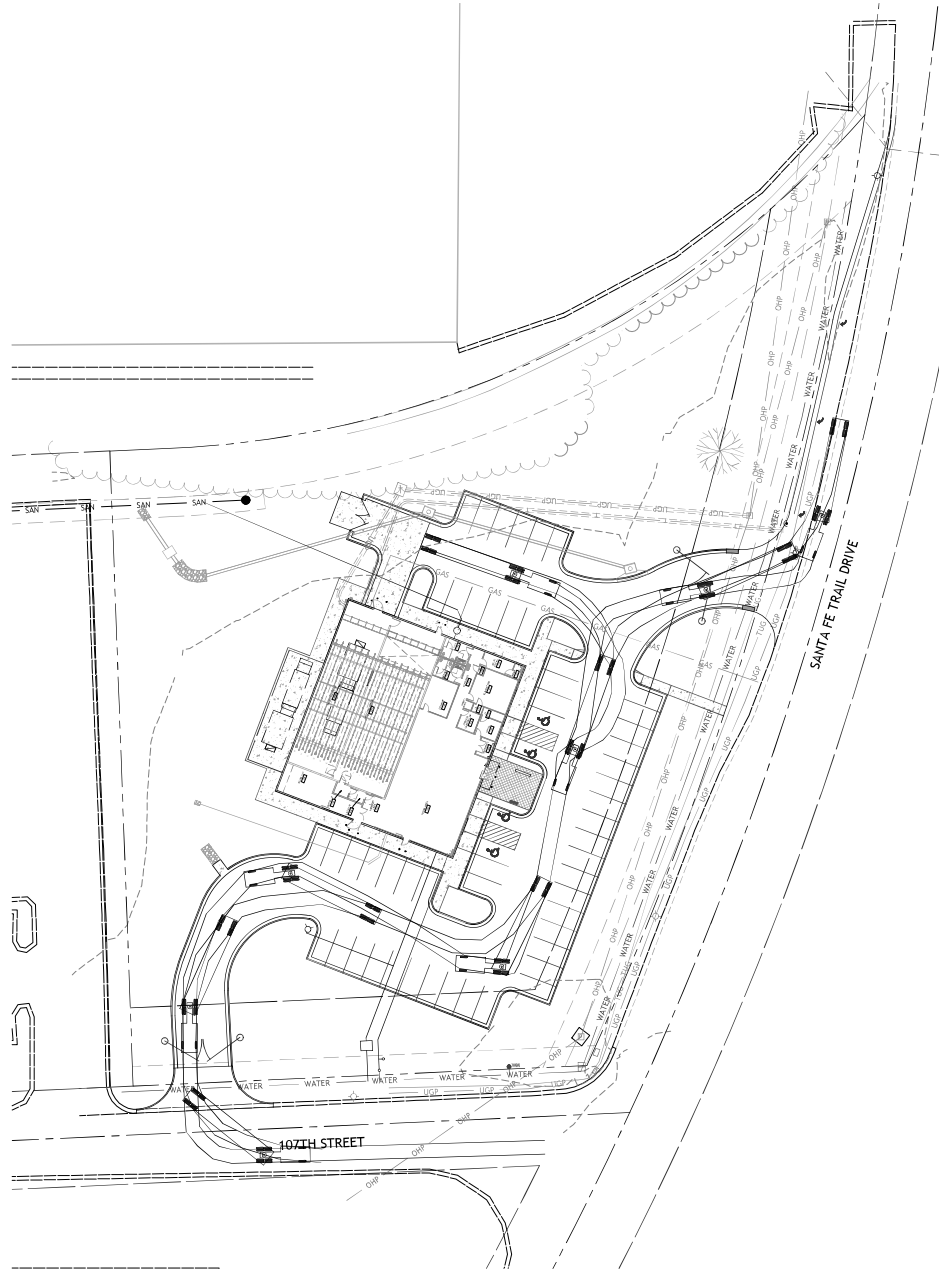
• ADJUST TILT OF GUTTER TO MAINTAIN POSITIVE FLOW



NOTE: WHERE SIDEWALKS ARE INTEGRAL WITH DRIVE ENTRANCES INCREASE DEPTH TO 8" AND PROVIDE REINFORCING USING 6x6 #10 WIRE MINIMUM.

CONCRETE SIDEWALK **CW2**

NOTE: CONCRETE SHALL BE CLASS A WITH $f_c = 3000$ PSI.



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 and dimensions is required.

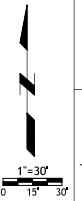


Revisions
 8-8-24 CITY COMMENTS

GUN RANGE USA
 LENEXA, KS

sheet
C11.0
 Civil
 TRUCK MOVEMENTS

8/17/21
 21 JULY 2025



Shrub List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
●	492	Feather Reed Grass	Calamagrostis Acutiflora 'Karl Foerster'	3 gal.	Cont.	3' o.c.

●	656sf	Perennial Bed (Red Begonia's), owner can select				
---	-------	-------------------------------------------------	--	--	--	--

Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
●	7	October Glory Maple	Acer Rubrum 'October Glory'	2" cal	BB	As Shown
●	6	Swamp White Oak	Quercus Bicolor	2" cal	BB	As Shown
●	10	Golden Rain tree	Koeleruteria Paniculata	1 1/2" cal	BB	As Shown
●	6	Amur Maple	Acer Ginnala 'Flame'	1 1/2" cal	BB	As Shown
●	4	Eastern Red Cedar	Juniperus virginiana	6' hgt	BB	As Shown
●	5,487sf	Woodland Sedge	Carex blanda	Deep Cell Plugs	18" o.c.	

LANDSCAPE DATA:

SANTA FE DR	508'
REQUIRED / 100'	
2 SHADE	= 10
1 ORNAMENTAL	= 5
12 SHRUBS	= 61
75sf OF BED	= 381sf

PROVIDED	
SHADE TREES	4 (OVERHEAD POWER LINES)
ORNAMENTAL	10
SHRUBS	291
BEDS	417sf

107th ST 232'	
REQUIRED / 100'	
2 SHADE	= 5
1 ORNAMENTAL	= 2
12 SHRUBS	= 28
75sf OF BED	= 174sf

PROVIDED	
EXISTING TREES	5
ORNAMENTAL	2
SHRUBS	181
BEDS	239sf

INTERIOR PARKING 20,914sf	
REQUIRED	
7.5% OF PARKING TO BE LANDSCAPED =	1,568sf
PROVIDED =	1,882sf

PEDESTRIAN AREA	
10sf / STALL 55	= 550sf
PROVIDED	= 550sf

LANDSCAPE NOTES

CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allow without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

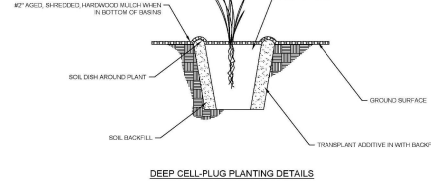
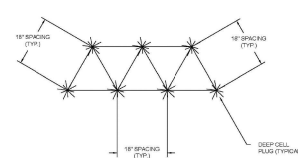
All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

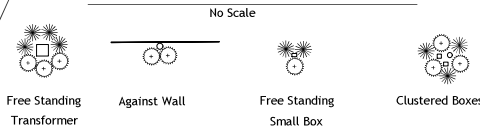
All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.

LANDSCAPE MATERIAL - C



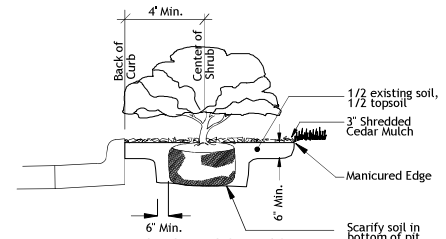
Typical Utility Box Screening Details



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

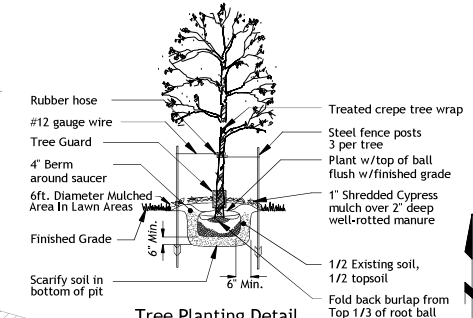
Shrub Bed & Parking Setback Detail

No Scale



Tree Planting Detail

No Scale



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Manhattan Kansas, 66503
smcivlengr@gmail.com
785.341.5747

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Revisions
8-8-24 CITY COMMENTS

GUN RANGE USA
LENEXA, KS

sheet
L-1
Civil
LANDSCAPE PLAN

21 JULY 2025



ARCHITECTURE INTERIORS
6405 W. WILKINSON
BLVD, STE. 100
BELMONT, NC 28012

704.342.1686
HELTDESIGN.COM
INFO@HELTDESIGN.COM
PROJECT NAME:

PROPOSED
RANGE
10.235 S.F.

PROJECT NO: 25034

PROJECT ADDRESS:
TBD
STREET,
CITY, STATE

SEAL: MM/DD/YEAR

PRELIMINARY PROGRESS SET-
NOT FOR CONSTRUCTION

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C.L. HELT, ARCHITECT, INC. A NORTH CAROLINA
PROFESSIONAL CORPORATION DBA HELT DESGN.

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DRAWING REVISIONS: /

[illegible]

DRAWN BY: D. FERRY

DATE: _____

SHEET TITLE:

PROPOSED
FLOOR PLAN
& ELEVATION

SHEET NUMBER:

PFP-3



AREA AND OCCUPANCY PER TABLE 1004.5			
AREA	SQUARE FEET	FF	OCCUPANCY
RETAIL AREA 102 & 103	= 2,616	@ 80 GROSS	= 43
RECEIVING 106	= 456	@ 300 GROSS	= 2
STORAGE 109 (ACCESSORY)	= 258	@ 300 GROSS	= 1
PRIVATE CLASS, 116 (EDUCATIONAL)	= 91	@ 20 NET	= 5
CLASSROOM 117 (EDUCATIONAL)	= 375	@ 20 NET	= 18
OFFICE 119 (BUSINESS)	= 144	@ 100 GROSS	= 2
STAFF BREAK	= 112	@ 15 NET	= 7
RANGE 107 (UNOCCUPIED)	= 2,115		
SHOOTING AREA WITHIN RANGE	= 192	(2) PER LANE + 1	= 15
RANGE 108 (UNOCCUPIED)	= 2,480		
SHOOTING AREA WITHIN RANGE	= 225	(2) PER LANE + 1	= 17
HEATED AREA TOTAL	= 9,970	TOTAL OCCUPANCY =	110

THE BUILDING USE IS AN ASSEMBLY USE WITH RETAIL AND MERCANTILE ASSOCIATED SPACES.

TOTAL BUILDING OCCUPANCY IS SET AT 110.

OVERALL FOOTPRINT = 10,235 S.F.

Lenexa, KS

Front Right Elevation



Concept Elevation
Range USA
Lenexa, KS.
August 6, 2025



Lenexa, KS

Front Right Elevation



Lenexa, KS

Front Left
Elevation



PRIMAX

RANGE
USA

Lenexa, KS

Loading Side Rear Elevation

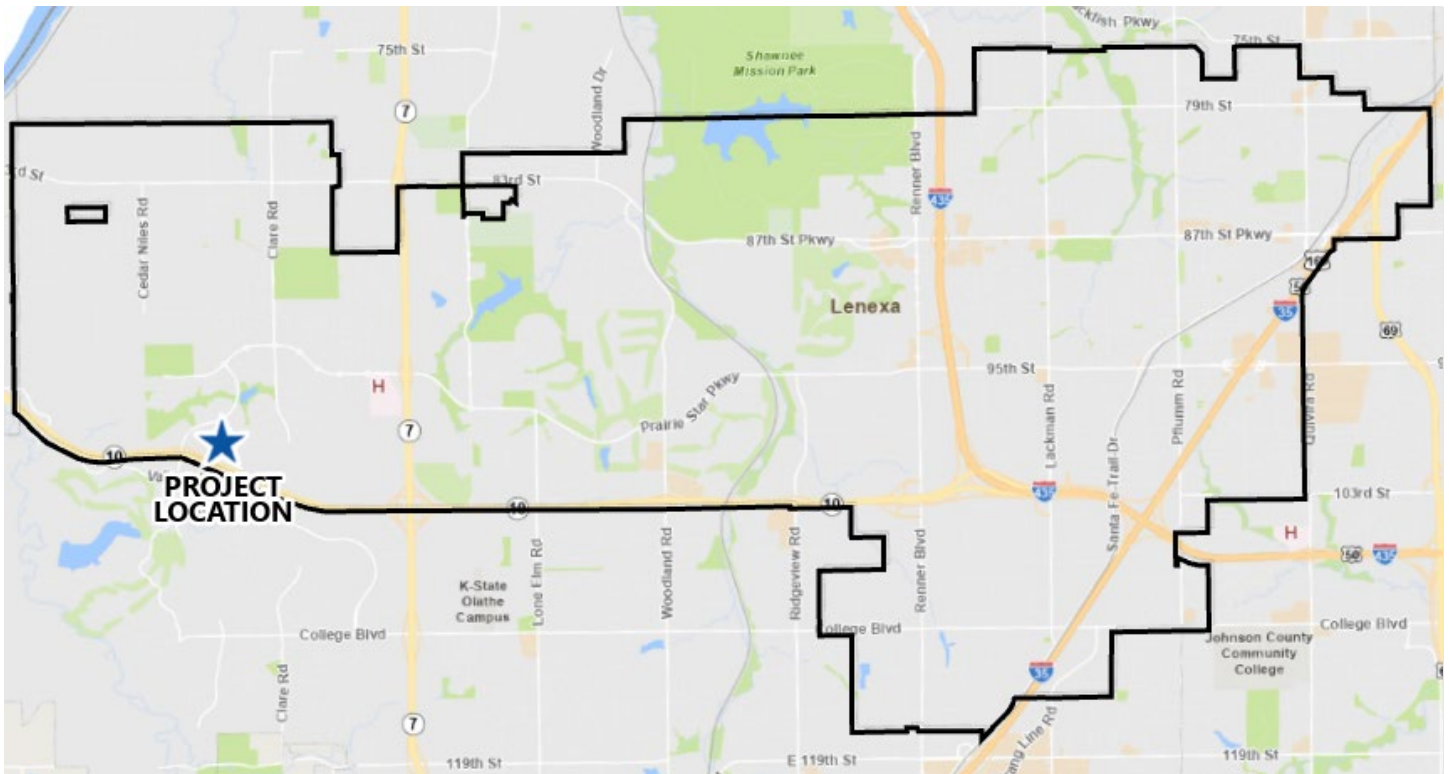


PRIMAX

RANGE
USA

CEDAR CANYON WEST VILLAS

Project #:	PT25-01PR	Location:	Southwest corner of 99 th Street and 100 th Street
Applicant:	Dan Foster, Schlagel Associates	Project Type:	Revised Preliminary Plat
Staff Planner:	Noah Vaughan	Proposed Use:	Single-Family Residential



PROJECT SUMMARY

The applicant seeks approval of a revised preliminary plat for Cedar Canyon West Villas, revising the plat from a 20-lot duplex layout with 40 dwelling units to a 29-lot single-family subdivision as part of the Cedar Canyon West development at the southwest corner of 99th Street and 100th Street, east of Canyon Creek Boulevard. The subdivision is located within a portion of Tract 3, which was included in the originally approved 2022 Rezoning and Concept Plan for Cedar Canyon West. A total of 29 lots (29 total dwelling units) are proposed on the 7.68-acre subject property. The site will gain access from two points off 100th Street from the east and west sides of the site onto the internal road of the subdivision, 99th Terrace. The plat includes three new deviation requests, as the lot layout and unit type differ from the approved preliminary and final plats. The requests include deviations for rear setbacks, lot width, and lot area. The proposed preliminary plat is consistent with the approved concept plan (PL24-04CP), which was approved by the Governing Body on February 7, 2023.

STAFF RECOMMENDATION: APPROVAL

SITE INFORMATION

This site is a 7.68-acre undeveloped tract of land located at the southwest corner of the intersection of 99th Street and 100th Street. The site is part of a regional rezoning and concept plan for 112 acres of land approved in February 2023 (RZ22-09 and PL22-04CP). This rezoning and concept plan included five zoning districts for the land bordered by Canyon Creek Boulevard on the west and future Clare Road on the east, K-10 Highway on the south and 99th Street on the north. The rezoning changed the zoning district of the subject parcel from AG (Agricultural District) to RP-2 (Intermediate-Density Planned Residential District).

Following the rezoning and concept plan, a preliminary plan and plat was submitted in 2024 for the subject property proposing a 20-lot layout with 40 dwelling units, consisting of one duplex per lot (PL24-04P). Following this approval, a final plat for this layout was proposed earlier this year to approve this subdivision design (PT25-05F), which was approved by the Governing Body on May 20, 2025. Since then, the design has now been modified from the approved final plan to adapt the subdivision into a single-family development. The new plat proposes 29 lots with one dwelling unit on each lot, for a total of 29 dwelling units.

TABLE 1: PREVIOUS APPLICATIONS

Project Number	Application Type	Project Name	Date Approved
RZ22-09, PL22-04CP	Rezoning and Concept Plan	Cedar Canyon West Rezoning and Concept Plan	February 7, 2023
PL24-04P	Preliminary Plan and Preliminary Plat	Cedar Canyon West Attached Villas Preliminary Plan and Plat	August 20, 2024
PT25-05F	Final Plat	Cedar Canyon West Attached Villas Final Plat	May 20, 2025

LAND AREA (AC) 7.68	BUILDING AREA N/A	CURRENT ZONING RP-2	COMP. PLAN Medium-Density Residential
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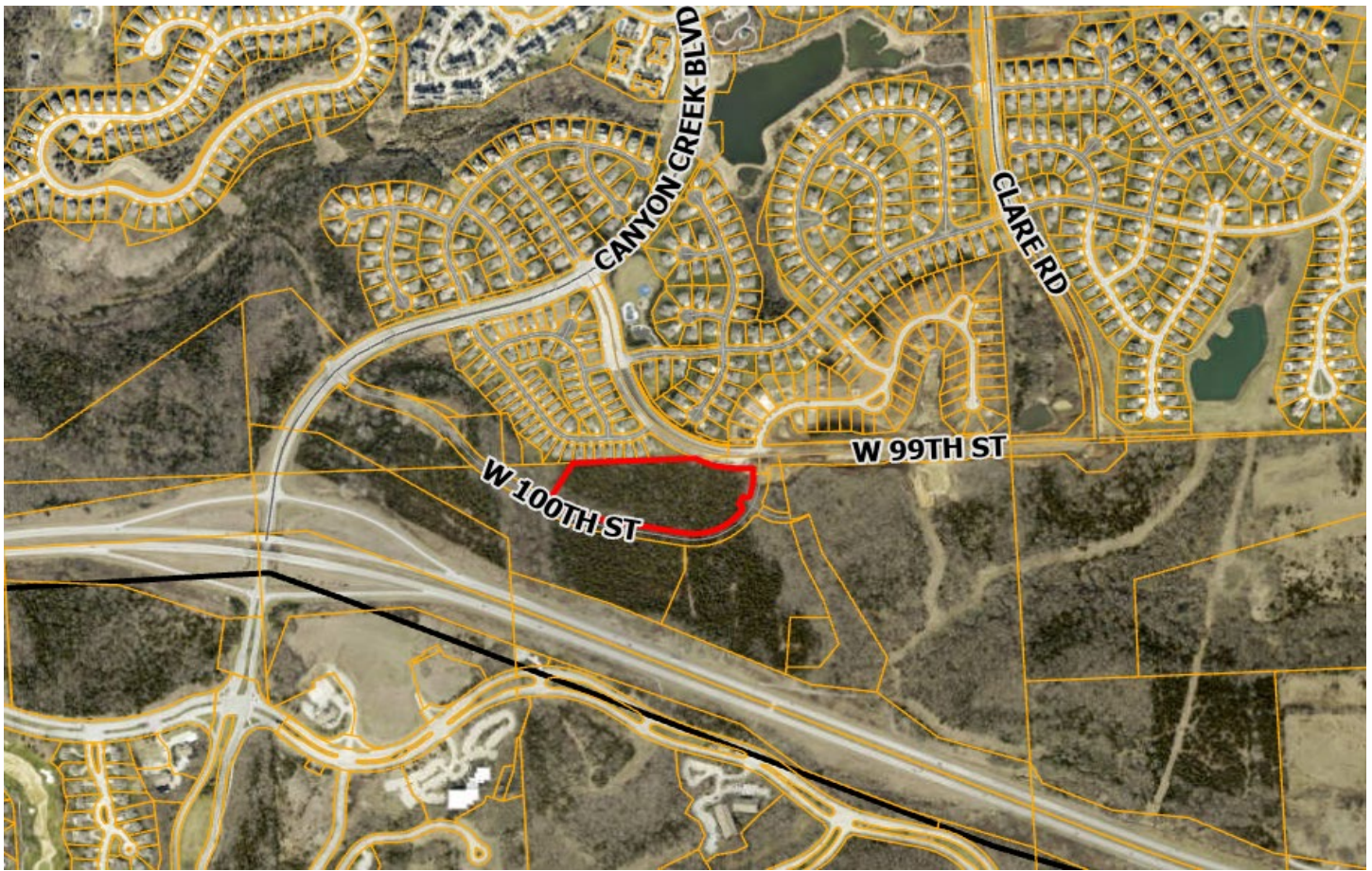


Exhibit 1: Aerial Image of Subject Site

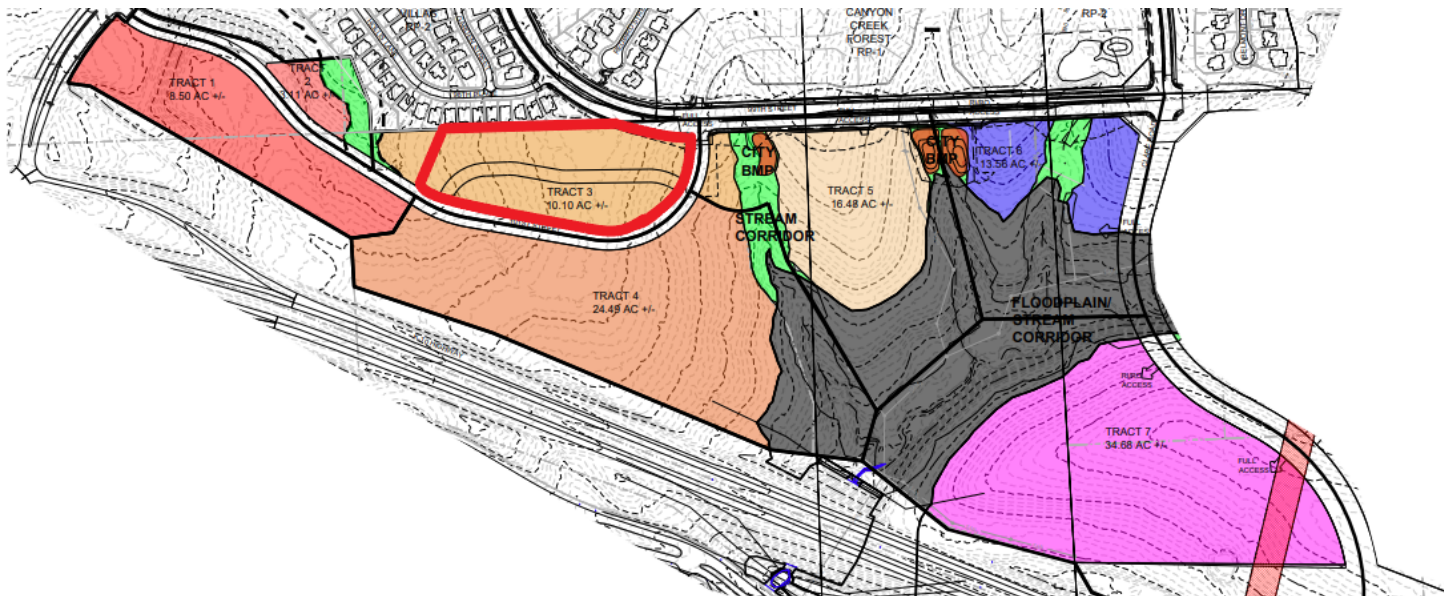


Exhibit 2: Portion of Tract 3 to be developed, Outlined in Red

LAND USE REVIEW

The proposed use is a single-family residential subdivision. The Future Land Use designation for the parcel is Medium Density Residential, which is one density-level higher than the development's proposed use; however, the RP-2 District permits the proposed single-family use. The property has adjacent single-family residential development to the north, which is designated for Medium Density Residential and Suburban Residential development. The adjacent properties to the south, east, and west were rezoned with the rezoning and concept plan for the overall Cedar Canyon West development for different intended uses. The properties to the west (contained within Tracts 1 & 2) were rezoned to CP-2, Planned Community Commercial District, to extend the area already zoned in this district for future commercial development in Cedar Canyon. The area to the south was rezoned to RP-4, Planned Residential (High-Density) District, and a portion of this property is being developed with multifamily at this time. The properties to the east were rezoned to RP-2, BP-2, and CP-O in order to introduce multifamily residential, office, and business park uses in this area of the Cedar Canyon West development.

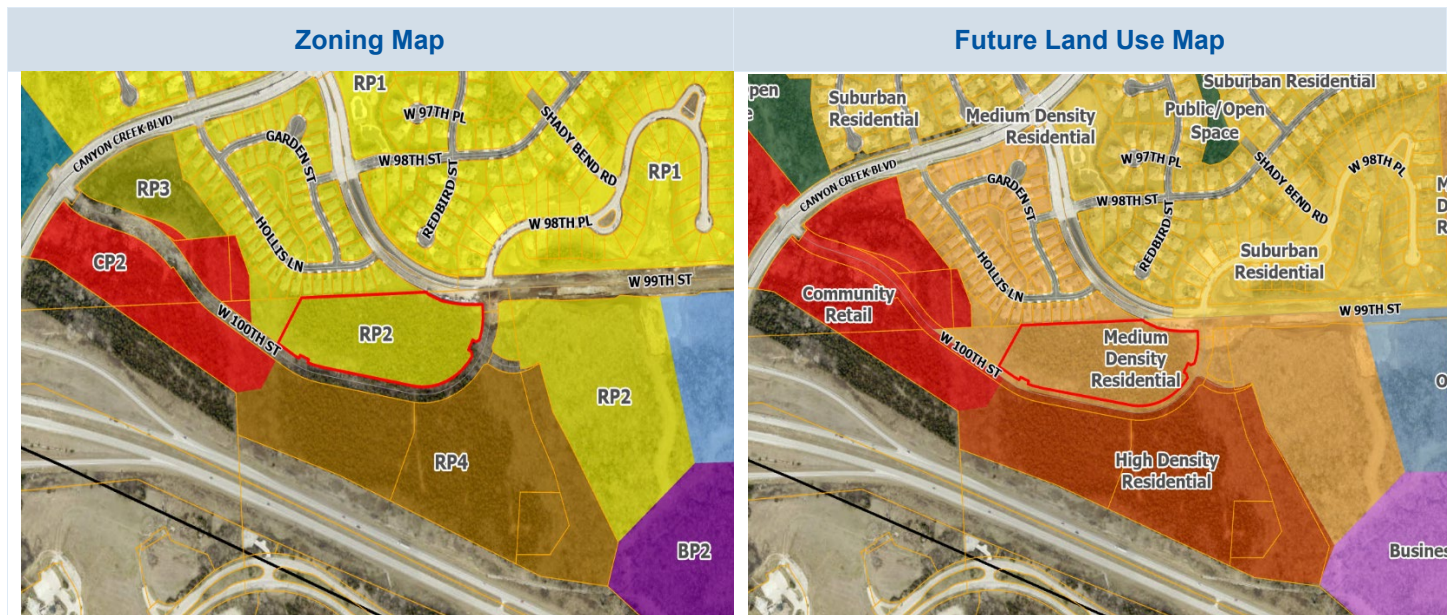


TABLE 1: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Designation	Zoning	Current Use
Subject Property	Medium Density Residential	RP-2, Planned Residential (Intermediate-Density) District	Undeveloped
North	Suburban Residential, Medium Density Residential	RP-1, Planned Residential (Low-Density) District, RP-2, Planned Residential (Intermediate-Density) District	Single-Family Residential
South	High Density Residential	RP-4, Planned Residential (High-Density) District	Undeveloped and multifamily under construction
East	Medium Density Residential	RP-2, Planned Residential (Intermediate-Density) District	Undeveloped
West	Medium Density Residential, Community Retail	RP-3, Planned Residential (Medium-High Density) District, CP-2, Planned Community Commercial District	Undeveloped

PRELIMINARY PLAT REVIEW

This is a revised preliminary plat of 29 single-family lots on 7.68 acres and is a part of the Cedar Canyon West development. While a preliminary plan/plat was previously approved in August 2024 (PL24-04P), followed by a final plat in May 2025 (PT25-05F), changes to the proposed use, layout, and lot count of the subdivision necessitate a new preliminary plat to be approved. The housing classification for the new subdivision will be Class D, which has a 1,600 SF minimum ground floor area for one-story residences and 850 SF minimum ground floor area for two-story residences.

INFRASTRUCTURE

Street development includes the construction of 99th Terrace, which is a public street and is the internal road of the subdivision. This street will connect to 100th Street at both connection points (east and west ends of the project).

STORMWATER

Stormwater management remains consistent with the approved preliminary plan. An existing off-site basin, located just to the west, in adjacent Tract A, will receive and appropriately release the majority of the stormwater from the site. One additional basin on the east end of the site, in Tract B, was included to address that portion of the site that flows easterly away from the existing basin.

DEDICATIONS

All lots of the proposed in subdivision will contain 10' utility easements, 15' landscape easements, 20' sewer easements, and 25' front build lines. A 15' drainage easement is additionally dedicated within portions of Lots 18, 19, and 20. Tract B contains a 12' wide sidewalk easement in addition to utility and waterline easements.

Dedications for the right-of-way and easements on the plat are reflected in Table 2. Table 3 shows the purposes of each tract on the plat. The locations of each tract are shown in Exhibit 4. The plat will need a revision before recording that would indicate that tract maintenance would fall to the individual homeowner's responsibility if the HOA is disbanded, inactive, or otherwise fails to perform maintenance per the code.



Exhibit 3: Easements in Cedar Canyon West Attached Villas.

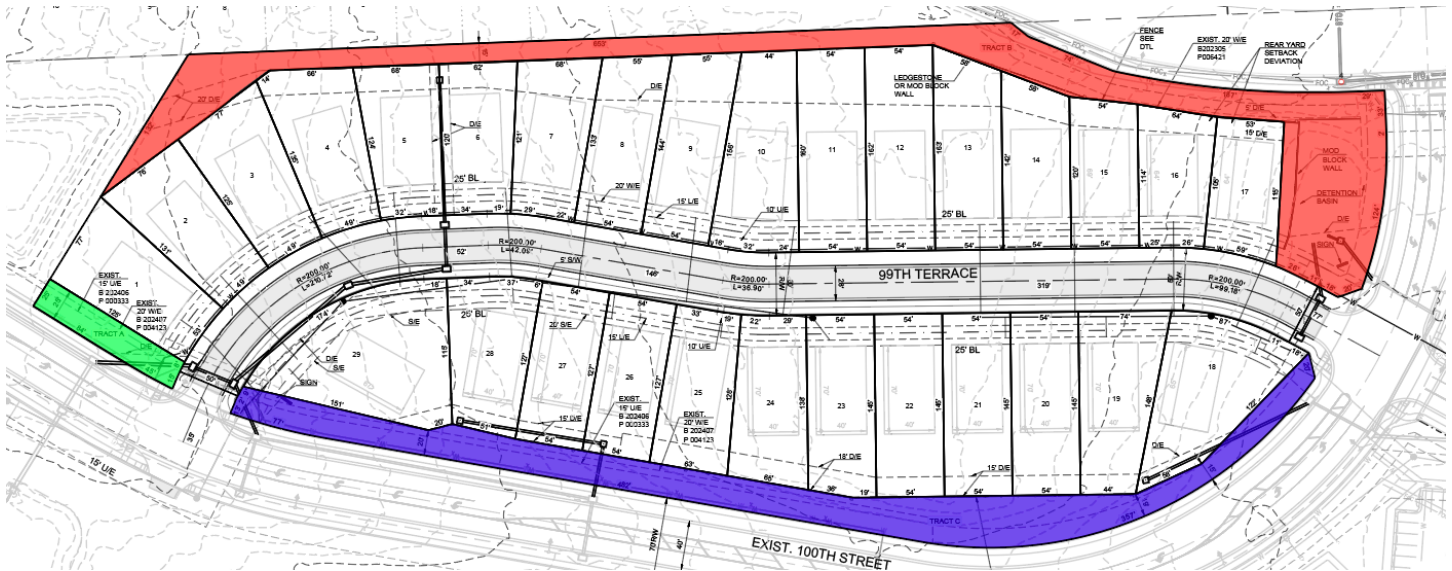


Exhibit 4: Subject plat with Tract A outlined in green, Tract B outlined in red, and Tract C outlined in blue.

TABLE 2: PLAT DEDICATIONS

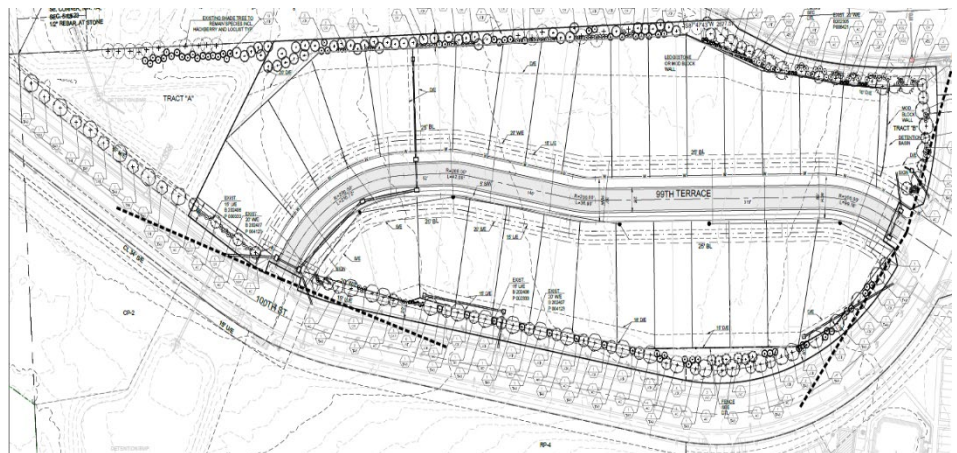
Type of Dedication	Dedicated to
Rights-of-Way	City of Lenexa
Utility Easement	City of Lenexa
Drainage Easement	City of Lenexa
Landscape Easement	City of Lenexa
Sewer Easement	Johnson County Wastewater
Sidewalk Easement	City of Lenexa

TABLE 3: TRACT PURPOSES

Tract	Purpose
A	Landscaping and Open Space
B	Landscaping, Open Space, Stormwater Treatment
C	Landscaping and Open Space

LANDSCAPING

The landscape plan shows trees and shrubs installed along the street frontages in landscape buffer tracts. The landscape tracts are along 100th Street and the north side of the site between the rear yards of the lots and the adjacent single-family subdivision, labeled as Tracts B and C. While both Tracts B and C vary in width, both have a minimum width of 15 feet and include the required landscaping elements. The plan shows that some existing trees will be preserved in the buffer to supplement the tree and shrub requirement. Trees that are intended to be preserved are shown on the landscape plan. A fence is also required in the landscape buffer tracts along the street. To meet the fence requirement, a 6-foot-tall shadowbox cedar privacy fence is proposed along the perimeter of the subdivision.



At Right: Exhibit 5: Landscape Plan for the Preliminary Plat, showing the perimeter plantings to surround the development.

DEVIATIONS

New deviations are being requested through this preliminary plat and previous deviation requests are now unapplicable due to the change in the layout of the subdivision. Three deviations are requested through the proposed preliminary plat: rear setback, minimum lot width, and minimum lot area. Section 4-1-B-7-F of the UDC lists the setback, lot width, and lot area requirements for the RP-2 Zoning District.

TABLE 4: DEVIATION REQUESTS

Deviation Type	Lots	Code Requirement	Proposed	Deviation Request
Rear Yard Setback	16-17	20 ft	16 ft	- 4 feet
Lot Width	1-17, 19-28	80 ft	77 ft to 49 ft	-3 ft to -31 ft
Lot Area	2, 5-8, 14-17, 20-28	8,000 SF	7,900 SF to 6,066 SF	-100 SF to -1,934 SF

REAR YARD SETBACK

The applicant is requesting to reduce the rear yard setback for two lots from 20 feet to 16 feet. Tract B, to the north of Lots 16 and 17 (behind the lot), provides the buffer between the lots and 99th Street, an arterial street. This space also contains a WaterOne easement with a water main that serves the area. The easement restricts the ability for trees to be planted within this space. The applicant has made the landscape buffer wider at this location so that trees may be planted between the easement and the rear property line of the lot. The increased width to accommodate trees within the easement impedes the typical 20-foot setback area, necessitating the requested deviation. A similar deviation was previously granted for this site with the former duplex development. Given these reasons, Staff supports the request for a 4-foot rear yard setback deviation.

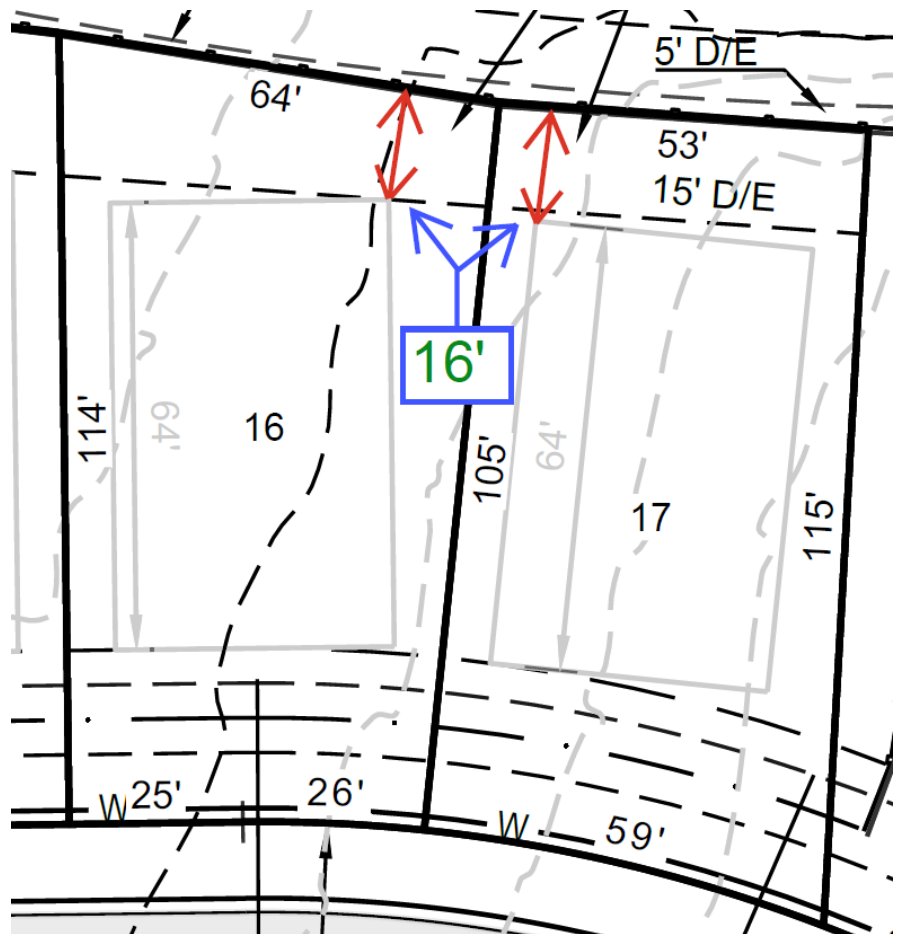


Exhibit 6: Setback Deviation requested for Lots 16 and 17 of the development.

LOT WIDTH

The lot widths have been reduced for multiple lots within the new plat when compared to the previously approved final plat. While the site will retain its RP-2 zoning, the change in unit type from duplex to single-family residences has altered the goals of the developers to expand the density of the subdivision. To accommodate this expansion, the developer has made the originally proposed lots smaller to accommodate a higher density of SF units at the site. As part of the reduction in lot size, the lot widths along streets have been reduced in the proposal. Similar developments such as Canyon Creek Villas, an RP-2 development that lies directly north of the proposed plat, have been approved with lot widths similar to the proposal. The Canyon Creek Villas development contains lots widths as small as 48' wide, which is 1-foot smaller than the maximum deviation request for this new proposal. Proposed lots where the widths are narrow do flare out as the lots deepen, reducing the effect of the narrow lot. Based on previous staff recommendations, as well as the change of the unit type in the development from duplexes to single-family homes, Staff supports the deviation requests for the lot width reductions up to 31 feet.

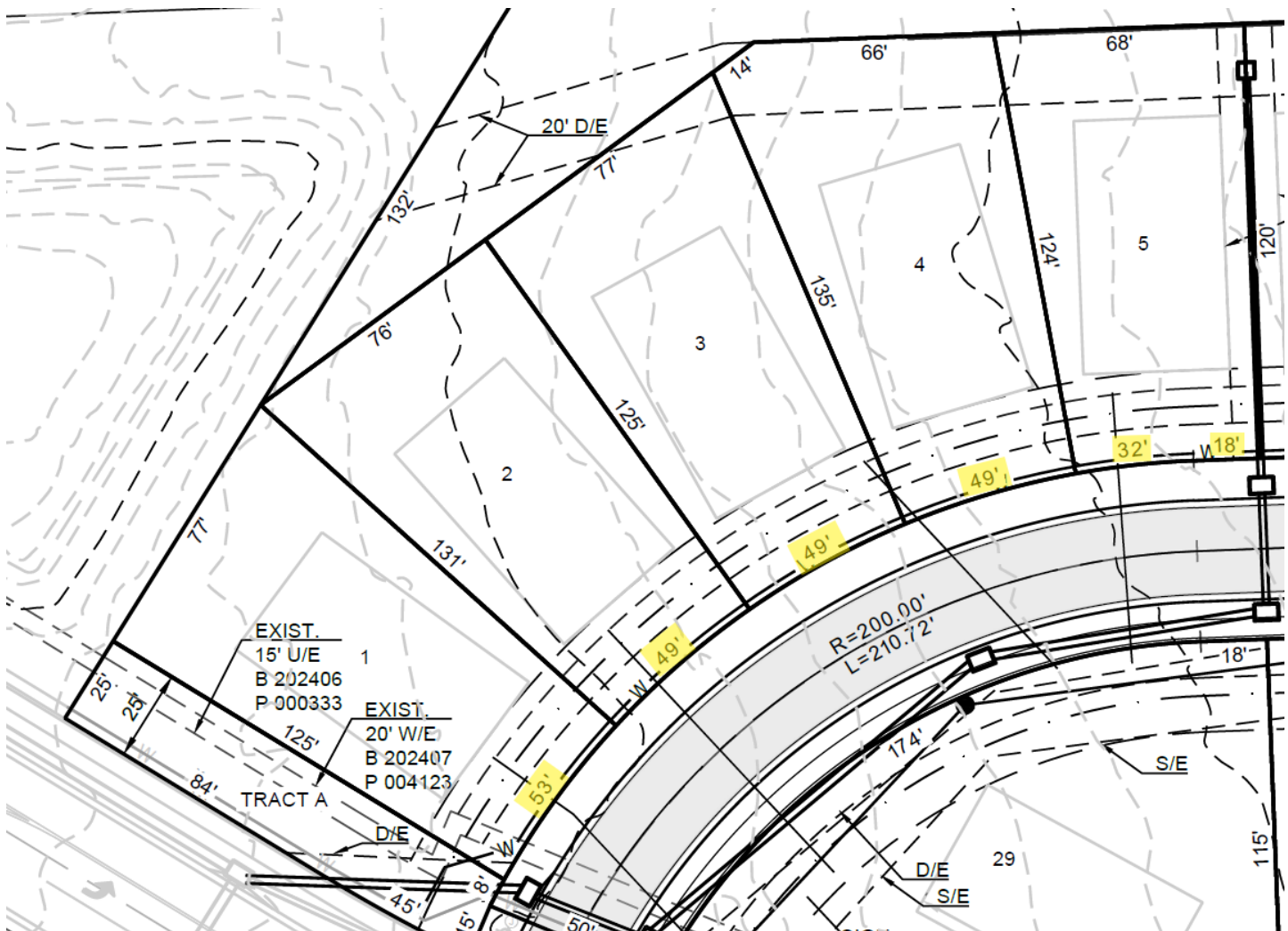


Exhibit 7: Lot width deviation requested for Lots 1-5 of the development; 49 feet represents the smallest lot widths proposed.

LOT AREA

The lot areas have both been reduced for multiple lots within the new plat when compared to the previously approved final plat. While the site will retain its RP-2 zoning, the change in unit type from duplex to single-family residences has altered the goals of the developers to expand the density of the subdivision. To accommodate this expansion, the developer has made the originally proposed lots smaller to accommodate a higher density of SF units at the site, meaning most of the total lot areas in the subdivision do not meet the code requirement for RP-2. Similar developments such as Canyon Creek Villas, an RP-2 development that lies directly north of the proposed plat, have been approved with lot areas similar to the proposal. The Canyon Creek Villas development contains lot areas below 6,000 SF, even smaller than the maximum deviation request for this new proposal. Based on previous staff recommendations, as well as the change of the unit type in the development from duplexes to single-family homes, Staff supports the deviation requests for the lot area reductions up to 1,934 SF.

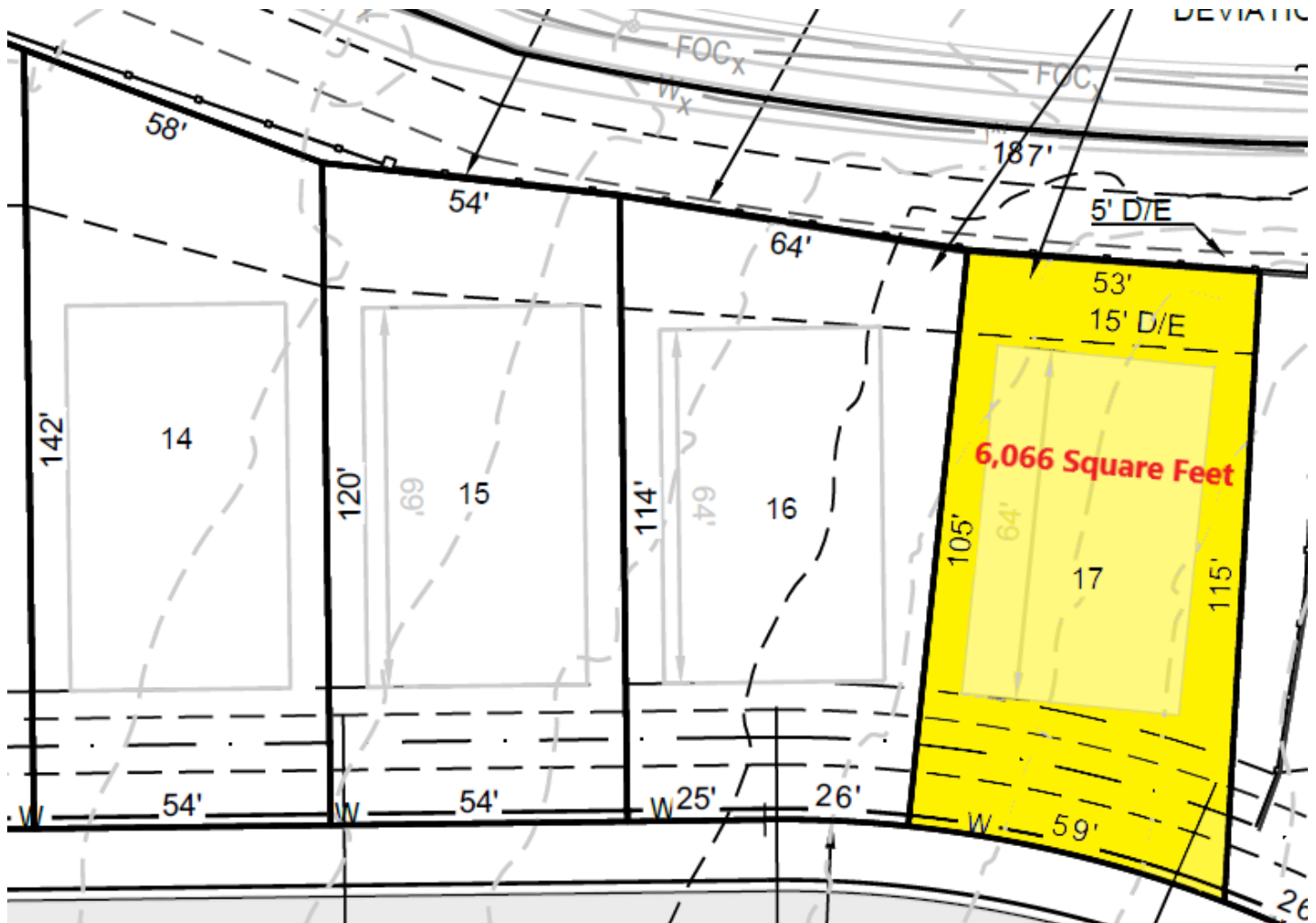


Exhibit 8: Lot area deviation requested for Lot 17 of the development; this represents the smallest lot area proposed.

DEVIATION ANALYSIS

According to [Section 4-1-B-27-G-4](#) of the UDC, the Planning Commission shall have the authority to approve deviations from the minimum standards for setbacks, lot width, and lot area where there is ample evidence that such deviations will not adversely affect neighboring properties and surrounding areas and where such deviations do not constitute the granting of a privilege that would not be universally appropriate for other similarly designed and situated developments. Deviations may be permitted provided the deviation addresses one or more of the following development issues:

1. Protects environmentally sensitive areas (including unusual topography);
2. Fosters natural storm water treatment; protects existing vegetation and important views and vistas to and from the site;
3. Enhances a project's architectural diversity, scale, form and proportion; or
4. Encourages creative streetscape design, including the use of high-quality screening walls, increased buffering and landscape material size and quantity, pedestrian amenities, etc.

The proposed rear setback deviation addresses Items 2 and 4 on this list. The reduction in setback for Lots 16 and 17 enables the developers to increase landscape and buffering in the northern tract. It also allows them to avoid any conflicts that would be brought about due to the location of the WaterOne Easement located in the tract, so landscaping is not pushed into the easement. This allows for more natural stormwater treatment in the development.

The lot width and lot area deviation requests address Item 3 of this list, allowing for a greater density of development within the subdivision now that the unit type has changed from duplex to single-family. The reduction in lot width and lot area allows for the developer to create more lots than the original proposal, allowing for appropriate architectural scale and proportion of the units when compared to the lot size. Overall, the increase in density is appropriate for single-family development in the area, despite the RP-2 zoning, as this zoning district has stricter width and area requirements when compared to the RP-1 requirements, which is the most common zoning for planned single-family residential development.

In conclusion, Staff supports the requested deviations for rear yard setback, lot width, and lot area per the requirements of Section 4-1-B-27-G-4 of the UDC in addition to previous Staff recommendations that have allowed for similar deviation requests on single-family developments within the RP-2 District.

NEXT STEPS

- This Planning Commission is the final authority for the approval of a preliminary plat.
- The applicant must submit a final plat for the site, gain City Council acceptance of dedications, and record the plat prior to building permit stage.
- The applicant should inquire about additional City requirements, such as permits and development fees.

RECOMMENDATION FROM PROFESSIONAL STAFF

★ **Staff recommends approval of the proposed Revised Preliminary Plat for Cedar Canyon West Villas.**

- This is a revised preliminary plat of 29 lots and three tracts in the RP-2 Zoning District.
- The proposed use of the land is single-family residential.
- The project is consistent with Lenexa's goals through ***Responsible Economic Development*** and ***Strategic Community Investment*** to create ***Vibrant Neighborhoods***.

REVISED PRELIMINARY PLAT

Staff recommends **APPROVAL** of the revised preliminary plat for PT25-01PR – **Cedar Canyon West Villas** at the southwest corner of 99th Street and 100th Street, for a single-family residential subdivision with the deviations for rear lot setbacks, lot width, and lot area as noted in the Deviations section of the Staff Report.



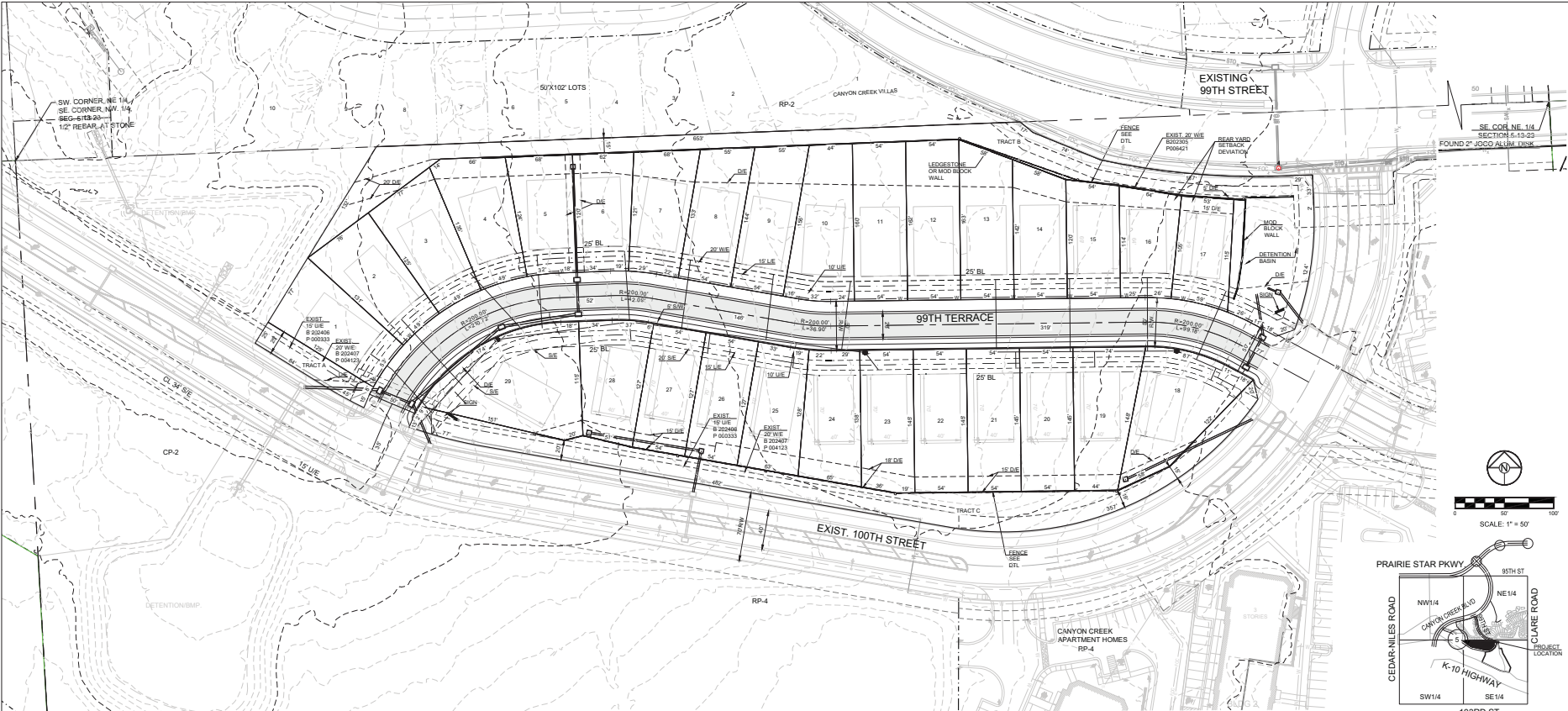
Data Source: City of Lenexa and Johnson County Kansas
For further information, please call 913-477-7500

Cedar Canyon West Villas Revised Preliminary Plat



0 250 500 1,000
Feet





Part of the Southeast One-Quarter of Section 5, Township 13 South, Range 23 East, in the City of Lenexa, Johnson County, Kansas, being more particularly described as follows:

Commencing at the Northwest corner of the said Southeast One-Quarter; thence along the North line of the said Southeast One-Quarter, North 87 degrees 47 minutes 43 seconds East, a distance of 369.24 feet to the Point of Beginning; thence continuing along said North line, North 87 degrees 47 minutes 43 seconds East, a distance of 653.30 feet, to a point on the Southerly right-of-way of West 99th Street as recorded in book 202212 at page 004168; thence along said right-of-way for the following five courses: South 50 degrees 45 minutes 47 seconds East, a distance of 18.77 feet; thence South 87 degrees 50 minutes 28 seconds East, a distance of 74.04 feet to a point of curvature; thence along a curve to the left, having an initial tangent bearing of South 77 degrees 47 minutes 24 seconds East, a radius of 745.00 feet, a central angle of 14 degrees 24 minutes 53 seconds and an arc length of 181.43 feet; thence North 87 degrees 47 minutes 43 seconds East, a distance of 28.82 feet; thence South 02 degrees 12 minutes 17 seconds East, a distance of 33.00 feet; thence South 02 degrees 12 minutes 48 seconds East, a distance of 1.98 feet to a point of curvature; thence along a curve to the right, being tangent to the previous course and having a radius of 315.00 feet, a central angle of 22 degrees 37 minutes 36 seconds and an arc length of 124.40 feet; thence South 70 degrees 09 minutes 47 seconds West, a distance of 19.92 feet; thence North 01 degrees 26 minutes 40 seconds West, a distance of 18.00 feet; thence South 07 degrees 41 minutes 39 seconds West, a distance of 50.00 feet; thence North 01 degrees 26 minutes 40 seconds East, a distance of 18.00 feet; thence North 03 degrees 54 minutes 48 seconds East, a distance of 20.36 feet to a point of curvature; thence along a curve to the right, having an initial tangent bearing of South 34 degrees 58 minutes 31 seconds West, a radius of 1715.00 feet, a central angle of 64 degrees 52 minutes 12 seconds and an arc length of 358.64 feet; thence North 80 degrees 09 minutes 17 seconds West, a distance of 481.55 feet to a point of curvature; thence along a curve to the right, being tangent to the previous course and having a radius of 450.00 feet, a central angle of 09 degrees 47 minutes 30 seconds and an arc length of 76.90 feet; thence North 22 degrees 46 minutes 34 seconds East, a distance of 14.76 feet; thence North 07 degrees 10 minutes 36 seconds West, a distance of 50.00 feet; thence South 22 degrees 46 minutes 34 seconds West, a distance of 14.76 feet to a point of curvature; thence along a curve to the right, having an initial tangent bearing of North 03 degrees 09 minutes 36 seconds West, a radius of 450.00 feet, a central angle of 05 degrees 39 minutes 58 seconds and an arc length of 44.50 feet; thence North 54 degrees 19 minutes 38 seconds West, a distance of 83.80 feet; thence North 31 degrees 40 minutes 53 seconds East, a distance of 234.11 feet, to the Point of Beginning, and containing 7.6796 acres, more or less.

DEVIATIONS REQUESTED

1. REAR SETBACK FOR LOTS 16 AND 17 FROM 20' TO 16' TO EXISTING WATER EASEMENT.

2. DEVIATION TO ALLOW A MINIMUM LOT WIDTH OF 24' INSTEAD OF 30'.

3. DEVIATION TO ALLOW A MINIMUM LOT AREA OF 6,086 S.F. (LOT 17) INSTEAD OF 6,000 S.F.

LOT #	AREA (SF)	LOT #	AREA (SF)
1	6,172.17	21	7,830.00
2	7,900.63	22	7,830.00
3	8,060.06	23	7,713.43
4	8,270.20	24	7,716.46
5	7,193.00	25	7,281.28
6	6,904.05	26	6,852.18
7	7,431.09	27	6,852.18
8	7,474.23	28	7,757.00
9	8,087.17	29	13,295.51
10	9,212.95	30	45,866.58
11	6,885.42	31	3,135.44
12	8,761.11	32	32,110.78
13	8,224.68	33	23,484.60
14	7,076.08		
15	6,324.22		
16	6,202.16		
17	6,088.95		
18	10,298.87		
19	8,538.17		
20	7,830.00		

RP-2
RP-2
VACANT
SINGLE FAMILY & MULTIFAMILY
DETACHED SINGLE FAMILY VILLAS
10.10 AC
2.34 AC
7.76 AC
1.05 AC
6.71 AC
20 LOTS AND 4 TRACTS
29 UNITS
67 UNITS
5,000 S.F.
10,079.88 S.F. (6.71AC/29)
8 DU PER ACRE
3.74 DU PER ACRE(207.76)
25.5 ACRES (55,742.87 S.F.)(6.49%)
87 X 100', 8,000 S.F.
54'X 105'-120', 6,006 S.F.
25. FT.
7 FT.
7 FT.
25. FT.
25. FT.
20 FT.
16' FOR LOTS 16 & 17 ALL OTHERS 20 F
60% OF LOT AREA
60% OF LOT AREA

TOTAL QUANTITY OF PARKING PROVIDED: 475 PER LOT (138 SPACES)

NOTE: PER LOT OPEN SPACE MAY INCLUDE DRIVEWAYS THAT DO NOT SERVE MORE THAN 4 SPACES

GENERAL NOTES:

1. FLOOD NOTE: There is no FEMA identified floodplain located on the proposed property per Flood Insurance Rate Map Panel No. No. 2009102046 G and 2009102047 G dated August 3, 2009.

2. Boundary and easement data is from a survey prepared by Schlager & Associates, P.A.

3. Topography and adjacent plat and improvements from JCOO ARES.

4. Existing utilities have been shown to the greatest extent possible based upon field locates by utility companies and information provided to the engineer.

5. Adjacent parcel information is based upon JCOO ARES and information provided by consultants for the adjacent projects.

6. All lighting shall comply with the city codes and ordinances.

7. All new inside wiring and cables shall be placed underground per the city codes and ordinances.

8. All above ground electrical and/or telephone cabinets shall be placed as required by the utility company.

9. All wall and monument signs will require a sign permit through the planning division.

10. All improvements must meet the City of Lenexa LDC, design criteria, standards and codes.

11. Retaining wall built on top of existing Big Block Concrete wall or built on top of existing modular block retaining wall as approved.

12. Approval of this plan does not result in generating a building permit. A separate building permit approval process must be completed.

13. Approval of this plan does not constitute a complete review of the project for compliance with the City building codes. A full code analysis shall be submitted with the building permit. Revision may be required to make the project building code compliant.

14. Approval of this plan does not constitute a complete review of the project for compliance with the ADA regulations. The project shall comply with all applicable regulations of the ADA.

15. Approval of this plan does not constitute a complete review of the project for compliance with the 2015 International Fire Code.

16. A sewer permit from Johnson County Wastewater is required prior to obtaining a building permit.

17. All setbacks shall be a minimum of 5' width.

18. The project will follow the applicable permit requirements when planning the project.

19. Fire flow requirements for the project shall be established in accordance with Appendix B of the 2015 International Fire Code.

20. Lighting shall be City standard street lights.

21. The project will be constructed in a single phase.

LEGEND:

BL or B.L. - BUILDING LINE

DIE - DRAINAGE EASEMENT

L/E - LANDSCAPE EASEMENT

P/L - PROPERTY LINE

ROW or ROW - RIGHT-OF-WAY

S/W - SANITARY SEWER EASEMENT

U/E - UTILITY EASEMENT

CURB & GUTTER

CURB & GUTTER - EXISTING

EXISTING LOT AND PROPERTY LINES

EXISTING PLAT AND ROW LINES

PROPERTY LINES

RIGHT-OF-WAY

FOUND MONUMENT AS NOTED

FOUND 1/2" REBAR WITH KSL S 54 CAP UNLESS OTHERWISE NOTED

SET 1/2" REBAR WITH S 54 CAP UNLESS OTHERWISE NOTED

EXIST. 99TH STREET

EXIST. 100TH STREET

EXIST. 101ST STREET

EXIST. 102ND STREET

EXIST. 103RD STREET

EXIST. 104TH STREET

EXIST. 105TH STREET

EXIST. 106TH STREET

EXIST. 107TH STREET

EXIST. 108TH STREET

EXIST. 109TH STREET

EXIST. 110TH STREET

EXIST. 111TH STREET

EXIST. 112TH STREET

EXIST. 113TH STREET

EXIST. 114TH STREET

EXIST. 115TH STREET

EXIST. 116TH STREET

EXIST. 117TH STREET

EXIST. 118TH STREET

EXIST. 119TH STREET

EXIST. 120TH STREET

EXIST. 121ST STREET

EXIST. 122ND STREET

EXIST. 123RD STREET

EXIST. 124TH STREET

EXIST. 125TH STREET

EXIST. 126TH STREET

EXIST. 127TH STREET

EXIST. 128TH STREET

EXIST. 129TH STREET

EXIST. 130TH STREET

EXIST. 131ST STREET

EXIST. 132ND STREET

EXIST. 133RD STREET

EXIST. 134TH STREET

EXIST. 135TH STREET

EXIST. 136TH STREET

EXIST. 137TH STREET

EXIST. 138TH STREET

EXIST. 139TH STREET

EXIST. 140TH STREET

EXIST. 141ST STREET

EXIST. 142ND STREET

EXIST. 143RD STREET

EXIST. 144TH STREET

EXIST. 145TH STREET

EXIST. 146TH STREET

EXIST. 147TH STREET

EXIST. 148TH STREET

EXIST. 149TH STREET

EXIST. 150TH STREET

EXIST. 151ST STREET

EXIST. 152ND STREET

EXIST. 153RD STREET

EXIST. 154TH STREET

EXIST. 155TH STREET

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Cedar Canyon West Single Family Villas
Deviation Narrative

Deviation to allow lots 16 and 17 to have a 16' rear yard setback instead of a 20' rear yard setback. This deviation was previously approved for the attached villa project.

1. That the deviation requested arises from a condition that is unique to the subject property, is not ordinarily found in the same zoning district and has not been created by the action of the landowner or applicant.

The original concept plan for the site completed in 2020 established the road and parcel layout. WaterOne subsequently recorded a 20' easement along 99th Street that restricts the installation of trees within the easement. This deviation will allow the planting of the trees and installation of a fence along required 99th Street buffer in a manner that both are not within the WaterOne easement. The recording of the easement was not in control of the land owner or this applicant.

2. That the granting of the deviation will not adversely affect the rights of adjacent landowners or residents.

The granting of the deviation will not adversely affect the rights of adjacent landowners or residents. The deviation will allow the installation of the fence and buffer landscape along 99th Street.

3. That the strict application of the requirements of this Chapter would constitute an unnecessary hardship upon the landowner represented in the application.

The strict application would not allow the installation of the required buffer without the elimination of two lots which would be hardship since the recording of an easement was completed by a separate utility company.

4. That the deviation requested will not adversely affect the public health, safety or general welfare.

The deviation will allow the installation of the fence and buffer landscape along 99th Street. So it will not adversely affect the public health, safety or general welfare.

5. That the deviation will not conflict with the purpose and intent of this Code.

The deviation will allow the installation of the fence and buffer landscape along 99th Street which meets the intent of the code.

Deviation to allow a minimum lot width of 54' instead of 80' and deviation to allow a minimum lot area of 6,066 square feet instead of 8,000 square feet. Both deviations apply to all lots.

1. That the deviation requested arises from a condition that is unique to the subject property, is not ordinarily found in the same zoning district and has not been created by the action of the landowner or applicant.

Per UDC Section 4-1-B-7-A , "*The RP-2, Residential Planned (Intermediate-Density) District is intended to accommodate master-planned, low- to moderate-density residential development*". Single family is an allowed use in this district. However, the property development regulations are more for duplex development. Per UDC Section 4-1-B-7-F, the planned development standards of Section 4-1-B-27 of this Article, shall prevail in those cases where no minimum or maximum property development standard is specified. This section allows up to a 50% reduction in the lot size. The proposed lot width and lot size are greater than the allowed 50% reduction allowed in the planned development standards. The Canyon Ridge Villas (platted as Canyon Creek Villas) that is zoned RP-2 has lots are 52' wide and lot areas as small as 5,223 square feet. The proposed lots for this project are wider and have more lot area so they are compatible with the adjacent subdivision. The City does not have a zoning classification that allows single family villa lots without deviation requests.

2. That the granting of the deviation will not adversely affect the rights of adjacent landowners or residents.

The Canyon Ridge Villas (platted as Canyon Creek Villas) that is zoned RP-2 has lots are 52' wide and lot areas as small as 5,223 square feet. The proposed lots for this project are wider and have more lot area so they are compatible with the adjacent subdivision. The granting of the deviation will not adversely affect the rights of adjacent landowners or residents.

3. That the strict application of the requirements of this Chapter would constitute an unnecessary hardship upon the landowner represented in the application.

The City does not have a zoning classification that allows single family villa lots without deviation requests. The adjacent subdivision and other single family subdivisions zoned RP-2 have been allowed to have similar lots sizes. The strict application of the requirements would result in the City being arbitrary and capricious in the review of single family villa applications.

4. That the deviation requested will not adversely affect the public health, safety or general welfare.

The adjacent subdivision and other single family subdivisions zoned RP-2 have similar lots sizes. This request is reducing the number of units for the project so it will not adversely affect the public health, safety or general welfare.

5. That the deviation will not conflict with the purpose and intent of this Code.

Per UDC Section 4-1-B-7-A , “*The RP-2, Residential Planned (Intermediate-Density) District is intended to accommodate master-planned, low- to moderate-density residential development*”. Single family is an allowed use in this district. The City does not have a zoning classification that allows single family villa lots without deviation requests. The proposed project meets the purpose and intent of the code.

CALL TO ORDER

Chairman Poss called the regular meeting of the Lenexa Planning Commission to order at 7:02 p.m. on Monday, August 4, 2025. The meeting was held in the Community Forum at Lenexa City Hall at 17101 W. 87th Street Parkway, Lenexa, Kansas.

ROLL CALL

COMMISSIONERS PRESENT

Chairman Chris Poss
Vice-Chairman Mike Burson
Commissioner Sunny Dharod
Commissioner Ben Harber
Commissioner Don Horine
Commissioner Jermaine Jamison
Commissioner Curt Katterhenry
Commissioner Cara Wagner
Commissioner David Woolf

COMMISSIONERS ABSENT

STAFF PRESENT

Scott McCullough, Director of Community Development
Stephanie Sullivan, Planning Manager
Steven Shrout, Assistant City Attorney
Dave Dalecky, Planner II
Gloria Lambert, Senior Administrative Assistant

APPROVAL OF MINUTES

The minutes of the June 30, 2025 meeting were presented for approval. Hearing no changes or corrections to the minutes of the regular meeting, Chairman Poss entertained a motion to **APPROVE** the minutes as written. Moved by Commissioner Burson, seconded by Commissioner Jamison, and **APPROVED** by a majority voice vote.

Chairman Poss asked Staff if there were any changes to the agenda. Stephanie Sullivan announced that two items on the agenda, Lenexa Logistics Centre North, 6th Plat (PT25-09F) and Rivera's Tacos (PL25-13F) were tentatively continued to the next Planning Commission agenda, which is scheduled for August 25, 2025.

CONSENT AGENDA

1. **Cottonwood Canyon, Fifteenth Plat - Consideration of a final plat to combine two lots and one tract into one tract for subdivision amenities on property located at 9305 Cottonwood Canyon Drive within the RP-1, Planned Residential (Low Density) District. PT25-01F**
2. **Culver's - Consideration of a revised final plan to modify an existing drive-thru at Culver's restaurant located at 15911 West 87th Street Parkway within the PUD, Planned Unit Development District. PL25-07FR**
3. **Vista Village and Vista Ridge Sign Deviation - Consideration of a revised final plan to deviate from the sign regulations on properties located at the southeast corner of Prairie Star Parkway and Ridgeview Road (Vista Village) within the PUD, Planned Unit Development District and the northeast corner of K-10 Highway and Ridgeview Road (Vista Ridge) within the CP-3, Planned Regional Commercial District. PL25-08F**

Chairman Poss entertained a motion to **APPROVE** the Consent Agenda. Moved by Commissioner Harber, seconded by Commissioner Woolf, and carried by a unanimous voice vote.

REGULAR AGENDA

None

STAFF REPORT

Stephanie Sullivan announced that Staff had no updates but requested that the Commissioners stay after the meeting for group photos, which will be used in October to celebrate National Planning Month.

ADJOURNMENT

Chairman Poss ended the regular meeting of the Lenexa Planning Commission at 7:04 p.m. on Monday, August 4, 2025.